



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

**DESIGN REVIEW COMMITTEE
AGENDA**

**WEDNESDAY, DECEMBER 11, 2019
2:30 P.M.
ESQUIMALT COUNCIL CHAMBERS**

- I. CALL TO ORDER**
- II. LATE ITEMS**
- III. ADOPTION OF AGENDA**
- IV. ADOPTION OF MINUTES – November 13, 2019**
- V. STAFF REPORT**

**Heritage Alteration Permit Application for the English Inn (The Manor House or Rosemead House)
429 Lampson Street
PID 023-009-331
Lot B Section 11 Esquimalt District Plan VIP60066**

PURPOSE OF APPLICATION:

The owner is requesting a Heritage Alteration Permit to undertake a number of alterations to the English Inn (sometimes also called 'the Manor House', 'Rosemead House', 'Rosemeade Manor') as part of their rehabilitation of the property. Esquimalt Council approved a Heritage Alteration Permit for the Inn in 2017 which authorized changes to the exterior of the building; including the addition of a grand staircase and changes to some of the windows. This permit request would authorize a further small addition to the building, the replacement of additional windows, and changes to a previously approved trellis. Once the rehabilitation is completed, the building, along with its new wing, will be used as a boutique hotel. The exterior of the House was protected through a Heritage Designation Bylaw in 2013 [Bylaw No. 2807], (attached). The Statement of Heritage Significance is attached to the bylaw. The Bylaw requires that any changes to the building's exterior requires a Heritage Alteration Permit [HAP – attached] and that changes should be consistent with the following:

- (i) the 'Statement of Heritage Value' prepared by Donald Luxton & Associates, dated September 2013 [attached to Bylaw 2807];
- (ii) *Standards and Guidelines for the Conservation of Historic Places in Canada*,[®] Her Majesty the Queen in Right of Canada, 2010, Second Edition; [available online at: <http://www.historicplaces.ca/en/pages/standards-normes.aspx>]; and
- (iii) Guidelines provided in relation to the Lands further to Development Permit Area No. 9 - English Inn (attached).

The applicant has provided a narrative outlining the rationale for the proposed changes to the building (attached).

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] provides Council and the Director of Development Services with comments on the Heritage Alteration Permit Application authorizing:

- 1) Replacement of select windows;
- 2) Replacement of the timber trellis on the east façade with a covered, timber pergola; and
- 3) Extending the terrace by building a covered connection between the existing covered walkway on the east elevation and the new Inn wing;

consistent with the architectural plans prepared by Lovick Scott Architects, stamped, “Received November 29, 2019” (attached to this report) to be located at 429 Lampson Street, [PID 023-009-331; Lot B Section 11 Esquimalt District Plan VIP60066], and **make a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

VI. NEXT REGULAR MEETING

Wednesday, January 8, 2020

VII. ADJOURNMENT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY DESIGN REVIEW COMMITTEE MINUTES OF NOVEMBER 13, 2019 ESQUIMALT COUNCIL CHAMBERS

PRESENT:	Tim Cottrell Roger Wheelock	Robert Schindelka Bev Windjack
ABSENT:	David Van Stolk, Ally Dewji, Graeme Verhulst Cst. Greg Shaw (non-voting)	
STAFF:	Bill Brown, Director of Development Services, Staff Liaison Alex Tang, Planner Janany Nagulan, Recording Secretary	
COUNCIL LIAISON:	Councillor Meagan Brame Councillor Jacob Helliwell (regrets)	

I. CALL TO ORDER

Roger Wheelock, Chair, called the Design Review Committee meeting to order at 2:30 p.m.

II. LATE ITEMS

No late items

III. APPROVAL OF AGENDA

Moved by Robert Schindelka, seconded by Tim Cottrell: That the agenda be approved as circulated. **Carried Unanimously**

IV. ADOPTION OF MINUTES – SEPTEMBER 11, 2019

Moved by Tim Cottrell, seconded by Robert Schindelka: That the minutes of July 10, 2019, be adopted as circulated. **Carried Unanimously**

V. COMMITTEE ORIENTATION CHECK – IN

- Committee check –in conducted by Rachel Dumas, Corporate Officer.

VI. STAFF REPORTS

(1) REZONING APPLICATION

1100 Esquimalt Road
[PID 005-988-292 Lot 1, Section 11, Esquimalt District, Plan 4618]
1104 Esquimalt Road
[PID 005-988-331 Lot 2, Section 11, Esquimalt District, Plan 4618]
1108 Esquimalt Road
[PID 005-988-381 Lot 3, Section 11, Esquimalt District, Plan 4618]
610 Lampson Street
[PID 024-548-782 Strata Lot 2 Section 11 Esquimalt District Plan VIS4828]
and 612 Lampson Street
[PID 024-548-774 Strata Lot 1 Section 11 Esquimalt District Plan VIS4828]

Heather Spinney, Praxis Architects Inc., and Jim Partlow with Lombard North Group provided an overview of the Rezoning Application for 1110, 1104, 1108 Esquimalt Road and 610 & 612 Lampson Street with a PowerPoint presentation and responded to questions from the Committee. Graham Mann, the owner's representative was also present. The presentation

described the siting and context of the neighbourhood and location proposed development. Also discussed was the building design and features, including elevations, car share component, and landscaping.

Committee comments included (*summarized response in italics*):

- Is the entrance to the building accessible? *Yes*
- Will there be enough room with the addition of a bus shelter for a wheelchair? *Yes*
- Project looks like it will be right next to the sidewalk and concerns that the project will not make the area walkable.
- Loss of 41 trees to the development is unfortunate and possible reorient the building to retain those trees. *It is challenging and it driven by underground parking requirement and it is a balance.*
- The project is a good example the OCP vision and goals.
- Could you provide a summary of the two neighbourhood meetings? *There were mostly positive comments. Some people from the development to the north were not in favour. Comments were received from those living in neighboring properties.*
- Will the property North of the project lose its view? *Yes, however the end units will retain their view.*
- What is west of the property? Is there anything there that would obstruct the view? *No, currently there is a single family home.*
- The treescape on Esquimalt Road is a natural part of the community and community would appreciate the effort to integrate that into the development.

RECOMMENDATION

Moved by Robert Schindelka, seconded by Bev Windjack: that the rezoning application, authorizing a 20-metre [6 storeys], 102-unit, multiple family residential building, incorporating height and massing consistent with the architectural plans provided by Praxis Architects Inc., stamped "Received November 5, 2019", detailing the development proposed to be located at 1100 Esquimalt Road [PID 005-988-292 Lot 1, Section 11, Esquimalt District, Plan 4618], 1104 Esquimalt Road [PID 005-988-331 Lot 2, Section 11, Esquimalt District, Plan 4618], 1108 Esquimalt Road [PID 005-988-381 Lot 3, Section 11, Esquimalt District, Plan 4618], 610 Lampson Street [PID 024-548-782 Strata Lot 2 Section 11 Esquimalt District Plan VIS4828], and 612 Lampson Street [PID 024-548-774 Strata Lot 1 Section 11 Esquimalt District Plan VIS4828] **be forwarded to Council with a recommendation for approval** with the consideration of retention of the street trees because it matches the intentions of the OCP. **Carried Unanimously.**

VII. NEXT REGULAR MEETING

Wednesday, December 11th, 2019

VIII. ADJOURNMENT

The meeting adjourned at approximately 3:35 p.m.

CERTIFIED CORRECT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: December 11, 2019

STAFF REPORT

DATE: December 5, 2019

TO: Chair and Members of the Design Review Committee

FROM: Karen Hay, Planner
Bill Brown, Director of Development Services

SUBJECT: **Heritage Alteration Permit Application for the English Inn (The Manor House or Rosemead House)**
429 Lampson Street
PID 023-009-331
Lot B Section 11 Esquimalt District Plan VIP60066

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] provides Council and the Director of Development Services with comments on the Heritage Alteration Permit Application authorizing:

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- 3) Extending the terrace by building a covered connection between the existing covered walkway on the east elevation and the new Inn wing;

consistent with the architectural plans prepared by Lovick Scott Architects, stamped, "Received November 29, 2019" (attached to this report) to be located at 429 Lampson Street, [PID 023-009-331; Lot B Section 11 Esquimalt District Plan VIP60066], and **make a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application

The owner is requesting a Heritage Alteration Permit to undertake a number of alterations to the English Inn (sometimes also called 'the Manor House', 'Rosemead House', 'Rosemeade Manor') as part of their rehabilitation of the property. Esquimalt Council approved a Heritage Alteration Permit for the Inn in 2017 which authorized changes to the exterior of the building; including the addition of a grand staircase and changes to some of the windows. This permit request would authorize a further small addition to the building, the replacement of additional windows, and changes to a previously approved trellis. Once the rehabilitation is completed, the building, along with its new wing, will be used as a boutique hotel. The exterior of the House

was protected through a Heritage Designation Bylaw in 2013 [Bylaw No. 2807], (attached). The Statement of Heritage Significance is attached to the bylaw. The Bylaw requires that any changes to the building's exterior requires a Heritage Alteration Permit [HAP – attached] and that changes should be consistent with the following:

- (i) the 'Statement of Heritage Value' prepared by Donald Luxton & Associates, dated September 2013 [attached to Bylaw 2807];
- (ii) *Standards and Guidelines for the Conservation of Historic Places in Canada*,[©] Her Majesty the Queen in Right of Canada, 2010, Second Edition; [available online at: <http://www.historicplaces.ca/en/pages/standards-normes.aspx>]; and
- (iii) Guidelines provided in relation to the Lands further to Development Permit Area No. 9 - English Inn (attached).

The applicant has provided a narrative outlining the rationale for the proposed changes to the building (attached).

Context

Applicant: Stephen Duke, Aragon (Lampson) Properties Ltd.
Owner: Aragon (Lampson) Properties Ltd., BC863902
Architect: Andrea Scott, Scott Lovick Architecture

Existing Land Use: Tourist Accommodation and Multiple Family Residential (under construction).

Surrounding Land Uses:

North: Multiple Family Residential, Single Family Residential, and Two Family Residential
South: Single Family Residential, Two Family Residential, and Bed and Breakfast
West: Single Family Residential and Two Family Residential
East: Department of National Defense (Work Point)

Existing Zoning: Comprehensive Development District No. 84 [CD-84]

OCP Designation: English Inn

Questions for the Design Review Committee's Consideration

Staff would appreciate the Committee's feedback on the proposed alterations and have provided the following questions as a starting point:

- 1) Is the use of vinyl windows appropriate in this situation? The August 22, 2019 memo from Aragon makes the case that they are appropriate (attached).
- 2) Are there any concerns with the conversion of the previously proposed timber trellis, with a new covered timber pergola?
- 3) Are there any concerns with the further extension of the terrace and a covered walkway?
- 4) Are there any other concerns?

DISCUSSION

Official Community Plan Policies

The Official Community Plan contains several policies relevant to the proposed heritage alterations:

- Continue to support well maintained private properties, having heritage value or character through the application of various land use tools.
- Support new additions to heritage property that conserve and enhance that property, as consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada.
- Consider Statements of Significance for formally recognized heritage properties when rendering land use decisions.

The English Inn property is included within several development permit areas and the changes proposed with this application are not significant enough to require a new development permit. The heritage designation bylaw (Bylaw No. 2807) requires that changes should be consistent with the Development Permit Guidelines for the English Inn (attached).

Standards and Guidelines for the Conservation of Historic Places in Canada [SGCHP]

The Standards and Guidelines provide Standards for the preservation, rehabilitation and restoration of heritage properties. The changes to the English Inn could largely be categorized as ‘rehabilitation’; as the Inn, a tourist commercial use, has been struggling financially for many years. The Inn has had many additions and alterations over its lifetime, some less sympathetic to the original character of the building than others.

Though the ‘Statement of Heritage Value’ (attached) deals exclusively with the original elements of the building that were designed by architect, Samuel Maclure, the community has come to value the Inn as it appears today, with the contributions by its many past owners adding to its heritage value. The proposed renovations respect and balance both ideals, while adding the new owner’s vision to the building. The proposed changes appear to be complimentary to the original building design and are generally consistent with the requirements of the heritage designation bylaw. These latest changes add to changes from previous HAP’s.

The Standards that are particularly relevant to the proposed alterations include:

- Conserve heritage value by adopting an approach calling for minimal intervention.
- Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
- Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
- Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
- Conserve the heritage value and character-defining elements when creating any new

additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

- Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.
- Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.

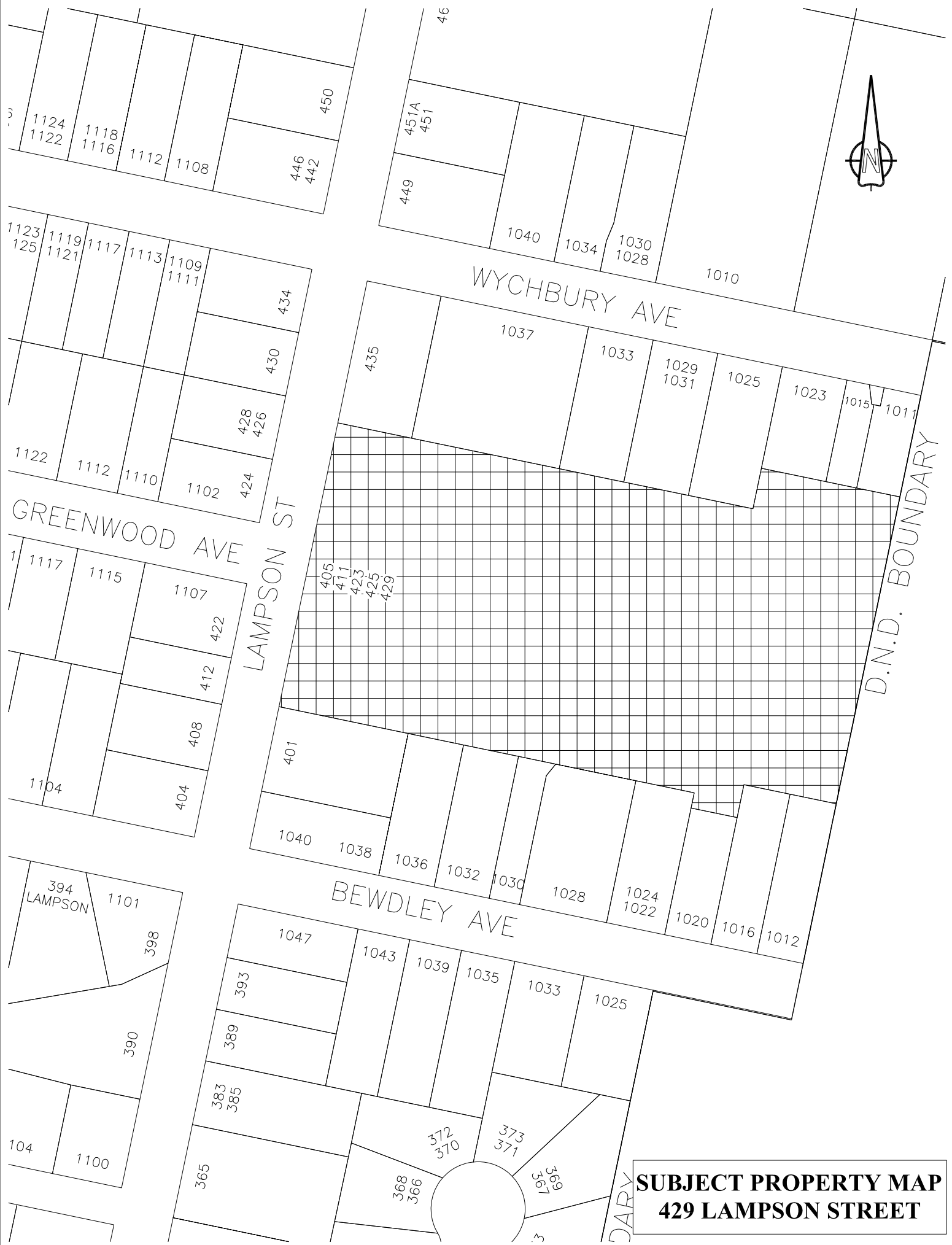
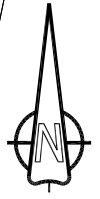
Detailed plans with before and after pictures would satisfy the SGCHP guideline to document any changes to the heritage building before and during the renovation process. The proposed window renovations help improve the energy efficiency of the building envelope.

ALTERNATIVES:

1. Forward the application to Council with a recommendation of **approval, with reasons.**
2. Forward the application to Council with a recommendation of **approval including specific conditions, with reasons.**
3. Forward the application to Council with a recommendation of **denial, with reasons.**



English Inn – east elevation 2010



**SUBJECT PROPERTY MAP
429 LAMPSON STREET**

1124
1122

1118
1116

1112

1108

446
442

450

46

451A
451

449

1040

1034

1030
1028

1010

1123
125

1119
1121

1117

1113

1109
1111

434

430

428
426

435

1037

1033

1029
1031

1025

1023

1015

1011

1122

1112

1110

1102

424

GREENWOOD AVE

LAMPSON ST

405
411
423
425
429

1117

1115

1107

422

412

408

404

1104

401

1040

1038

1036

1032

1030

1028

1024
1022

1020

1016

1012

BEWDLEY AVE

394
LAMPSON

1101

398

390

104

1100

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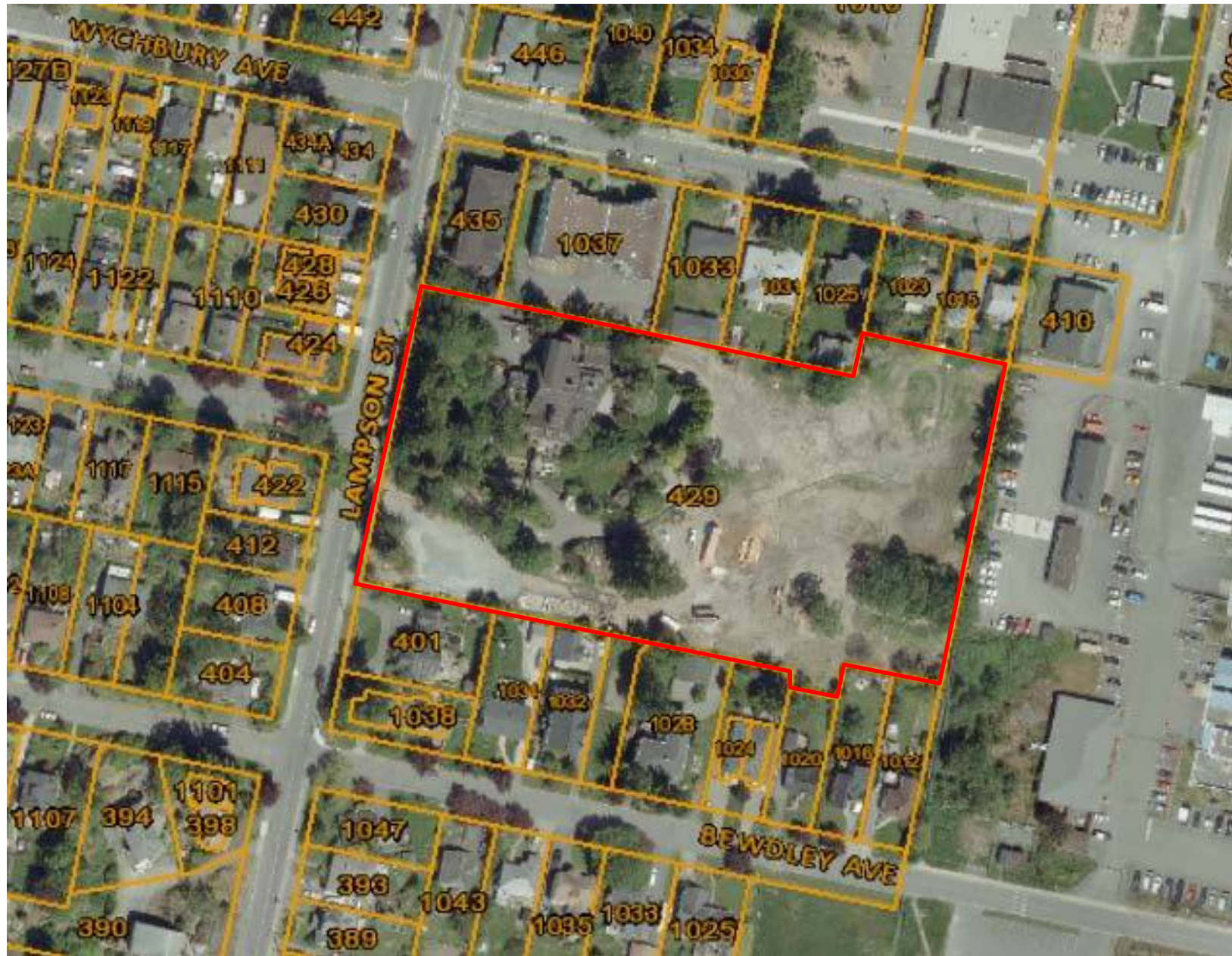
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DARY

D.N.D. BOUNDARY

429 Lampson Street



67.71 COMPREHENSIVE DEVELOPMENT DISTRICT NO. 84 [CD NO. 84]

In that Zone designated as CD No. 84 (Comprehensive Development District No. 84) no Building or Structure or part thereof shall be erected, constructed, placed, maintained or used and no land shall be used except in accordance with and subject to the regulations contained in or incorporated by reference into this Part.

A. CD NO. 84 Density: The Floor Area Ratio for COMPREHENSIVE DEVELOPMENT DISTRICT NO. 84 [CD NO. 84] [including all Sites and Parcels] shall not exceed 1.15.

B. Site A – the Manor house site [containing the heritage designated building].
The minimum Site area for Site A shall be 4580 square metres.

(1) Permitted Uses

The following Uses and no others shall be permitted:

- (a) Tourist Accommodation, Restaurant, Lounge with Accessory Uses
- (b) Single Family Residential
- (c) Multiple Family Residential
- (d) Congregate Care Senior Citizens Apartments
- (e) Home Occupation
- (f) Boarding: subject to the requirements of Section 30.3
- (g) Urban Hens: subject to the requirements of Section 30.4 of this bylaw.

(2) Parcel Size

The minimum Parcel size for parcels created by subdivision shall be 4,580 square metres.

(3) Floor Area Ratio – [Density]

The Floor Area Ratio shall not exceed 0.47 as determined in relation to Site A.

(4) Unit Size

The minimum Floor Area for each Multiple Family Dwelling unit shall be not less than 60 square metres.

(5) Building Height

- (a) Notwithstanding the definition of Height in this Bylaw, in this Zone, the highest point of any building or Structure must not exceed 37.2 metres geodetic (above sea level). For greater certainty, the Height exceptions of Section 15 continue to apply.
- (b) No Accessory Building shall exceed a Height of 3.6 metres.

(6) Lot Coverage

- (a) All Principal Buildings, Accessory Building and Structures combined shall not cover more than 20% of the Area of Site A.

- (b) All Accessory Buildings and Structures combined shall not exceed 5% of the Area of Site A.

(7) **Siting Requirements**

(a) **Principal Building**

The existing principal building shall be sited as detailed on the survey plan prepared by McElhanney Associates Land Survey Ltd., stamped "Received September 9, 2013", and attached hereto as Schedule 'C', including an inset from the survey provided for convenience purposes.

(b) **Accessory Buildings**

- (i) No Accessory Building shall be located in the Front Yard.
- (ii) No Accessory Building shall be located with 1.5 metres of an Interior or Rear Lot Line.
- (iii) Building Separation: No Accessory Building shall be located within 2.5 metres of the Principal Building.

(8) **Usable Open Space**

Useable open space shall be provided in an amount of not less than 20% of Site A.

(9) **Fencing**

No fence shall be placed in the Front Yard. No fence shall exceed a Height of 2 metres.

(10) **Off-Street Parking**

- (a) Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).
- (b) Notwithstanding section (10)(i) the existing use of 14 or fewer hotel rooms shall provide 12 parking spaces.

C. Site B – the Remainder of CD NO. 84.

The minimum Site area for Site B shall be 12,056 square metres.

(11) **Permitted Uses**

The following Uses and no others shall be permitted:

- (a) Multiple Family Residential
- (b) Townhouse Residential
- (c) Single Family Residential
- (d) Congregate Care Senior Citizens Apartments
- (e) Tourist Accommodation, with Accessory Uses

- (f) Home Occupation
 - (g) Boarding: subject to the requirements of Section 30.3
 - (h) Urban Hens: subject to the requirements of Section 30.4 of this bylaw.
- (12) **Parcel Size**
- The minimum Parcel size for parcels created by subdivision shall be 12,056 square metres.
- (13) **Floor Area Ratio – [Density]**
- The Floor Area Ratio shall not exceed 1.38 as determined in relation to Site B.
- (14) **Number of Buildings**
- More than one (1) principal building is permitted on Site B.
- (15) **Unit Size**
- The minimum Floor Area for each Multiple Family Dwelling unit shall be not less than:
- (a) 60 square metres for not less than 90 percent of the units; and
 - (b) 35 square metres otherwise.
- (16) **Building Height**
- (a) No Principal Building shall exceed a Height of 21 metres.
 - (b) No Accessory Building shall exceed a Height of 3.6 metres.
- (17) **Lot Coverage**
- (a) All Principal Buildings, Accessory Building and Structures combined shall not cover more than 50% of the Area of Site B.
 - (b) All Accessory Buildings and Structures combined shall not exceed 5% of the Area of Site B.

(18) **Siting Requirements**

(a) Principal Building

(i) Front Lot Line setback	7.5 metres (minimum)
(ii) Eastern Lot Line setback Building elements up to 11 metres in height Building elements over 11 metres in height	3.5 metres (minimum) 7.5 metres (minimum)
(iii) Northern Lot Line setback Building elements up to 11 metres in height Building elements over 11 metres in height	4.5 metres (minimum) 7.5 metres (minimum)
(iv) Southern Lot Line setback Building elements up to 11 metres in height Building elements over 11 metres in height	4.5 metres (minimum) 7.5 metres (minimum)
(v) Site A/ Site B shared Lot Line setback Building elements up to 11 metres in height Building elements over 11 metres in height	3.5 metres (minimum) 7.5 metres (minimum)

(b) Accessory Buildings

- (i) No Accessory Building shall be located in the Front Yard.
- (ii) No Accessory Building shall be located with 1.5 metres of any Site A lot line, Eastern Lot Line, Northern Lot Line, and Southern Lot Line .
- (iii) Building Separation: No Accessory Building shall be located within 2.5 metres of any Principal Building.

(19) **Usable Open Space**

Useable open space shall be provided in an amount of not less than 7.5% of Site B.

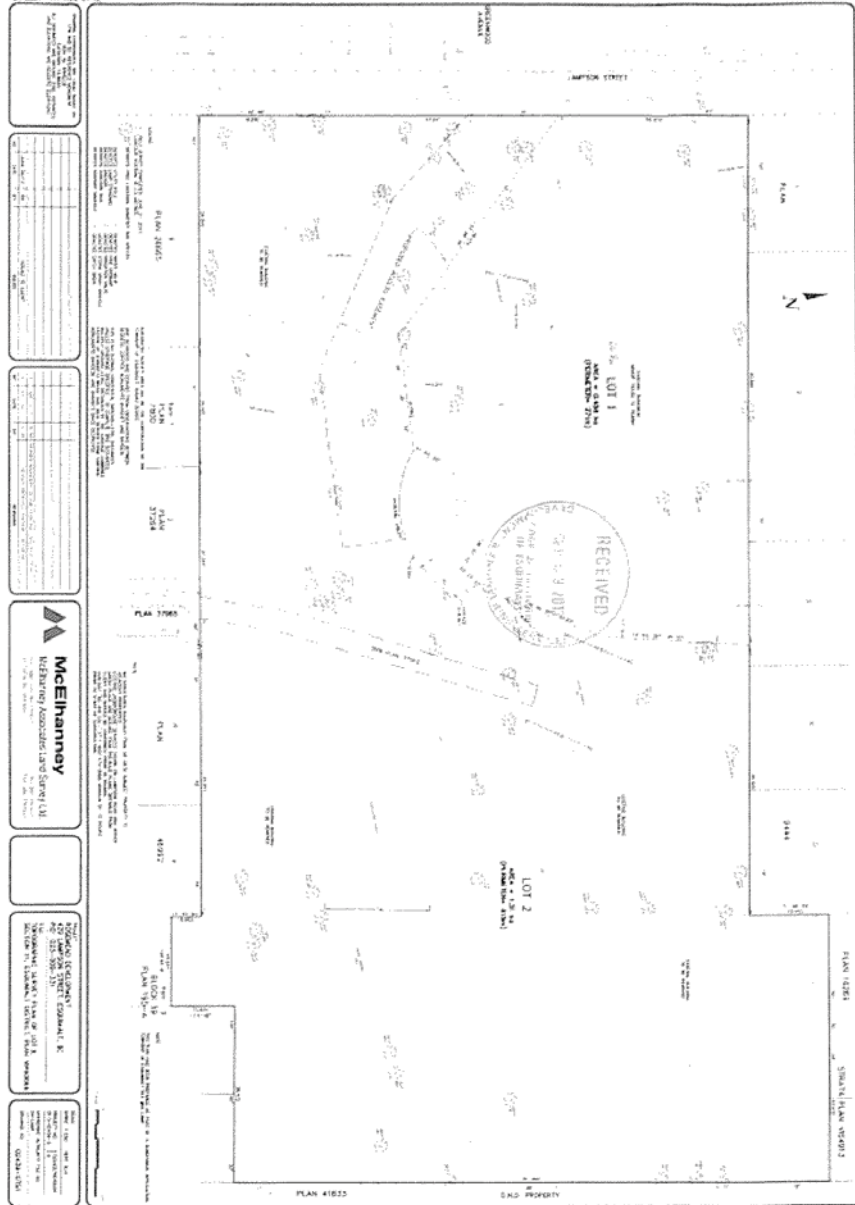
(20) **Fencing**

Fencing is prohibited within 36.7 metres of the Front Lot Line. No fence shall exceed a Height of 2 metres.

(21) **Off- Street Parking**

- (a) Off street parking shall be provided in accordance with the requirements of Parking Bylaw,1992, No. 2011 (as amended).
- (b) Notwithstanding Section (21) (a) No more than 10% of the area of Site B, not covered by Principal Buildings, Accessory Buildings and Structures (Lot coverage), may be used for surface parking (excluding driveways).

Page 1 of 2
 Schedule "C" of CD No. 84
 (429 Lampson Street)
 Siting of Existing Principal Building



Lot No.	Area (sq. ft.)	Area (sq. m.)	Area (ac.)
1	400	36.8	0.009
2	400	36.8	0.009
Total	800	73.6	0.018

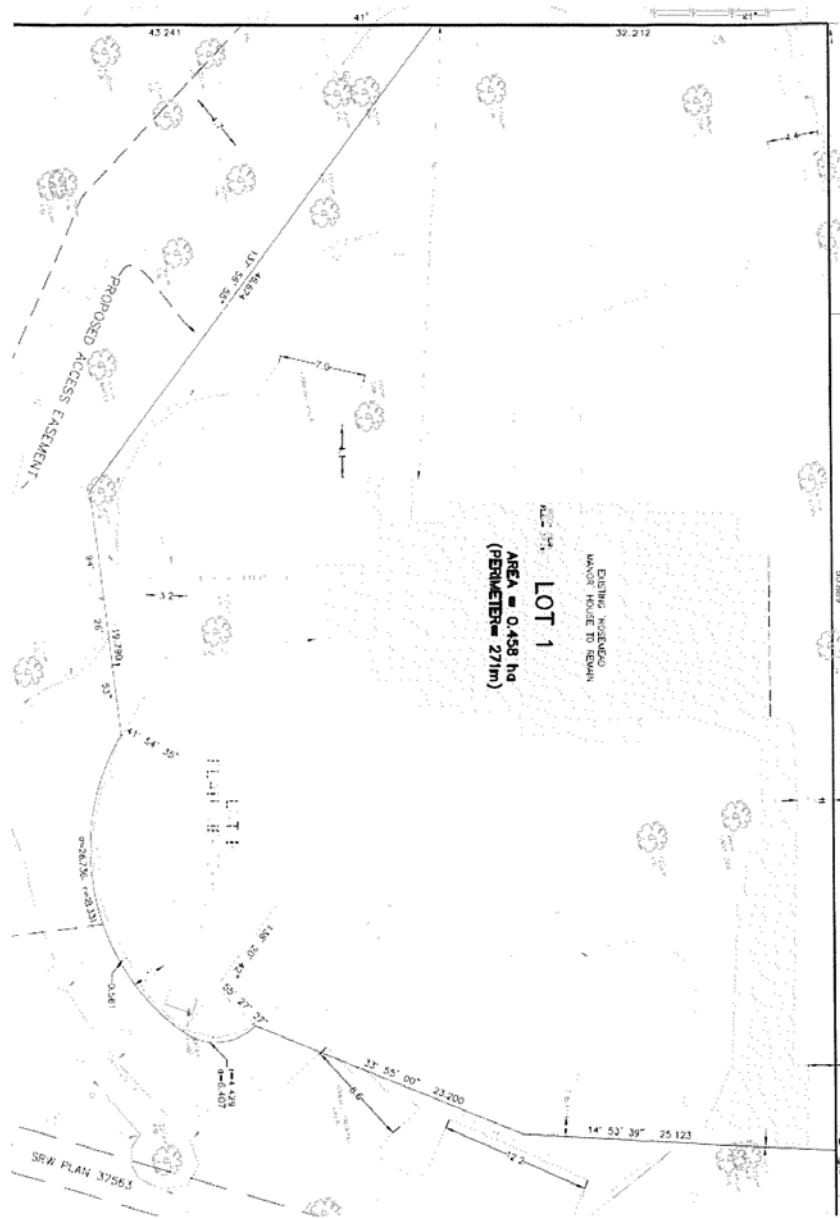
Lot No.	Area (sq. ft.)	Area (sq. m.)	Area (ac.)
1	400	36.8	0.009
2	400	36.8	0.009
Total	800	73.6	0.018

McElhanney
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 10000
 10000
 10000

REGISTERED ARCHITECT
 REGISTERED ARCHITECT
 REGISTERED ARCHITECT
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REGISTERED ENGINEER
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Page 2 of 2
Schedule "C" of CD No. 84
(429 Lampson Street)
Siting of Existing Principal Building
(Inset from the Survey - for convenience)



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

BYLAW NO. 2807

A Bylaw to designate the existing building known as the English Inn at 429 Lampson Street as a Municipal Heritage Building.

WHEREAS THE Council considers that the property shown cross hatched in Schedule A of this Bylaw and described in Schedule B of this Bylaw has heritage value and heritage character.

AND WHEREAS the owners of that property have applied to the Township of Esquimalt for designation of the existing building on the property as a municipal heritage site;

AND WHEREAS the owners have agreed there is no reduction in market value of the property, or, in the alternative, they have waived in writing any entitlement to compensation for the designation under s. 969 of the *Local Government Act*;

THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF ESQUIMALT, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the "HERITAGE DESIGNATION [429 Lampson Street] BYLAW, 2013, NO. 2807".
2. That the existing building and area shown cross-hatched on Schedule 'A' attached to and forming part of this bylaw (the "**Protected Property**") located on that parcel of land commonly known as 429 Lampson Street and situated in the Township of Esquimalt in the Province of British Columbia and more particularly described as PID 023-009-331, Lot B, Section 11, Esquimalt District, Plan VIP60066 (the "**Lands**") shall be and is hereby provided heritage designation pursuant to Section 967 of the *Local Government Act*.
3. Subject to Section 4 of this Bylaw, in accordance with subsection 967(2)(g) and (3) of the *Local Government Act*, no person may affect the Protected Property without the benefit of a Heritage Alteration Permit in accordance with the following policies:
 - (a) Alteration, changes, removal and actions to be consistent with, in the following order:
 - (i) the statement of Heritage Value prepared by Donald Luxton & Associates, dated September 2013, as provided in Schedule B to this Bylaw;
 - (ii) *Standards and Guidelines for the Conservation of Historic Places in Canada*, © Her Majesty the Queen in Right of Canada, 2010, Second Edition;
 - (iii) guidelines provided in relation to the Lands further to Development Permit Area No. 7 English Inn as identified in *OFFICIAL COMMUNITY PLAN BYLAW, 2006, NO. 2646, AMENDMENT BYLAW [NO. 15], 2013, NO. 2808*;
 - (b) In recognition of the Protected Property only representing a portion of the existing building, removal of any of those portions of the existing building not provided heritage designation by this Bylaw only be undertaken so as to ensure that the architectural and heritage integrity of the heritage designated portions of the building.

4. In accordance with subsection 967(2)(f) of the *Local Government Act*, the following activities may be carried out in relation to the Protected Property and the Lands without the benefit of a Heritage Alteration Permit:
- (a) general maintenance and upkeep of the exterior of the existing building, including periodic repairs, cleaning and painting the exterior;
 - (b) interior changes that do not impact the exterior of the existing building; and
 - (c) minor routine landscaping.


READ a first time by the Municipal Council on 23rd day of September, 2013.

READ a second time by the Municipal Council on 23rd day of September, 2013.

A Public Hearing pursuant to Sections 890 and 892 of the *Local Government Act* was held on 21st day of October, 2013.

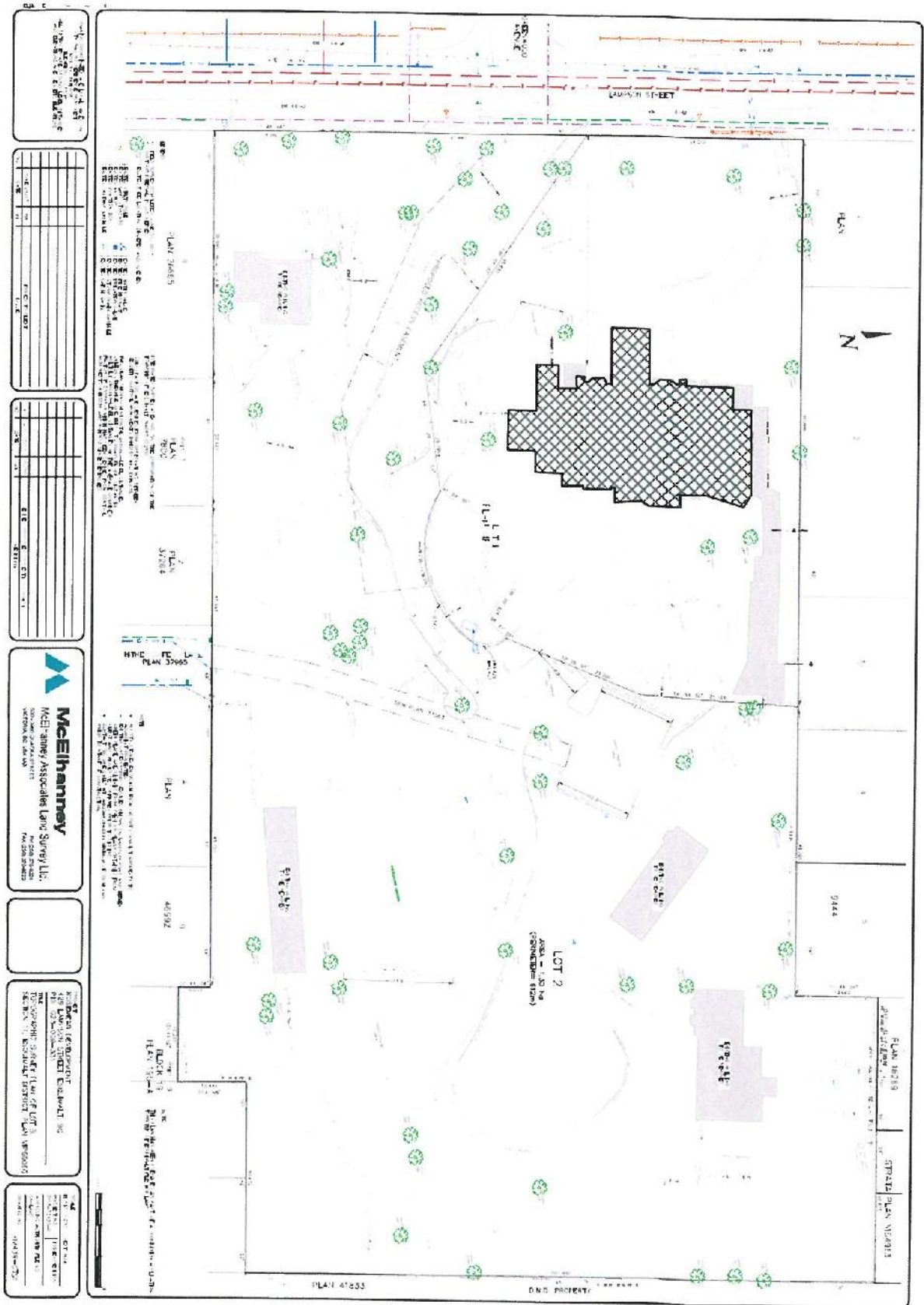
READ a third time and passed by the Municipal Council on 4th day of November, 2013.

ADOPTED by the Municipal Council on 4th day of November, 2013.


BARBARA DESJARDINS
MAYOR


ANJA NURVO
CORPORATE OFFICER

SCHEDULE 'A' TO BYLAW 2807



NO.	DESCRIPTION	DATE	BY

NO.	DESCRIPTION	DATE	BY

NO.	DESCRIPTION	DATE	BY

McElhannay
 McElhannay Associates Land Survey Ltd.
 1000 SHEPPARD AVENUE EAST
 SUITE 2000
 SCARBOROUGH, ONTARIO M1B 3Y9
 TEL: (416) 291-9888
 FAX: (416) 291-9889

NO.	DESCRIPTION	DATE	BY

PLANNING REPORT
 PREPARED FOR: [REDACTED]
 PROJECT: [REDACTED]
 DATE: [REDACTED]
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]

NO.	DESCRIPTION	DATE	BY

THE ENGLISH INN, 429 LAMPSON STREET, ESQUIMALT
HERITAGE VALUE

SCHEDULE B OF BYLAW NO. 2807



Name of Historic Place: The English Inn

Historic Name: *Rosemead*

Location: 429 Lampson Street, Esquimalt

Date of Construction: 1909

Original Owner: Thomas Henry Slater and Elizabeth Slater

Architect: Samuel Maclure

Description of the Historic Place

The English Inn is a two and one-half storey, masonry estate house located at 429 Lampson Street in the Saxe Point neighbourhood of Esquimalt, near the Strait of Juan de Fuca. Tudor Revival in style, the house is situated on a large rocky outcropping with a mature forested landscape, and features a high gabled roof, extensive stonework and half-timbered gable ends.

Heritage Value of the Historic Place

The English Inn is significant for its representation of British-inspired architecture and the development of early estate holdings in Esquimalt. This large manor house demonstrates the social, cultural, and aesthetic values of local wealthy businessmen and women of the early twentieth century – values such as appreciation of architectural elegance and grand interior spaces, leisure and recreation, formal landscaped gardens and scenic views. Located near naval and shipbuilding installations, the Saxe Point neighbourhood was an appealing residential location for Esquimalt's early gentry. These estate properties have since been subdivided for development, and the English Inn is the last surviving early

manor house in the area. Originally known as *Rosemead*, it was built in 1909 for the Slater family. Yorkshire-born Thomas Henry Slater (1866-1934), a successful broker, realtor and developer, arrived from Ontario following his marriage to Elizabeth Maud Robinson on March 26, 1895. The Slaters only resided here until 1917, and subsequently rented the house to various notable residents including Sir James Lougheed, one of Canada's well-known early politicians. The Slaters sold the property in 1933 to Dr. Thomas Arthur Rickard and his wife, Marguerite, who remained in the house until 1946, and this progression of elite owners and residents roots the estate firmly in the early social development of Esquimalt. After the end of World War Two, Sam Lane, Retired Squadron Leader of the Royal Canadian Air Force, and his wife, Rosina, began the conversion of the manor into a guesthouse. The Lanes constructed additional buildings on the property and operated the estate for many years as "The Olde England Inn," a noted tourist attraction that promoted British historical connections.

The English Inn is also valued for its Tudor Revival architecture, designed by celebrated local architect Samuel Maclure (1860-1929), who was responsible for many significant buildings throughout the Capital Regional District and the Lower Mainland of British Columbia. Maclure, known especially for his British Arts and Crafts residential designs, had recently completed the opulent *Hatley Park* in Colwood before beginning work on Slater's new home in Esquimalt; both demonstrate Maclure's penchant for stone cladding and traditional British architecture. This house for the Slaters displayed good, modern taste as well as an affinity for all things British, and high-quality craftsmanship is evident both inside and out in the finishes and materials. The use of the Tudor Revival style, with its direct British antecedents, was also a patriotic demonstration of loyalty to the Mother Country. In addition to its lavish design details, the height of the house, its relative seclusion and its deep setback from the street enhance its grandeur. The English Inn remains the only extant Maclure-designed building in Esquimalt and is a testament to the work of one of British Columbia's most accomplished native architects.

Character-Defining Elements

The key elements that define the heritage character of The English Inn include its:

- location on a large rocky outcrop in the Saxe Point neighbourhood of Esquimalt;
- generous setback from the street, set amongst native landscaping and mature trees;
- residential form, scale and massing as expressed by its two and one-half storey height with full basement, and broad overhanging gabled roof;
- Tudor Revival style design features of the original Maclure design, including: massive rubblestone foundations growing out of the native rock; cedar shingles and tuck-pointed stone cladding on the ground floor; half-timbering on the upper floors; south-facing parallel gables; ground floor projecting bays and indented porches; large eave brackets; bracketed dropped finials at the gable ends; a *porte cochère* with square, tapered, stone columns and wooden brackets; tall stone chimneys; and a south-facing second floor balcony;
- Original wooden sash windows, including a variety of multi-paned double-hung and casement assemblies, some with stained and leaded glass panels.

RESEARCH SUMMARY

CIVIC ADDRESS: 429 Lampson Street, Esquimalt

LEGAL ADDRESS: Lot B, Section 11, Esquimalt District Plan VIP60066

ORIGINAL OWNERS: Thomas Henry Slater and Elizabeth Slater

ORIGINAL NAME: Rosemead

CONSTRUCTION DATE: 1909

ARCHITECT: Samuel Maclure

SAMUEL MACLURE ARCHITECTURAL DRAWINGS AT UNIVERSITY OF VICTORIA ARCHIVES:

- Location: Segger Fonds, UVA Accession 89-41, box 1, file 4
- Drawing numbers: AP1612-AP1614 (3 blueprint drawings: plans and elevations)
- Client: T.H. Slater
- Title: House for T.H. Slater Esq., Lampson St., Esquimalt, B.C.
- Address: "Rosemead" (The English Inn), 429 Lampson Street, Esquimalt
- Date: July 1909
- Description: Two-storey house with basement and attic (no plans of the latter are present). The ground floor comprises a vestibule, hall, drawing room, sitting room, den, dining room, kitchen, pantry and larder. A porte cochère and porch join the house on this level at the vestibule. A large verandah wraps around the west, south and east sides of the house. The second floor consists of the upper hall, four bedrooms, dressing room, box room, two bathrooms and a balcony. Porches and verandahs are faced in stone, and the rest of the first floor is finished in shingles. Second-floor gable ends and one of the attic gable ends have a half timbering treatment. The other attic gable end is finished in shingles. Plans specify the liberal use of leaded glass windows.

26 DPA NO. 9: ENGLISH INN



26.1 Area

Lands designated as English Inn Mixed-use are part of Development Permit Area No. 9 – English Inn.

26.2 Designations

Development Permit Area No. 9 is designated for the purpose of establishing objectives for:

- Section 488 (1)(d) – revitalization of an area in which a commercial use is permitted;
- Section 488 (1)(e) – form and character of intensive residential development;
- Section 488 (1)(h) – promoting energy conservation;
- Section 488 (1)(i) – promoting water conservation; and
- Section 488 (1)(j) – GHG emissions reduction.

26.3 Justification

These guidelines were developed to steward the design of development on the property known as the “English Inn” site at 429 Lampson Street in Esquimalt. The intent is to encourage new development to be sympathetic with, and a good neighbour to, both the existing heritage Samuel Maclure designed Manor House, known as Rosemead and the surrounding neighbourhood context, while providing opportunity for alternative massing solutions to accommodate market and building programmes. A key objective is a harmonious and sensitive development respectful of the Protected Property under Heritage Designation Bylaw 2807, including as described in the schedules thereto.

As a significant development project within the community this signature site has the potential to support Esquimalt’s target to reduce greenhouse gas emissions by 38% of 2007 levels by 2030; with the eventual goal of progressing towards carbon neutrality. Therefore, the guidelines support reductions in energy consumption in new buildings, and reduced long-term maintenance costs through the use of durable building materials.

Landscaping uses a considerable quantity of potable water. Stormwater can be either a burden on municipal infrastructure and local shorelines; or a resource used on the property to lessen water demand for landscaping. The intent is for the strategic retention of stormwater on this site.

The guidelines in this section are intended to support the Township’s sustainability objectives to develop a ‘green economy’ and reduce the overall risks and impacts of climate change.

26.4 Exemptions

The following do not require a Development Permit:

1. Construction of buildings or structures less than 10 m² in area.

26.5 Guidelines

These guidelines are not intended to slavishly replicate the mock Tudor vocabulary of the original house, but rather listen to its basic form, texture, proportions and composition of elements on site. The guidelines are descriptive and are intended to be feasible to execute. The guidelines incorporate features to encourage the promotion of energy and water conservation and the reduction of greenhouse gases.

26.5.1 Landscape and Significant Features

Where it is feasible:

1. Respect the qualities of the existing topography, natural rock outcrops and related significant trees (especially in the southeast corner).
2. Respect significant trees through appropriate building siting and design.
3. Landscape designs should reflect the character defining elements of the Manor House site and should use plant species suited to local climate and incorporate drought-tolerant, native species and other xeriscaping techniques that minimize the need for landscape irrigation.
4. Any use of the site should respect the existing landscape features. The hard landscaping of the Manor House site (including but not limited to the pavilion, fountain, stonework and retaining walls) represent the formal landscaped gardens characteristic of a home of this stature and era.
5. All building siting and design should respect the site lines from outdoor spaces. Landscaping at the rear of the Manor House site has been developed to form a courtyard for use by the buildings occupants and guests, and forms an integral part of the building context.
6. Use of materials should reflect the high quality already established on the site. The landscaped areas of the Manor House site, including the formal gardens, fountains, pavilions, hardscaping and courtyards are an important part of the character of the site and any proposed design should be sympathetic to these elements and this character.
7. The property has many unique and mature plants and trees and any proposal should endeavour to reuse and incorporate this material on the site to the extent possible.
8. Fences as a part of the landscape should be of high quality material and the use of chain link fences should be avoided.

26.5.2 Access and Parking

Where it is feasible:

1. Retain and simplify the existing driveway from Lampson Street to access the heritage property and lands beyond. Widen the north driveway judiciously around significant trees.
2. Maintain the domestic scale and character of the driveway on to Lampson Street including unobtrusive low level lighting; retain the existing stone gate posts.
3. Any surface parking, especially on the Manor House site, should be appropriately screened with landscaping and be designed not to detract from the character of the landscaping of the site. The use of permeable paving materials for parking areas is encouraged.
4. Incorporate appropriate stormwater management measures to ensure stormwater from the driveway infiltrates back into the ground to ensure no net runoff offsite.
5. Incorporate below grade parking, for the development site, to take advantage of the approximately one storey north/south cross fall across the site.
6. Avoid long open cut parking access ramps by accessing underground parking from the lower levels of the existing grade.
7. Appropriate bicycle and scooter storage should be provided in commercial and multiple-family buildings.
8. Commercial and multiple-family buildings should include provision for charging stations for electric vehicles where appropriate.

26.5.3 Energy and Water Conservation

Where it is feasible

1. Use green building standards and technology to reduce the environmental/ ecological footprint of development.
2. Use natural stormwater management techniques and measures to ensure that all stormwater is managed on the site with no net increase off site. It is a fundamental municipal requirement that all stormwater runoff be managed on site. This will substantially improve the existing condition.
3. Use of outdoor lighting on buildings or in the landscape should be designed to minimize light pollution and spillover on to neighbouring properties. All outdoor lighting should minimize wattage and be directed downward. Use of motion detectors and timers is encouraged.

26.5.4 Building Form and Character

Where it is feasible:

1. Break down building volumes into domestic sized increments.
2. Incorporate pitch roof language with dormers sympathetic to the heritage Maclure manor, reducing apparent building height and volume.
3. Consider relaxation of building setbacks where it can be shown that it is advantageous to building design and distribution of building mass and volume in relation to adjacent properties.
4. Respect significant trees through appropriate building siting and design.

26.5.5 Distribution of Building Volume

Where it is feasible:

1. Concentrate higher building volume towards the middle of the site and towards the easterly portions adjacent to the neighbouring DND property.
2. Keep building volumes lower towards the edges and composed as if made up of individual dwelling units, particularly towards the south. Massing towards the northern edges can typically accommodate another storey, since the English Inn site is a nominal level below the neighbours to the north.

26.5.6 Basic Building Volume and Roof Forms

Where it is feasible:

1. Employ basic building elements not much more than twice the bulk of the Manor House proper to create an overall composition whereby the whole reads as an assemblage of these parts.
2. Compose building elements to shape and define spaces between and within; not to exist as objects in space.
3. Employ a language of roof pitch typically to reflect that of the Manor House; to be inhabited within, not simply sit on top of habitable space.
4. Figuratively, pull the roof forms down around the occupied spaces.
5. Utilize dormers – pitched or single slope – to provide light and views from habitable space within the roof.
6. Utilize stepped down gables, or single pitch runoffs to further break down scale and create more intimate relationships with the ground. These elements can be used in succession.
7. Roof overhangs and window placement should be coordinated to provide cooling and shade during summer and solar access for passive heating in the winter.
8. Roof surfaces should be designed to accommodate solar energy collection devices. Skylights are discouraged, as a benefit of natural daylight penetration is not sufficient from an energy perspective, to outweigh their heat loss due to low insulation value.

26.5.7 Building Orientation and Access to Sunlight

Where it is feasible:

1. Buildings should be located, oriented and designed to facilitate the retention of passive solar heat (e.g. south facing windows), reduce heat loss and support natural ventilation.
2. Reduce energy consumption of electric lighting by maximizing opportunities for the distribution of natural daylight into a building's interior spaces (excluding the use of skylights).
3. Avoid the use of heavily tinted or reflective glazing that reduces solar heat gain but also reduces the penetration of light.
4. Placement and retention of deciduous trees is encouraged such that these trees provide summer-season shading, and winter-season solar access.
5. While respecting the importance of the existing character of the site's landscape character design of on-site landscaping should minimize shading impacts and the potential for solar thermal or photo-voltaic systems on the site and surrounding properties.

26.5.8 Windows – Types and Proportions

Where it is feasible:

1. Employ bay windows, bracketed in upper storeys, or stepped out on lower storeys to form decks off upper stories, to break down scale of end walls.
2. Employ basic window element having a vertical proportion – 1:1.4 – 1:2.2.
3. Vary size from floor to ceiling to vary small openings for secondary spaces.
4. Increase amount of transparency by stringing multiple units or by employing basic units at regular intervals.
5. Create horizontal strip glazing condition by exploring recurrent smaller units.
6. Break down scale and texture where appropriate with divided light muntins or zinc cam in double glazed units.
7. Large single well-proportioned sheets can be employed in conjunction with divided lites to capture views.

26.5.9 Renewable and Alternative Energy

Where it is feasible:

1. Support on-site renewable energy systems and technologies such as solar hot water, solar photo-voltaic, micro wind turbines and heat pumps.
2. Encourage on-site resource recovery through technologies where possible such as heat exchangers on ventilation and domestic water supply.

26.5.10 Materials Management

Where it is feasible:

1. Recycling infrastructure and facilities especially for organics is encouraged.
2. Building materials which are durable for the use intended should be sourced locally or regionally to reduce transportation requirements whenever possible and economic.
3. Reuse existing building and landscape materials on site where practical and economic.
4. Encourage construction waste diversion planning as part of the development process, including the identification of designated areas for the collection of recyclable materials.

MEMORANDUM

August 22, 2019

HERITAGE ALTERATION PERMIT RATIONALE | ROSEMEADE HOUSE

To: Bill Brown, Director of Development Services
1229 Esquimalt Rd., Esquimalt, BC V9A 3P1

From: Stephen Duke, Sr. Development Manager Aragon

Subject Property: 429 Lampson Road, the Oakwoods/Rosemead House

Aragon is excited to renovate and restore the Rosemeade Manor. While the manor has fallen into disrepair over the last couple of decades, Aragon has approached the renovation of the manor with an adherence to the historical authenticity of the Tudor Revivalist style and the improvement of the building performance and functionality in mind.

A. Windows

Where possible, mainly in well covered porches and under eaves, Aragon is restoring the historical wood windows to their former design. However, some windows, as a result of the original design of the building – in the professional opinion of their architect – should not be replaced with wood windows as they will succumb to the same deterioration that has led to some of the building's structural issues.

For the purposes of this application in addition to the previously submitted Heritage Alteration Permit, with full understanding of the Rosemead House Statement of Significance, Aragon proposes to address a couple issues that have surfaced upon the careful renovation of the building exterior. We have discovered significant deterioration of the wood structure and substructure in areas where windows are inadequately protected by eaves or awnings, allowing water to penetrate. In addition, there have been numerous modifications, replacements, or repairs made to the windows by the previous owners that do not reflect the Tudor Revivalist style (off the shelf windows, temporary repairs, etc).

Aragon, in discussion with their architect, proposes to replace select windows (see exhibit #1 windows marked in Green outline) with double-pane, energy efficient vinyl windows painted to match the existing painted wood windows and in similar architectural style. The benefit of replacing the existing, hodge-podge of windows styles with a singular, Tudor Revivalist aesthetic in a modern construction method is that it will better restore the architectural intent of the original Rosemeade house, while concurrently addressing issues of water penetration and energy efficiency for years to come.

While we understand that the existing windows are, by period, made of wood and glazed with a single pane of glass, Aragon and their architect does not fundamentally believe that the use of wood in the construction of the window was an intentional design move because they were ultimately covered by paint. Other elements that did express wood as a material were simply stained, oiled and/or clear coated to expose the grain and materiality. Aragon suspects that main reason wood windows were used in this period is lack of better performing alternatives, rather than an intentional design strategy. Aragon will, however, seek to emulate the intentional design elements of the windows that appear to be intentional and of the Tudor Revivalist style.

Therefore, the reproduction of the Rosemeade Manor windows will (1) emulate the Tudor Revivalist proportions of 1:1.4 to 1:2.2 for the panels, (2) utilize intermediate rails to break down the scale of the windows, (3) utilize well-proportioned sheets in conjunction with divide lites to capture views, (4) incorporate decorative vertical muntins to match the rhythm of the historical windows, (5) match the color of the windows to the paint of the historical windows, and (6) add a few new windows in an appropriate and well-designed manner to balance building proportions. (see exhibit 2)

Figure #1 – Small Window – New window with matching colors, employing vertical proportions of 1:1.4 – 1:2.2, a mid middle rail of matching aesthetic, and vertical muntins in similar scale.

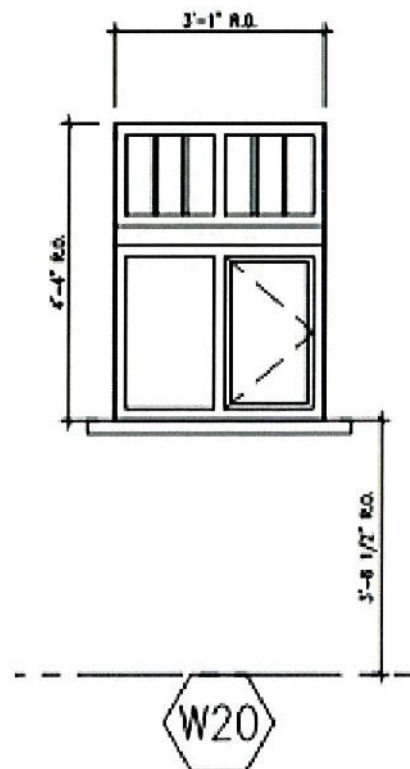
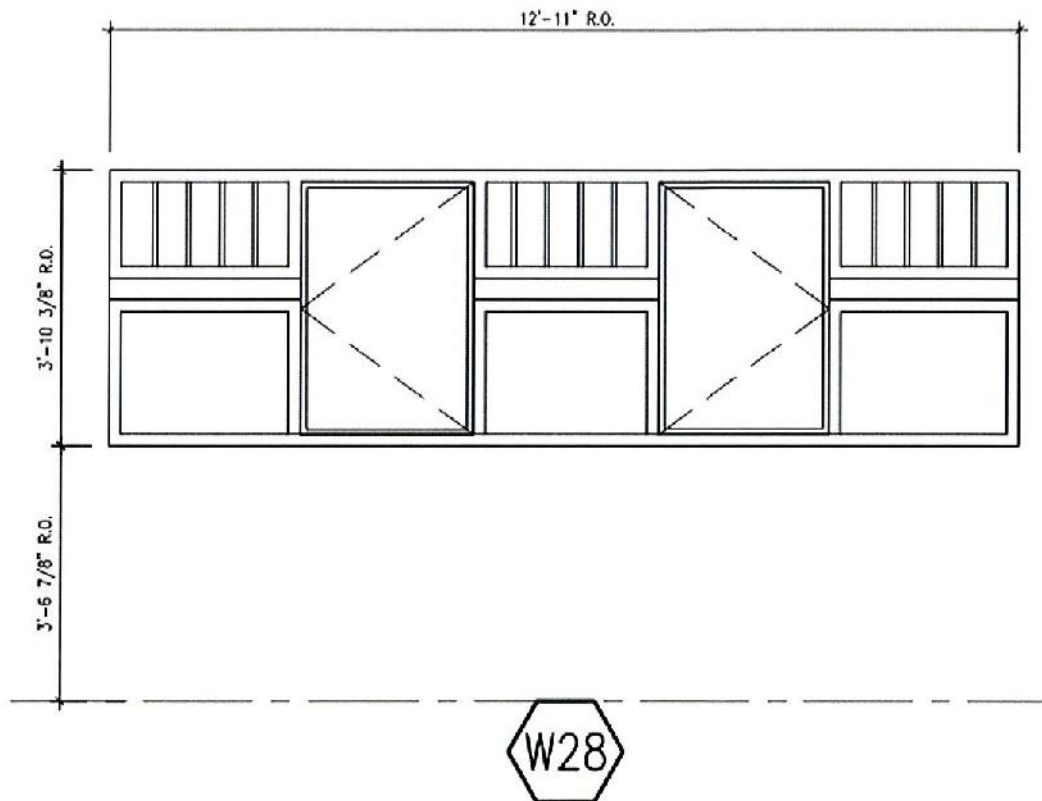


Figure #2 – Large window – New window with matching colors, employing both vertical proportions of 1:1.4 – 1:2.2, broken down in scale with well proportioned sheets in conjunction with divide lites to capture views, break down scale and texture where appropriate with divide light muntins.



Secondly, the thermal performance of a gas filled, dual paned, vinyl window system exceeds that of solid core, profiled wood window systems. The extruded, hollow profile of vinyl windows allow for air spaces and foam fillers hidden within the frames to insulate the interior from the exterior. Also, vinyl windows, with their nail on flanges, and tested and warrantied waterproofing profiles are much more resistant to wind driven rain and allow it to weep better. This will address the fundamental issue of wood rot and decay and address the aforementioned goals of building envelope performance and energy efficiency.

Please see attached cut sheets for the proposed windows in question, as well as a physical cut away of a corner, with the proposed color.

B. East Pergola

In the original approved Heritage Alteration Permit, Aragon had initially proposed a wood trellis over the east terrace to provide wayfinding and architectural scale to the east facade. Upon further review by the owner and architect, Aragon would like to modify the previously submitted timber trellis design to become a covered, timber pergola.

This would: (1) optimize the balance and proportions of the east façade, (2) more clearly define the east entry way vis-à-vis a more prominent and proportional architectural element, and (3) provide cover at the east entry for guests prior to entering the L1 level.

C. Terrace & Covered Walkway Extension

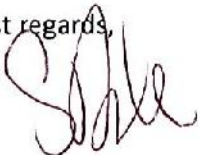
Aragon also proposes a connection to the covered walkway/terrace at the east elevation to the Inn Wing addition. Currently, the accessible path from the parkade beneath the Inn Wing Addition to the Rosemead Manor is not continuously covered, which may prove a nuisance for guests traveling to and from the parkade. Aragon believes that sheltering guests, specifically those with disability access needs, from inclement weather will improve the experience moving between the Manor and the Inn Wing, which will enhance the complementary programmatic uses between the two buildings.

The proposed connection would be approximately 20 feet long and would repeat the existing arched bays in an architecturally consistent manner. In addition, the design of the covered walkway extension will utilize the same proportions and materials as that depicted in the previously approved Heritage Alteration Permit and the original Maclure design. For example, the façade of the extended walkway will be covered in random rubble and feature architecturally accurate rosettes on the balustrade above.

Aragon believes that these modifications would not only provide an improved guest experience with inclusivity in mind, but also an enhanced aesthetic continuity between the historic Manor and the new Inn Wing addition.

Please do not hesitate to contact me directly with any questions at: 604.369.2545

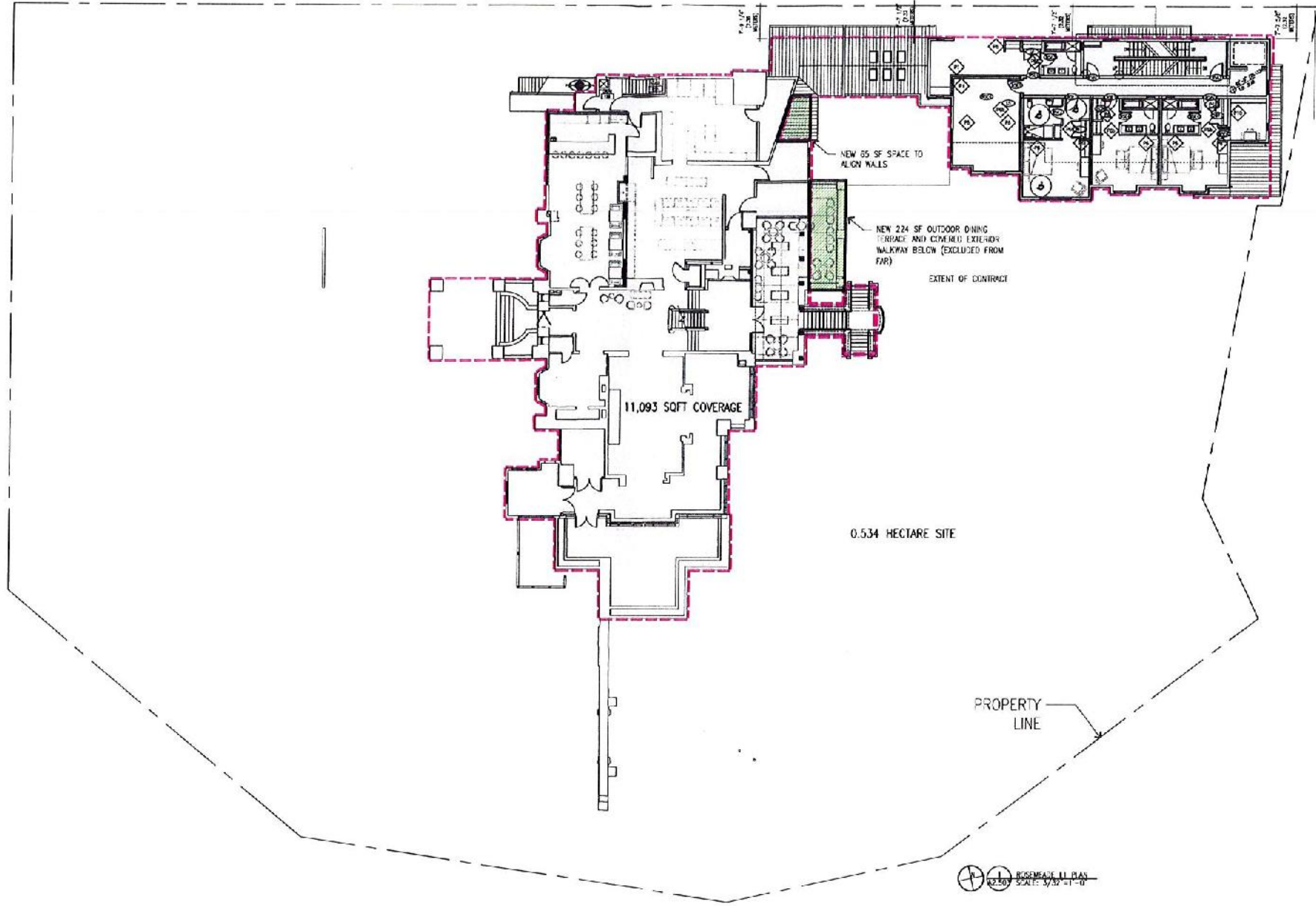
Best regards,



Stephen Duke, Sr. Development Manager

Aragon Properties Ltd.

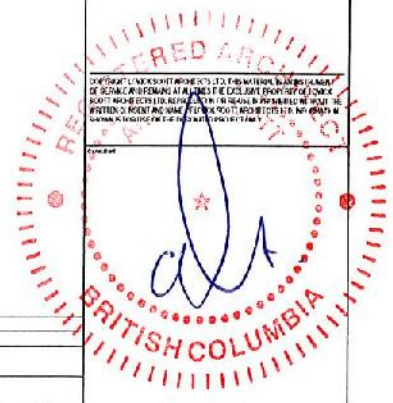
Per: Aragon (Lampson) Properties Ltd. | 429 Lampson Street



- 2019.10.07 ARAGON - L0 and L1 Coordination Backgrounds
- 2019.07.04 ARAGON - L0 and L1 Coordination Backgrounds
- 2019.07.04 S1.50 - DELETE ELECTRICAL CLOSET 022
- 2019.05.27 S1.40R1 - North + South Ramps Elevations Change
- 2019.05.23 S1.42 - North + South Ramps Elevations Change



CONVENTIONAL VERTICAL DIMENSIONS OF STEEL DIMENSIONS SHALL NOT BE SCALE
 ARCHITECT
LOVICK SCOTT ARCHITECTS
 3707 1ST AVENUE
 BURBANK, BC V5C 2Y6
 ADMIN@LOVICKSCOTT.COM
 604.258.3760 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIA, MA, SAA, MAA
 PROJECT NO. 1096.004



English Inn
 429 Lamson Street
 Victoria, BC
 For Aragon (Lampson) Properties Ltd.

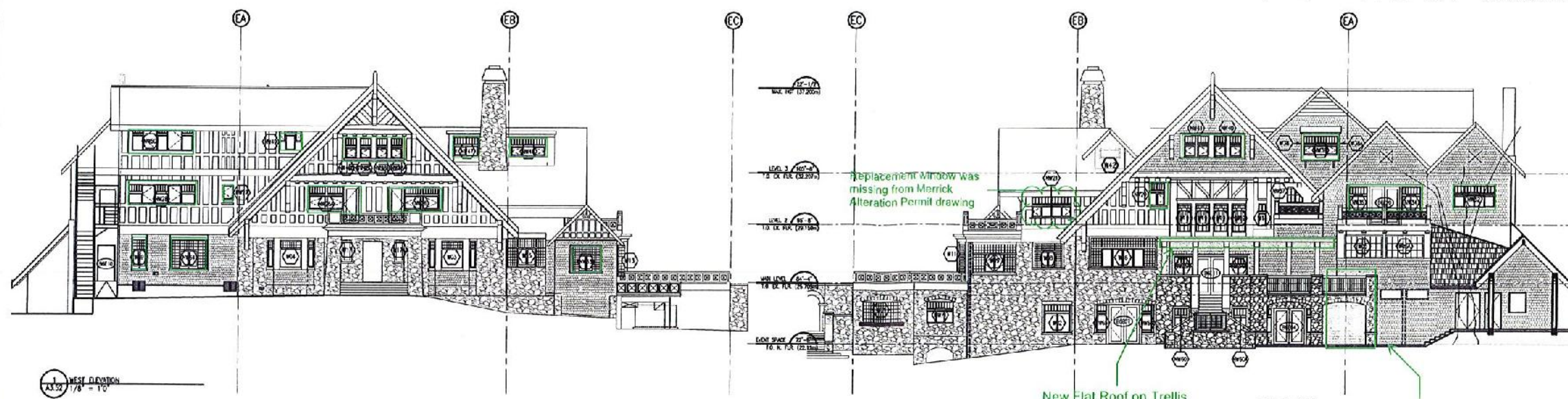
ALLOWED	ALLOWED	APPROVED	PROPOSED
FLOOR AREA RATIO			
	0.47	0.47	0.47
	MANOR HOUSE	INN-WING ADDITION	
L0	5,524 SF	1,460 SF	DEFINITION: THE ENTIRE AREA WHICH IN PLAN IS ENCLOSED BY THE INTERIOR FACE OF THE EXTERIOR WALLS OF THE STOREY OR FLOOR LEVEL.
L1	5,152 SF	2,229 SF	NOTE: ADDITIONAL OPEN DECKS, SUN DECKS, PORCHES, VERANDAS, CHIMNEYS FORMING PART OF AN EXTERIOR WALL, PROJECTING SKY WINDOWS, ACCESSORY BUILDINGS, PORTIONS OF A BUILDING USED OR INTENDED TO BE USED FOR THE
L2	4,305 SF	2,178 SF	PARKING OR TEMPORARY STORAGE OF VEHICLES, STAIRS AND STAIRWELLS AREAS THAT HAVE NO SURFACES ON WHICH TO STAND AND ARE OPEN TO BELOW, ANY PORTION OF A PENTHOUSE
L3	3,124 SF	1,740 SF	CONTAINING ELEVATOR OR VENTILATION MACHINERY, ANY PORTION OF A BUILDING WHERE THE CEILING HEIGHT IS LESS THAN 1.2 METRES ABOVE THE FLOOR.
SUB-TOTAL	18,115 SF	7,607 SF	
TOTAL		26,221 M ²	
CALCULATED F.A.R.		26,221 / 57,479 = 45.0% F.A.R.	
ADDITIONAL REQUESTED FLOOR AREA	65 SF (NEW ROOF)	26,221.65 / 57,479 = 45.7% F.A.R.	
ALLOWED	ALLOWED	APPROVED	PROPOSED
SITE COVERAGE			
SITE A PARCEL SIZE	0.534 HA / 57,479 SF PER DP000072 AMENDMENT ON FEB 21 2018		
LOT COVERAGE	0.1068 HA / 13,495.8 SF	11,023.5 SF	11,455 SF
LOT COVERAGE RATIO	<20%	19.3%	20.4%

FLOOR AREA AND COVERAGE CALCULATIONS

Scale: 1/8" = 1'-0"

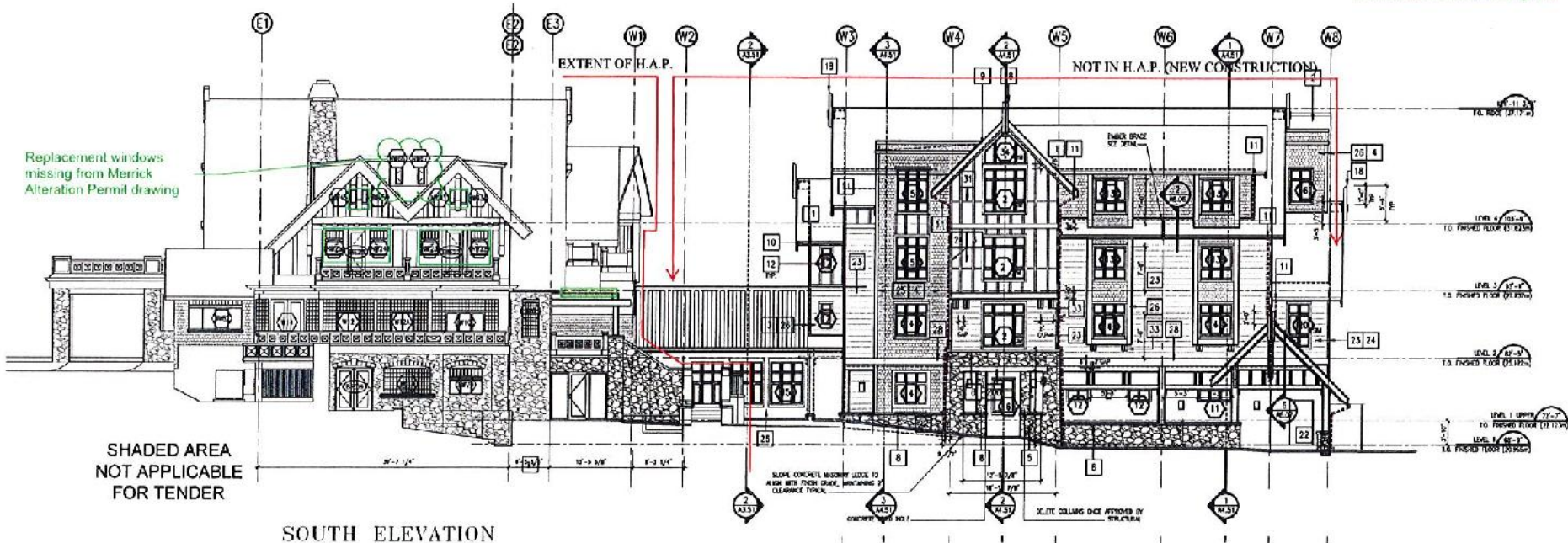
Drawing No: AS NOTED

Revised	RI	Revised	RI
Number	18136	Number	N/A



1 WEST ELEVATION
A3.52
1/8" = 1'-0"

2 EAST ELEVATION (TERRACE)
A3.52
1/8" = 1'-0"



SHADED AREA
NOT APPLICABLE
FOR TENDER

SOUTH ELEVATION

Green outline indicates
replacement window

3 SOUTH ELEVATION
A3.52
1/8" = 1'-0"

MATERIAL LEGEND		MATERIAL	
1	ADHESIVE SHEET	12	WALL BRICKS AND CODE
2	PAINT, EXTERIOR FINISH	13	ALUMINUM BRICKS AND CODE
3	3-1/2" BRICKS & 2" ST. GUT	14	WOOD SHAKES AND SHIMS
4	BASE STONE CONCRETE BLOCK	15	GLASS BRICKS SET IN ALUMINUM
5	BRICK JOINT	16	BRICKS WITH
6	SLURRY RAFTERS AND	17	HOLLOW METAL DOOR & FRAME
7	CEILING JOINT AND BRICK	18	CHALK AND CHALK
8	CONCRETE WALL AND CHIMNEY	19	STONE WALLS & TIE
9	WALL JOINT AND JOINT	20	PERFORATED CONCRETE BRICK
10	PERFORATED CLAY	21	FLUOR TONER
11	PERFORATED CLAY & CONCRETE	22	WALL JOINT
23	3-1/2" UP SOFT EXTERIOR	24	3-1/2" CLASSIC W/
25	3-1/2" CLASSIC W/	26	3-1/2" CLASSIC W/
27	3-1/2" CLASSIC W/	28	3-1/2" CLASSIC W/
29	3-1/2" CLASSIC W/	30	3-1/2" CLASSIC W/
31	3-1/2" CLASSIC W/	32	3-1/2" CLASSIC W/
33	3-1/2" CLASSIC W/	34	3-1/2" CLASSIC W/
35	3-1/2" CLASSIC W/	36	3-1/2" CLASSIC W/
37	3-1/2" CLASSIC W/	38	3-1/2" CLASSIC W/
39	3-1/2" CLASSIC W/	40	3-1/2" CLASSIC W/
41	3-1/2" CLASSIC W/	42	3-1/2" CLASSIC W/
43	3-1/2" CLASSIC W/	44	3-1/2" CLASSIC W/
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65	3-1/2" CLASSIC W/	66	3-1/2" CLASSIC W/
67	3-1/2" CLASSIC W/	68	3-1/2" CLASSIC W/
69	3-1/2" CLASSIC W/	70	3-1/2" CLASSIC W/
71	3-1/2" CLASSIC W/	72	3-1/2" CLASSIC W/
73	3-1/2" CLASSIC W/	74	3-1/2" CLASSIC W/
75	3-1/2" CLASSIC W/	76	3-1/2" CLASSIC W/
77	3-1/2" CLASSIC W/	78	3-1/2" CLASSIC W/
79	3-1/2" CLASSIC W/	80	3-1/2" CLASSIC W/
81	3-1/2" CLASSIC W/	82	3-1/2" CLASSIC W/
83	3-1/2" CLASSIC W/	84	3-1/2" CLASSIC W/
85	3-1/2" CLASSIC W/	86	3-1/2" CLASSIC W/
87	3-1/2" CLASSIC W/	88	3-1/2" CLASSIC W/
89	3-1/2" CLASSIC W/	90	3-1/2" CLASSIC W/
91	3-1/2" CLASSIC W/	92	3-1/2" CLASSIC W/
93	3-1/2" CLASSIC W/	94	3-1/2" CLASSIC W/
95	3-1/2" CLASSIC W/	96	3-1/2" CLASSIC W/
97	3-1/2" CLASSIC W/	98	3-1/2" CLASSIC W/
99	3-1/2" CLASSIC W/	100	3-1/2" CLASSIC W/



LOVICK SCOTT ARCHITECTS
3707 1ST AVENUE
BURNABY, BC V5C 5V6
ADMIN@LOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
MEMBER OF THE AEC, AIA, SAA, URA



English Inn
429 Lonsdon Street
Victoria, BC
For
Aragon (Lonsdon) Properties Ltd.

ROSEMEADE ELEVATIONS

AS NOTED

SD RI RI

18136

A3.52

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

HERITAGE ALTERATION PERMIT

NO. HAP00002 - Amendment

Owner: Aragon (Lampson) Properties Ltd., Inc. No. BC863902

Lands: PID 023-009-331
Lot B, Section 11, Esquimalt District, Plan VIP60066

Address: 429 Lampson Street, Esquimalt, B.C.


Conditions:

1. This Heritage Alteration Permit Amendment is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this amendment and HAP00002.
2. This Heritage Alteration Permit Amendment varies the provisions of Heritage Designation [429 Lampson Street] Bylaw, 2013, No. 2807' by allowing the alterations and additions to the heritage building as described in Schedule 'A'; including a new connection between the Inn (manor house) and the new addition, 'the wing'.
3. Approval of this Heritage Alteration Permit Amendment has been issued in accordance with the architectural drawings prepared by Merrick Architecture, stamped 'Received March 19, 2018, attached hereto as Schedule 'A'.
4. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.
5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case maybe or their successors to title in the lands.
6. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
7. For the purposes of this Heritage Alteration Permit Amendment, the holder of the Permit shall be the owner(s) of the lands.

ISSUED BY MUNICIPAL COUNCIL RESOLUTION ON THE 9th DAY OF APRIL,
2018

SIGNED THIS 19 DAY OF April, 2018


Director of Development Services


Corporate Officer (Deputy)
Corporation of the Township
of Esquimalt

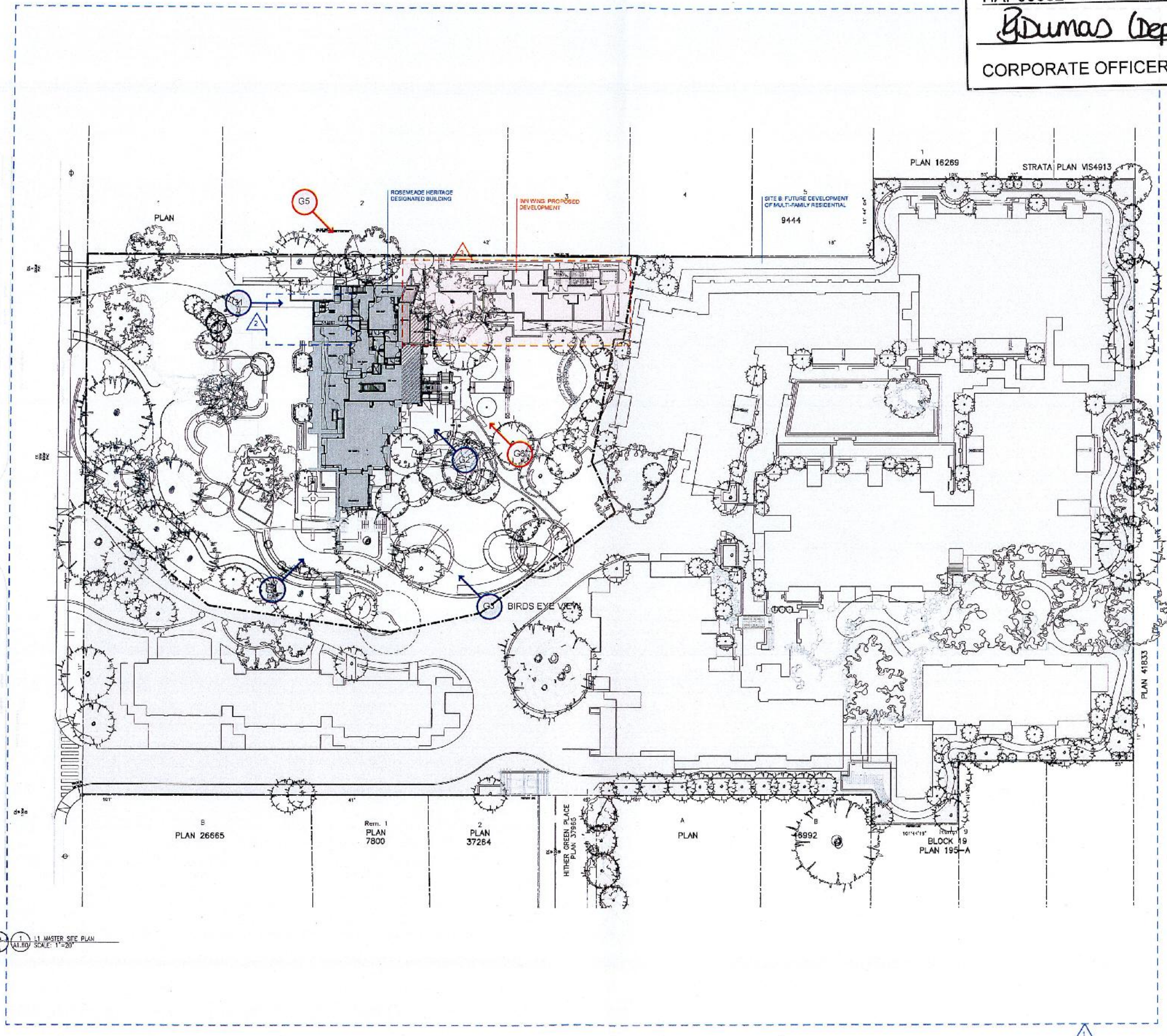
THIS IS SCHEDULE A OF
 HERITAGE ALTERATION
 PERMIT NO.
 HAP00002 – Amendment
J. Dumas (Deputy)
 CORPORATE OFFICER

MERRICK
 ARCHITECTURE
BOROWSKI SAUNDERS FLISG MCINTYRE LTD.

VANCOUVER
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 F: 604.683.9313

VICTORIA
 18 Bastion Square
 Victoria BC V8W 1R9
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Revision No.	Description	Date
1	Cloning and sheet number updates	17.03.15
2	Removal of exterior door and sign on west facade	17.03.15
3	Rev. HAP 1017 g Plan and correction to list #11	18.03.19

Issue	Issue Date
Angelo Program Del	2017.02.16
CP Re-submission	2017.03.08
CP Re-submission	2017.10.27
SP Submission	2017.12.15
Issued for Heritage Alteration Permit (Approved Oct 10 2017)	Aug. 2018



Consultant

Project
English Inn
 429 Langson Street
 Victoria, BC
 For
 Aragon (Lampson) Properties Ltd.

Sheet Title
INN MASTER SITE PLAN

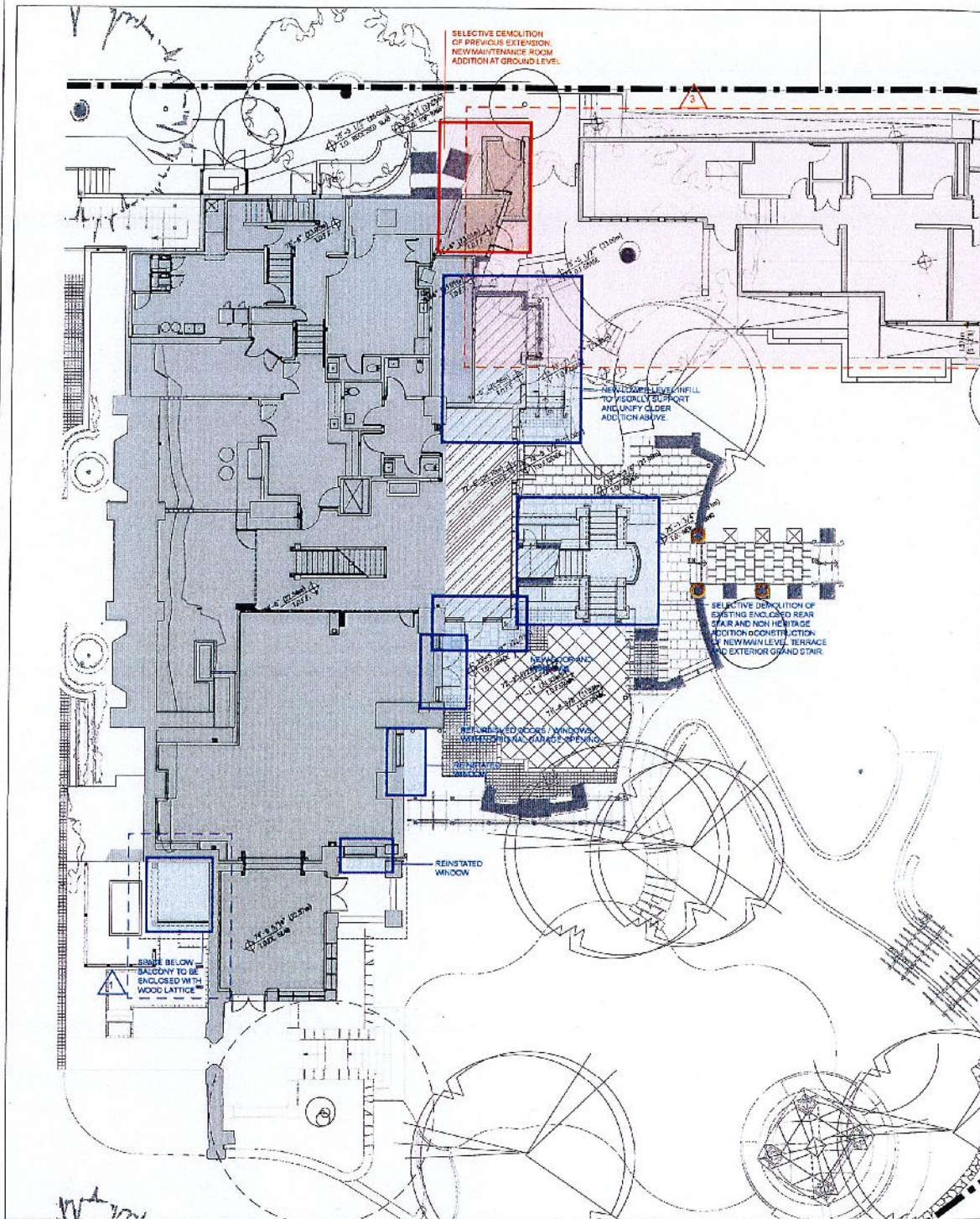
Drawn By
 JY, JH, RV

Checked By
 GF

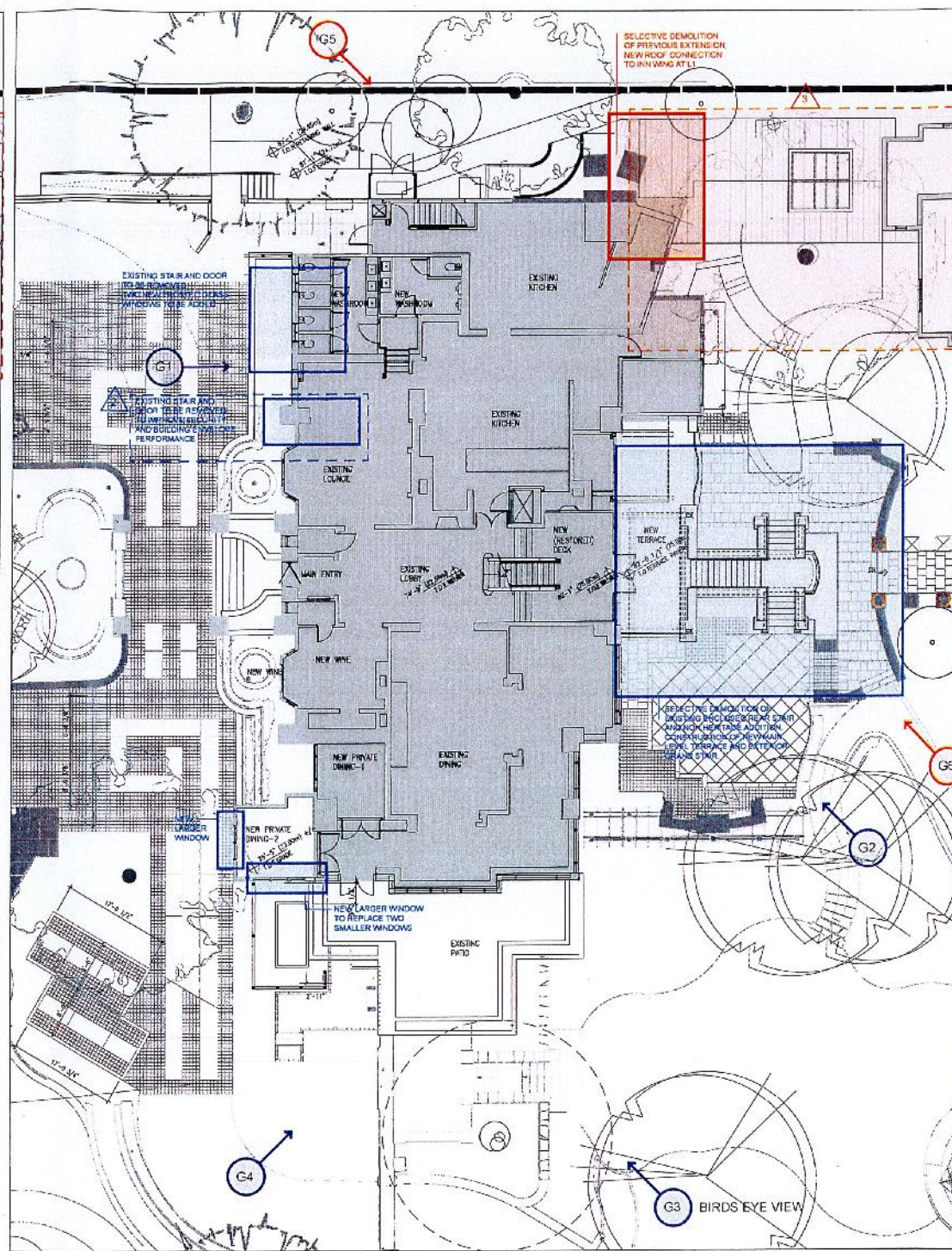
Project Number
 1527

Scale
 AS NOTED

Revision
 3



1 L0 SITE PLAN
SCALE: 1/8"=1'-0"



2 L1 SITE PLAN
SCALE: 1/8"=1'-0"

THIS IS SCHEDULE A OF
HERITAGE ALTERATION
PERMIT NO.
HAP00002 – Amendment
B. Dumas (Deputy)
CORPORATE OFFICER

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Rev.	Description	Date
1	Clearing site sheet number additions	17.05.01
2	Removal of rear door and new window	17.08.15
3	New window plan and connection to main wing	18.03.18

ALTERNATIONS APPROVED
OCT 10 2017

NEW APPROVALS FOR HERITAGE
PROPOSED

ISSUED FOR TENDERS
2017.11.03
For Heritage Alteration Permit
(Approved Oct 10 2017)



Contract:

Project:
English Inn
429 Langson Street
Victoria, BC
For
Aragon (Langson) Properties Ltd.

Sheet Title:
INN L0 AND L1 SITE PLAN

Drawn by:
JY, JH, RV

Project Number:
1527

Revision:
3

Checked by:
GF

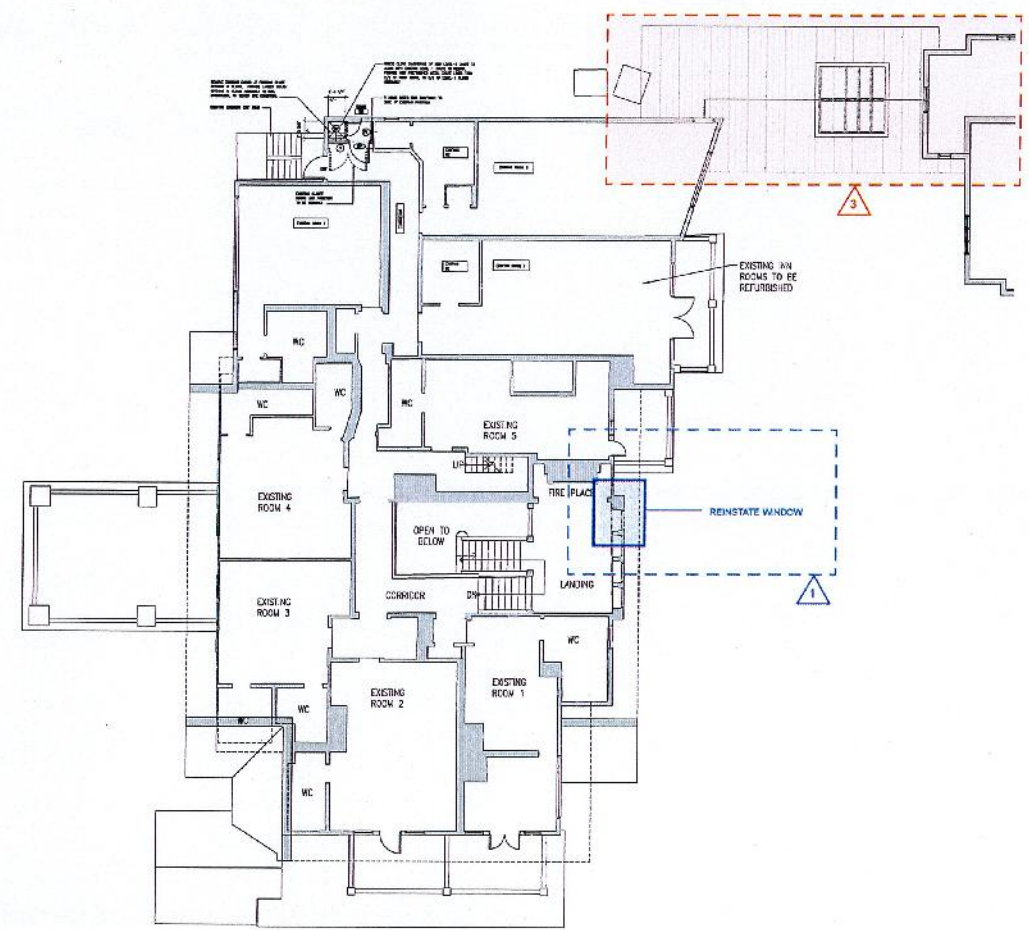
Scale:
AS NOTED

Sheet Number:
3

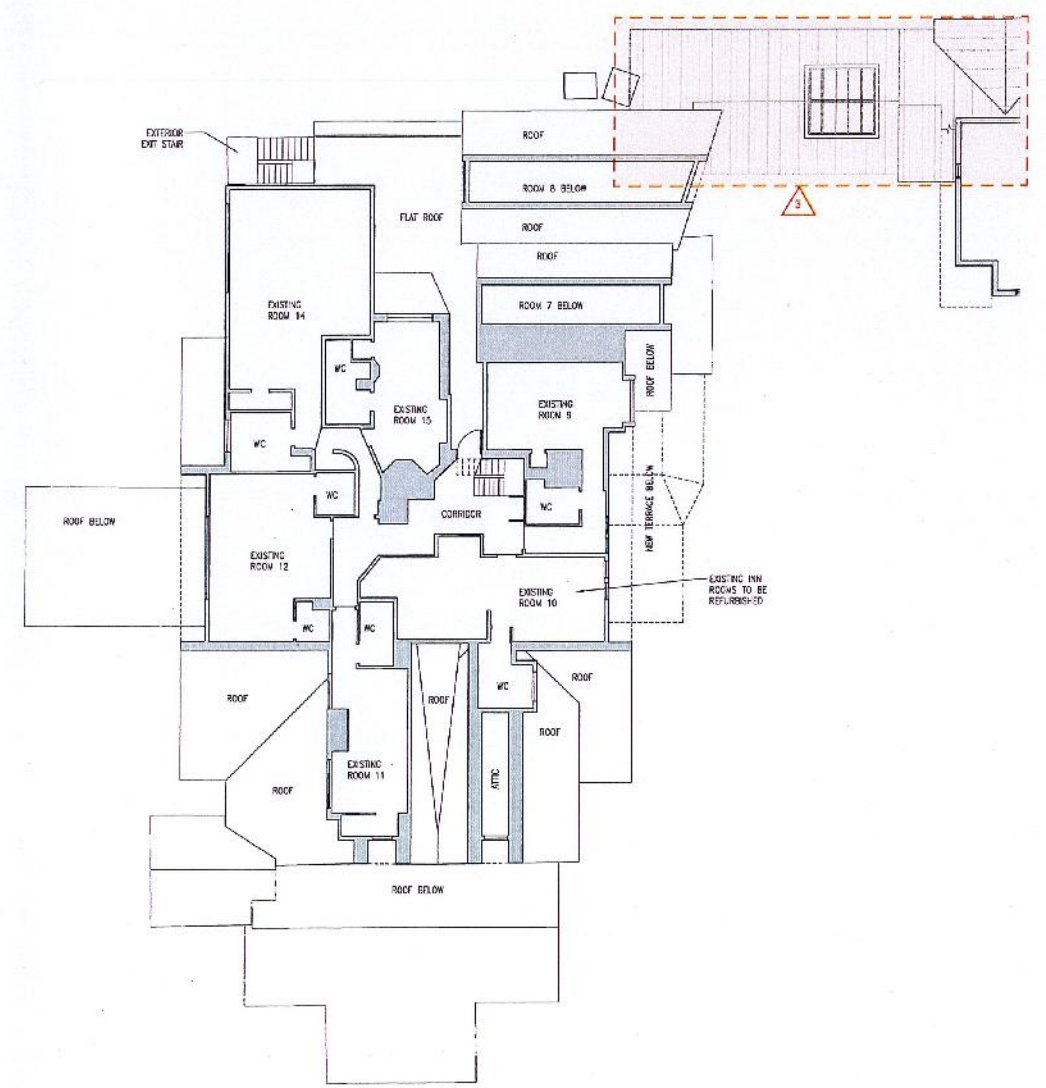
MERRICK ARCHITECTURE
 BC BUSINESS SERVICES LTD.
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Revisions	No.	Description	Date
	1	Drawing and sheet number update	17.09.05
	2	New Inn Wing Plan and construction to be on site	13.03.19

Issue	Issue Date
Alterations Approved	OCT 19 2017
Approval Progress Set	2017.03.16
DP Resubmission	2017.05.08
DP Resubmission	2017.10.27
EP Submission	2017.12.15
Forward to Heritage Alteration Permit	Aug 8 2018
Approved	OCT 19 2017



L2 PLAN
 42.80' SCALE: 1/8" = 1'-0"

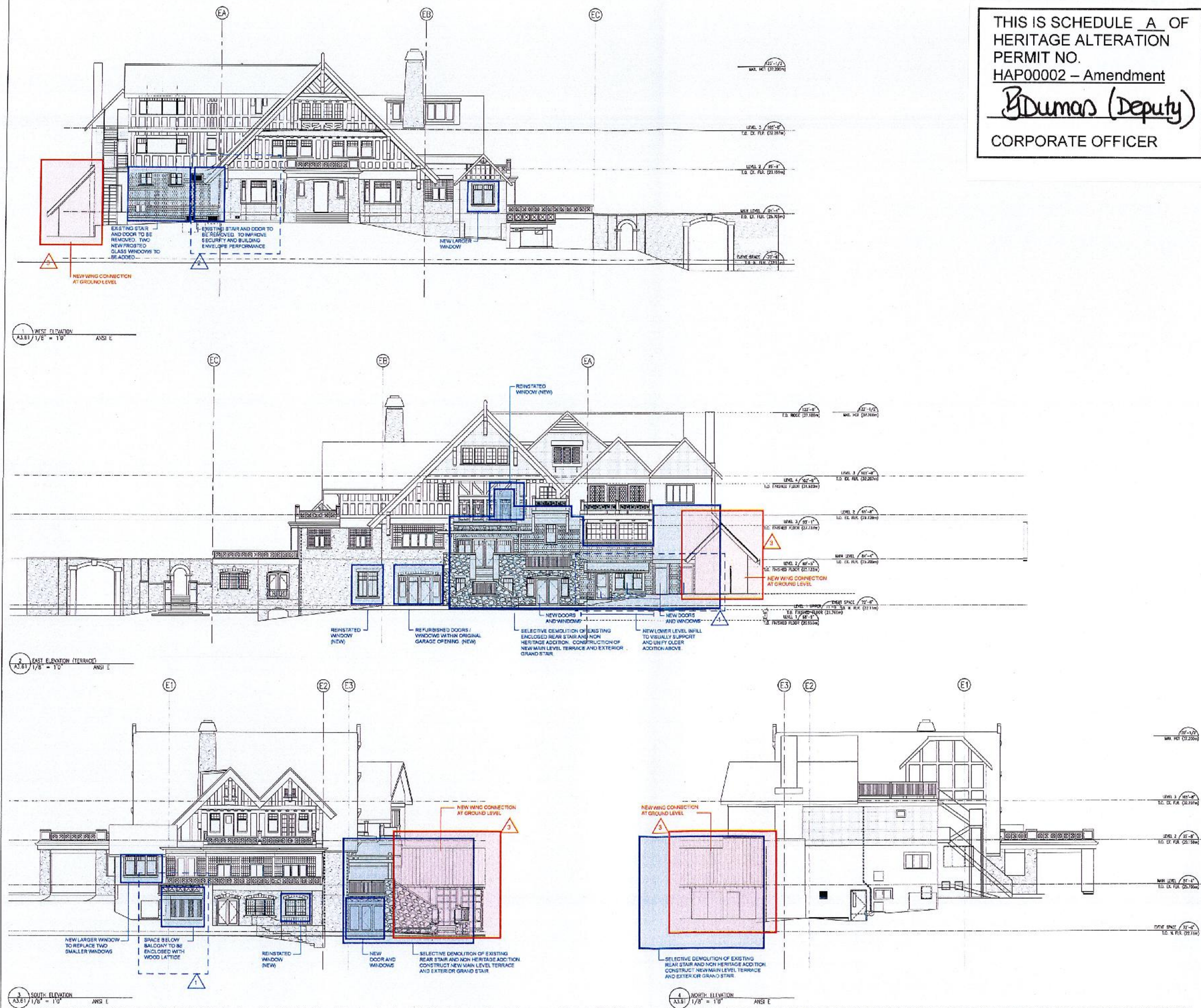


L3 PLAN
 42.80' SCALE: 1/8" = 1'-0"

THIS IS SCHEDULE A OF
 HERITAGE ALTERATION
 PERMIT NO.
 HAP00002 – Amendment
J. Dumas (Deputy)
 CORPORATE OFFICER

Consultant
 Project
 English Inn
 429 Langston Street
 Victoria, BC
 For
 Aragon (Langston) Properties Ltd.
 Sheet Title
 INN L2 AND L3 PLANS
 Drawn By
 JY, JH, RV
 Project Number
 1527
 Checked
 GF
 Date
 AS NOTED
 Sheet Number
 3

A2.602



THIS IS SCHEDULE A OF
 HERITAGE ALTERATION
 PERMIT NO.
 HAP00002 – Amendment
B. Dumas (Deputy)
 CORPORATE OFFICER

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Revision No.	Description	Date
1	Drawing and sheet number updates	17.08.15
2	Removal of exterior door and stair on new facade	17.08.15
3	New wing plan and connection to main L.L.	18.03.18

ALTERATIONS APPROVED
 OCT 10 2017

NOT REVISIONS FOR NEW WING PROPOSED

Issue Date
 BUILDING PERMIT 2017.10.19
 DOOR AND FRAME PRICING 2017.10.20
 ISSUED FOR TENDERS 2017.11.03
 DOOR AND FRAME PRICING (R1) 2017.11.15
 Issued for Heritage Alteration Permit Aug 8 2018
 Approved Oct 10 2017



Consultant:
 Project:
English Inn
 420 Lamson Street
 Victoria, BC
 For
 Aragon (Lamson) Properties Ltd.
 Sheet Title:
INN ELEVATIONS
 Drawn By: JY, JH, RV, GS
 Checked: GF
 Project Number: 1527
 Scale: AS NOTED
 Revision: 3
 Sheet Number: 3

A3.61

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Revision No.	Description	Date
1	Drawing and sheet number updates	17/09/16
2	Removal of exterior door and stair on west facade	17/09/16
3	New Fire-Wing Plans and connection to link at L1	18/05/18

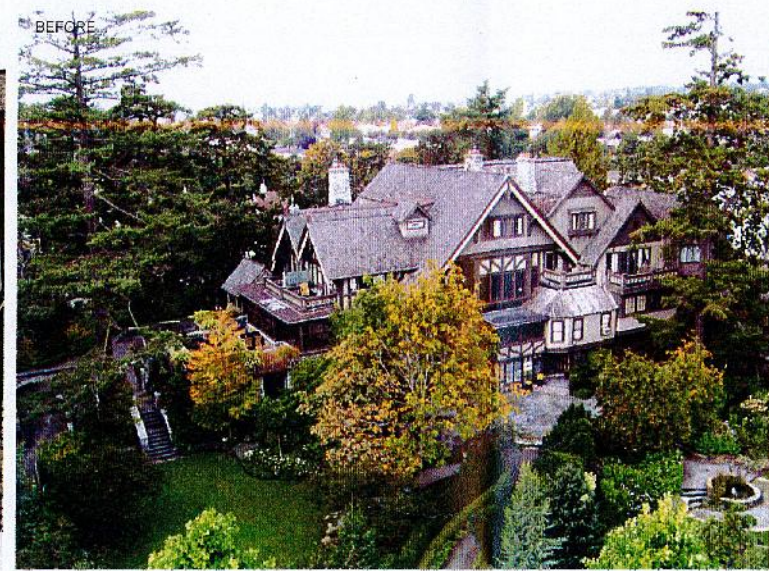
ALTERATIONS APPROVED OCT 18/2017
 NEW REVISIONS FOR NEW WING PROPOSAL
 Issue Date: 2017.02.16
 Aragon Progress Set: 2017.05.08
 UP Re-submission: 2017.05.08
 Issued for Heritage Alteration Permit Approved Oct 19/2017



G1 EXISTING STAIR AND WINDOW TO BE DEMOLISHED



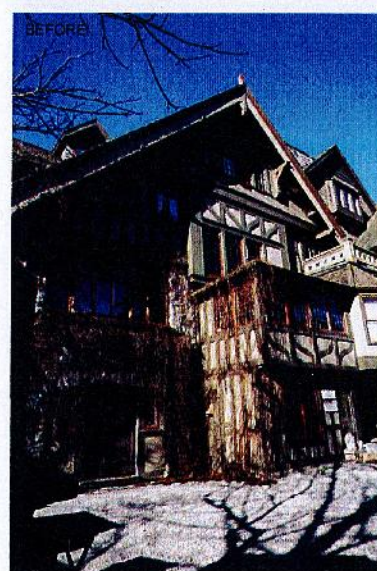
RENDERING SHOWING STAIR AND WINDOW REMOVED AND PROPOSED 30" SQUARE WINDOWS.



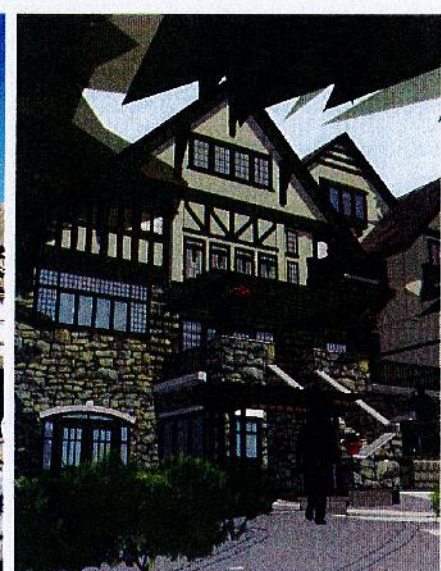
G3 EXISTING BIRDSYE VIEW SHOWING AREA TO BE SELECTIVELY DEMOLISHED.



RENDERING SHOWING NEW GRAND STAIR, TERRACE, AND TRELLIS.



G2 EXISTING AREA TO UNDERGO SELECTIVE DEMOLITION



SKETCH SHOWING NEW DOORS AND SIDE LIGHTS, GRAND STAIR, TERRACE AND TRELLIS.



G4 EXISTING VIEW SHOWING EXISTING WINDOWS TO BE REPLACED.



RENDERING SHOWING NEW LARGER WINDOW.

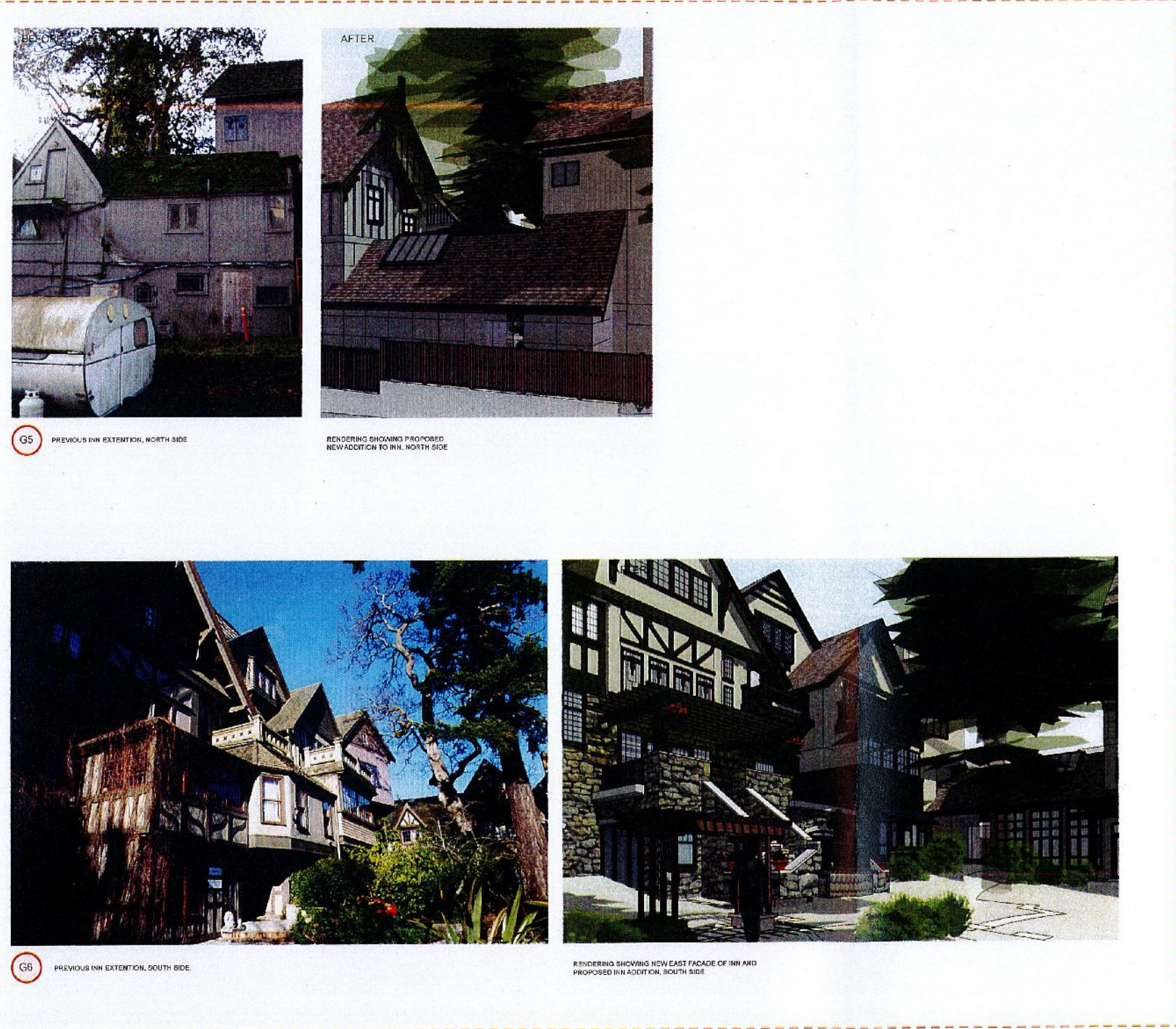
RECEIVED
 MAR 19 2018
 CORP. OF TOWNSHIP OF ESQUIMALT
 DEVELOPMENT SERVICES

THIS IS SCHEDULE A OF HERITAGE ALTERATION PERMIT NO. HAP00002 – Amendment
G. Dumas (Deputy)
 CORPORATE OFFICER

Project: English Inn
 425 Larpson Street
 Victoria, BC
 For: Aragon (Larpson) Properties Ltd.
 Sheet Title: EXISTING AND PROPOSED IMAGERY
 Drawn By: JY, JH, RV
 Project Number: 1527
 Revision: 3
 Checked: GF
 Scale: AS NOTED
 Sheet Number: 3

Revision No.	Description	Date
1	Drawing and sheet number update	17.09.18
2	Removal of exterior door and stair on west facade	17.09.18
3	Remove existing stone wall connection to main level	18.02.18

Item	Issue Date
Asap/Program Set	2017.02.19
DP Finalization	2017.05.08
Issued for Heritage Alteration Permit (Approved Oct 12/2017)	Aug 8/2018



G5 PREVIOUS INN EXTENSION, NORTH SIDE

RENDERING SHOWING PROPOSED NEW ADDITION TO INN, NORTH SIDE

G6 PREVIOUS INN EXTENSION, SOUTH SIDE

RENDERING SHOWING NEW EAST FACADE OF INN AND PROPOSED INN ADDITION, SOUTH SIDE

THIS IS SCHEDULE A OF
 HERITAGE ALTERATION
 PERMIT NO.
HAP00002 – Amendment
B. Dumas (Deputy)
 CORPORATE OFFICER

Consultant	
Project	
English Inn 428 Lamson Street Victoria, BC For Arigon (Lampson) Properties Ltd.	
Sheet Title	
EXISTING AND PROPOSED IMAGERY	
Drawn By	Checked
JY, JH, RV	GF
Project Number	Scale
1527	AS NOTED
Revision	Sheet Number
3	