



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

**DESIGN REVIEW COMMITTEE
AGENDA**

**WEDNESDAY, AUGUST 8, 2018
3:00 P.M.
ESQUIMALT COUNCIL CHAMBERS**

- I. CALL TO ORDER**
- II. LATE ITEMS**
- III. ADOPTION OF AGENDA**
- IV. ADOPTION OF MINUTES – July 11, 2018**
- V. STAFF REPORT**

- (1) Rezoning - 939 Colville Road and 825 Lampson Street
PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277, and;
PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277**

PURPOSE OF APPLICATION:

The applicant is requesting a change in zoning from the current zones of RS-4 [Single Family Bed and Breakfast] and CD-90 [Comprehensive Development District No. 90], to a new Comprehensive Development District to accommodate the proposed ten (10) strata townhouse residences, to be constructed in four (4) buildings on the subject property.

The existing two houses would be demolished and the ten new dwelling units would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] **provide Council with comments** on the proposed redevelopment of 939 Colville Road and 825 Lampson Street, for ten (10) townhouse type dwelling units built in four (4) buildings; **and**

That **the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a rezoning**, authorizing ten (10) townhouse dwelling units as sited on the survey plan prepared by Island Land Surveying Ltd. and incorporating the height and massing consistent with the architectural plans provided by T-Square Design, both stamped "Received July 6, 2018", detailing the development proposed to be located at 939 Colville Road [PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277] and 825 Lampson Street [PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277], **be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the recommendation.**

(2) Development Permit Application

615 Fernhill Road

[PID 004-757-742 Lot B, Section 11, Esquimalt District, Plan 12446]

PURPOSE OF APPLICATION:

The applicant is proposing to build a 10 unit multiple family residential building. Comprehensive Development District No. 105 of Esquimalt Zoning Bylaw 1992, No. 2050 has been written to govern this development.

This site is located within Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 6 – Multi-Family Residential, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, and Development Permit Area No. 8 – Water Conservation. A Development Permit is required to ensure that the application is generally consistent with the Development Permit Area guidelines contained within the Esquimalt Official Community Plan Bylaw, 2018, No.2922. The development permit is required prior to a building permit being issued for the construction of a structure.

Evaluation of this application should focus on issues respecting the form and character of the development, including landscaping, exterior design and finish of the buildings and other structures in relation to the relevant design guidelines. In addition, evaluation should focus on natural environment protection, energy conservation, greenhouse gas reduction, and water conservation in relation to the relevant development permit area guidelines.

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a Development Permit authorizing the form and character of the proposed development of a 10 unit residential apartment building consistent with the architectural plans provided by MJM Architect Inc., the landscape plan by Studio One Creative, and sited in accordance with the BCLS Site Plan provided by Wey Mayenburg Land Surveying Inc., all stamped “Received June 19, 2018”, to be located at PID 004-757-742 Lot B, Section 11, Esquimalt District, Plan 12446 [615 Fernhill Road] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

(3) Development Permit Application

669 Constance Avenue

[PID 030-431-026 Lot 1, Suburban Lots 43 and 44, Esquimalt District, Plan EPP76107]

PURPOSE OF APPLICATION:

The applicant is proposing to build a 12 storey, mass timber, 83 unit, multiple family, prefabricated, residential building. Comprehensive Development District No. 107 of Esquimalt Zoning Bylaw 1992, No. 2050 has been written to govern this development.

This site is located within Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 6 – Multi-Family Residential, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, and Development Permit Area No. 8 – Water Conservation. A Development Permit is required to ensure that the application is generally consistent with the Development Permit Area guidelines contained within the Esquimalt Official Community Plan Bylaw, 2018, No.2922. The development permit is required prior to a building permit being issued for the construction of a structure.

Evaluation of this application should focus on issues respecting the form and character of the development, including landscaping, exterior design and finish of the buildings and other structures in relation to the relevant design guidelines. In addition, evaluation should focus on natural environment protection, energy conservation, greenhouse gas reduction, and water conservation in relation to the relevant development permit area guidelines.

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a Development Permit authorizing the form and character of the proposed development of a 83 unit residential apartment building consistent with the architectural plans provided by Lang Wilson Practice in Architecture Culture Inc., the landscape plan by Lombard North Group Inc., and sited in accordance with the McElhanney Consulting Services Ltd., all stamped “Received July 24, 2018”, to be located at PID 030-431-026 Lot 1, Suburban Lots 43 and 44, Esquimalt District, Plan EPP76107 [669 Constance Avenue] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

- (4) Development Permit Application – 520 Comerford Street
[PID: 023-885-718, Strata Lot 1 Suburban Lot 40 Esquimalt District Strata Plan VIS4397 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1]**

PURPOSE OF APPLICATION:

The applicant is looking to install an elevator and hoistway inside the existing office building on the property that will change the height of the building.

The property is within the following Development Permit areas: Development Permit Area No.1 – Natural Environment, Development Permit Area No. 6 – Multi Family Residential Development Permit Area No. 7 Energy Conservation and Greenhouse Gas Reduction and Development Permit Area No. 8 – Water Conservation [Attached]. Therefore a Development Permit is required to ensure that the application is consistent of the Development Permit Area guidelines within the Esquimalt Official Community Plan Bylaw, 2018, No.2922.

Evaluation of this application should focus on issues respecting the form and character of the proposal in relation to the relevant design guidelines as well as the guidelines related to Development Permit Areas No.1, No.7, and No.8.

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a Development Permit authorizing the construction of a elevator and hoistway inside the existing office building on the property are consistent with the architectural plans provided by Joe Newell Architect Inc. and sited in the Land Surveyor’s Site Plan prepared by J.E. Anderson & Associates all stamped “Received July 20, 2018”; to be located at 520 Comerford Street, [PID: 023-885-718, Strata Lot 1 Suburban Lot 40 Esquimalt District Strata Plan VIS4397 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1] be forwarded to Council with a recommendation to either **approve or deny the application; including reason for the chosen recommendation.**

VI. NEXT REGULAR MEETING

September 12, 2018

VII. ADJOURNMENT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY DESIGN REVIEW COMMITTEE MINUTES OF JULY 11, 2018 ESQUIMALT COUNCIL CHAMBERS

PRESENT:	Roger Wheelock, Chair Ally Dewji Bev Windjack	Wendy Kay Jill Singleton
ABSENT:	Cst. Rae Robirtis, Graeme Verhulst and Robert Schindelka	
STAFF:	Bill Brown, Director of Development Services, Staff Liaison Karen Hay, Planner Pearl Barnard, Recording Secretary	

I. CALL TO ORDER

Roger Wheelock, Chair, called the Design Review Committee meeting to order at 3:01 p.m.

II. LATE ITEMS

Pertaining to Agenda Item V. **STAFF REPORT** Rezoning and Official Community Plan Amendment – 636 and 640 Drake Avenue

1. Street Context Drawing

III. APPROVAL OF AGENDA

Moved by Ally Dewji, seconded by Wendy Kay: That the agenda be approved as amended.
Carried Unanimously

IV. ADOPTION OF MINUTES – June 13, 2018

Moved by Ally Dewji, seconded by Bev Windjack: That the minutes of June 13, 2018, be adopted as circulated. **Carried Unanimously**

V. STAFF REPORTS

Rezoning and Official Community Plan Amendment 636 and 640 Drake Avenue

Jim Burrows, Burrows Holdings Ltd., Inc., Chris Travis, Dimma Pacific Properties Ltd., Rick Hoogendooren, Realtor and Keith Grant, Landscape Architecture Ltd. provided an overview of the Rezoning and Official Community Plan Amendment for 636 and 640 Drake Avenue, presented a PowerPoint presentation and responded to questions from the Committee.

Committee comments included (*response in italics*):

- Density, setbacks and site coverage were discussed. Asking for townhouse density in a single family residential block. One member thought the side yard setbacks should be reduced, other members expressed concerns that if the side yard setbacks were reduced it would not allow for a reasonable drive aisle- If there is no relaxation of the side setbacks, it would become a non-functional design. The proposed design needs to meet the objectives of the Official Community Plan and RM-3 Zone requirements. Reduce the FAR and lot coverage and increase the useable open space.
- Concerns with access in and out of the site. *Has been looked at by a Civil Engineer.*
- The proposal will increase density and is a very good use of the property.
- Consider increasing the amount of bicycle storage.
- Units are family oriented, no area for children to play.

RECOMMENDATION:

Moved by Ally Dewji, seconded by Wendy Kay: The Esquimalt Design Review Committee [DRC] recommends to Council that the application for a rezoning and OCP amendment, authorizing eight (8) townhouse dwelling units as sited on the survey plans prepared by Powell and Associates stamped “Received June 1, 2018 and incorporating the height and massing consistent with the architectural plans provided by Burrows Holdings Ltd. and Dimma Pacific Properties Ltd., stamped “Received April 17, 2018”, detailing the development proposed to be located at 636 and 640 Drake Avenue [PID 002-923-157, Lot 2 of Suburban Lot 50 and 41, Esquimalt District, Plan 25565 and PID 002-923-211, Lot 3 of Suburban Lot 41, Esquimalt District, Plan 25565], **be forwarded to Council with a recommendation for approval** with the following conditions:

- That the proposal for the site more closely meet the current RM-3 Zone including:
 - A reduction in FAR and lot coverage and
 - An increase in the useable open space

The reason: To add flexibility in the design while delivering housing that meets the Townhouse form. **Carried Unanimously**

VIII. NEXT REGULAR MEETING

Wednesday, August 8, 2018

IX. ADJOURNMENT

The meeting adjourned at approximately 4:08 p.m.

CERTIFIED CORRECT

CHAIR, DESIGN REVIEW COMMITTEE
THIS 8th DAY OF AUGUST, 2018

ANJA NURVO,
CORPORATE OFFICER



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: August 8, 2018

STAFF REPORT

DATE: July 27, 2018

TO: Chair and Members of the Design Review Committee

FROM: Karen Hay, Planner
Bill Brown, Director of Development Services

SUBJECT: **Rezoning - 939 Colville Road and 825 Lampson Street**
PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277, and;
PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] **provide Council with comments** on the proposed redevelopment of 939 Colville Road and 825 Lampson Street, for ten (10) townhouse type dwelling units built in four (4) buildings; **and**

That **the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a rezoning**, authorizing ten (10) townhouse dwelling units as sited on the survey plan prepared by Island Land Surveying Ltd. and incorporating the height and massing consistent with the architectural plans provided by T-Square Design, both stamped "Received July 6, 2018", detailing the development proposed to be located at 939 Colville Road [PID 005-752-655, Lot 1, Block 1, Section 10, Esquimalt District, Plan 6277] and 825 Lampson Street [PID 000-017-817, Lot 2, Block 1, Section 10, Esquimalt District, Plan 6277], **be forwarded to Council with a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the recommendation.**

BACKGROUND:

Purpose of the Application

The applicant is requesting a change in zoning from the current zones of RS-4 [Single Family Bed and Breakfast] and CD-90 [Comprehensive Development District No. 90], to a new Comprehensive Development District to accommodate the proposed ten (10) strata townhouse residences, to be constructed in four (4) buildings on the subject property.

The existing two houses would be demolished and the ten new dwelling units would be constructed. Should the rezoning be approved, the form and character of the buildings and landscaping would be controlled by a development permit that would be considered by Council at a future date.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent

with the overall direction contained within the Official Community Plan.

Context

Applicant: Ryan Jabs, Lapis Homes Ltd.

Owners: Ryan Jabs and Sam Hofer

Property Size: 939 Colville Rd.: [Lot 1]: Metric: 974 m² Imperial: 10484 ft²
825 Lampson St.: [Lot 2]: Metric: 1023 m² Imperial: 11011 ft²
Total: Metric: 1997 m² Imperial: 21495 ft²

Existing Land Use: 939 Colville Rd.: Single Family Dwelling with B&B
825 Lampson St.: Single Family Dwelling

Surrounding Land Uses:

North: Two Family Residential [RD-3]

South: Townhouse Residential [RM-2]

West: Two Family Residential [RD-1]

East: Single Family Residential [RS-1 and CD-32]

Existing Zoning: 939 Colville Rd.: Single Family Bed and Breakfast Residential [RS-4]
825 Lampson St.: Comprehensive Development District [CD-90] [never built]

Proposed Zoning: CD [Comprehensive Development District]

Present OCP Designation: Low Density Residential and Townhouse Residential

Proposed OCP Designation: Townhouse Residential [no change required]

ISSUES:

Comments From Other Departments

The plans for this proposal were circulated to other departments and the following comments were received by the APC submission deadline:

Building Inspection: Construct to current BC Building Code and Municipal Building Code Bylaw, 2002, No. 2538. Subject to code and bylaw review at time of building permit application.

Engineering Services: Engineering has completed a preliminary review of the proposed development at 939 Colville Road and 825 Lampson Street. The developer should be aware that they may be required to provide Works and Services up to the road centre line, at the expense of the property owner. At a minimum new curb, gutter and sidewalks along the frontage of the proposed development maybe required. The development is to have sewer, drain, catch basin and water service connections, as well as underground hydro, telephone, and cable. Additional review and comments will be provided upon receipt of detailed engineering drawings. All proposed Works and Services shall be as per Bylaw, 1997, No. 2175. It is the responsibility of the applicant to hire a qualified professional for the design and construction supervision of all Works and Services, including construction costs, engineering fees, administrative fees and as indicated in Bylaw No. 2175.

Fire Services: Sprinklers will be required for these building as per Building Regulation Bylaw 2017, No. 2899. Driveway shall be constructed in a fashion that permits fire department access, minimum six (6) metres wide.

Parks Services: Parks staff have received and reviewed the tree cutting permit application for the removal of four trees which will require replacement with 8 new trees. Protection by tree protection fencing, set up at the drip-line to be provided for neighbouring trees prior to demolition and construction commencing.

Director of Development Services: As this proposal situated on two lots, the lots would need to be consolidated prior to final adoption of the zoning amendment bylaw. Should this rezoning be approved, a Development Permit would be required.

Note: All projects are subject to compliance with the BC Building Code, Esquimalt Subdivision and Servicing Bylaw, Esquimalt Zoning Bylaw and other Regulations and Policies set by Council.

Zoning

Density, Lot Coverage, Siting and Setbacks: The following chart compares the setbacks, lot coverage and floor area ratio of this proposal with the requirements of the RM-3 [High Density Townhouse Residential Zone]:

	RM-3 [High Density Townhouse Residential]	Proposed CD Zone 939 Colville Road and 825 Lampson Street
Floor Area Ratio [F.A.R.]	0.60	0.69
Lot Coverage	25%	33%
Setbacks <ul style="list-style-type: none"> • Front (Colville Rd.) • Rear (South) • Side (Lampson St.) • Side (East) 	7.5 m 7.5 m 4.5 m 4.5 m	7.3 m (6.9 m to entry) 3.2 m 3.6 m 3.3 m
Building Height	9.0 m	Building A: 8.07 m Building B: 7.24 m Building C: 8.84 m Building D: 8.54 m
Off Street Parking	2 spaces/ dwelling unit	1.3 spaces/ dwelling unit, [16 spaces] 12 full size, 4 small car [5 dedicated as visitor 1 as a car share space]
Usable Open Space	121.8 m ² / 1624 m ² [7.5% of the area of the parcel]	0 m ² [0 %] conforming to terms of Zoning Bylaw, 1992, No. 2050

The F.A.R. of the proposal at 0.70 is greater than the 0.60 F.A.R. permitted in the Multiple Family Residential [RM-3] [high density townhouse or low density apartment development] zone. The Official Community Plan allows for consideration of up to 0.70 F.A.R. for Townhouses, these lots are in an area designated for Townhouses.

The proposed Lot Coverage at 33% is also greater than the maximum 25% permitted in the RM-3 zone. This proposal requires a small reduction to the front setback (0.2 m), and a 1.3 metre reduction to the rear setback requirements of the RM-3 zone. The tallest proposed building at 8.8 metres in height is below the maximum provided in the RM-3 zone.

A small accessory structure would be located in the front of the principal buildings along the Colville Road frontage. The accessory structure would house garbage, recycling and an electrical room. It measures 9.5 m x 2.7 m and is proposed to be located 3.0 metres from the Colville Road frontage.

The 'Useable Open Space'; as defined in the zoning bylaw, excludes areas used for front yards and parking, and areas with any dimension less than 6.0 metres. This proposal's provision of small private patios does not meet the 7.5 % Useable Open Space requirement contained in the RM-3 zone. There is however a park and playground space within 100 metres of this proposal.

This development will require several retaining walls, located along the south and south-east corners of the site. These walls facilitate the buildings to be lower along the Lampson Street frontage.

Parking and Maneuvering

There are four buildings proposed; two with three dwelling units each, and two with two dwelling units. The proposal provides for 10 resident garages; 3 visitor spaces located towards the back of the site, two visitor spaces towards the front, and one space that is being reserved for a car-share car. The parking bylaw allows for up to 50% of parking spaces to be small car space sized; this proposal has 12 full size spaces and 4 small car spaces.

The maneuvering aisle between the buildings at 7.35 m meets the requirements of Parking Bylaw 1992, No. 2011. The driveway width at 6.0 metres would provide enough space for the maneuvering of a fire truck through the proposed curves of the driveway.

There is regular bus service in the vicinity, on Lampson Street with transit routes 24 and 26, and on Craigflower Road by route 14. The Walk Score for this area is '64 – Somewhat walkable'.

Official Community Plan

This proposal complies with the 'Townhouse Residential' "Proposed Land Use Designation" (OCP Schedule B).

The Official Community Plan supports the expansion of housing types in residential areas. The immediate neighbourhood contains a mix of single family, two-family, townhouse and multi-family housing types.

Section 5 Housing & Residential Land Use contains policies that are intended to ensure that concerns such as tree protection, parking, traffic, noise, effects on neighbouring properties, and neighbourhood character are addressed.

- Policy - Consider new townhouse residential proposals with a Floor Area Ratio of up to 0.70, and up to three storeys in height, in areas designated 'Townhouse Residential' on the "Proposed Land Use Designation Map," provided the design responds effectively to both its site and surrounding land uses.

- Policy - Support the development of a variety of housing types and designs to meet the anticipated housing needs of residents. This may include non-market and market housing options that are designed to accommodate young and multi-generational families, the local workforce, as well as middle and high income households.

5.2 Low Density Residential Redevelopment

OBJECTIVE: Strive for redevelopment and infill development that improves and enhances the appearance and livability of neighbourhoods and the community as a whole.

- Policy - Proposed redevelopment or infill within present low density residential land use designated areas should be built to high quality design and landscaping standards and respond sensitively to existing neighbourhood amenities.

5.4 Affordable Housing

OBJECTIVE: To encourage a range of housing by type, tenure and price so that people of all ages, household types, abilities and incomes have a diversity of housing choice in Esquimalt.

- Policy - Encourage the provision of missing middle housing types such as two-unit dwellings (duplexes), townhouses and small lot infill as one avenue to address housing affordability.

OCP Section 23 provides Development Permit Guidelines for land contained within the Multi-Unit Residential Development Permit Area. As the Development Permit is not being considered at this time it would be inappropriate to address many of these guidelines, with the following exceptions that are relevant to the discussion of zoning and parking issues:

23.5.1. The size and siting of buildings that abut existing single- and two-unit and townhouse dwellings should reflect the size and scale of adjacent development and complement the surrounding uses. To achieve this, height and setback restrictions may be imposed as a condition of the development permit.

23.5.2. New buildings should be designed and sited to minimize visual intrusion on to the privacy of surrounding homes and minimize the casting of shadows on to the private outdoor space of adjacent residential units.

23.5.5. Surface parking areas in developments less than five storeys in height, will be situated away from the street and screened by berms, landscaping or solid fencing or a combination of these three.

23.5.9. Retention and protection of trees and the natural habitat is encouraged wherever possible.

23.5.10. Townhouses will be designed such that the habitable space of one dwelling unit abuts the habitable space of another unit and the common wall overlap between adjoining dwellings shall be at least 50 percent.

23.5.14. Provide for building occupants to overlook public streets, parks, walkways and spaces, considering security and privacy of residents.

The property is also included in the following OCP Development Permit Areas: Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 7 – Energy

Conservation and Greenhouse Gas Reduction, Development Permit Area No. 8 – Water Conservation. Many of these guidelines would be addressed at the Development Permit stage but the following are relevant to the discussion of zoning and parking areas, including in particular the siting of proposed buildings.

OCP Section 18 Development Permit Area No. 1 – Natural Environment

18.5.2 Natural Features

Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.

18.5.5 Drainage and Erosion

Measures to control drainage and shoreline erosion. Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.

OCP Section 24 - Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction

24.5.1 Siting of buildings and structures. Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.
2. Build new developments compactly, considering the solar penetration and passive performance provided for neighbouring sites, and avoid shading adjacent to usable outdoor open spaces.
4. Provide space for pleasant pedestrian pathways between buildings.
5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.

24.5.2 Form and exterior design of buildings and structures. Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.
2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.
8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.

24.5.3 Landscaping - Where it is feasible:

2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.

24.5.5 Special Features

4. Reuse of existing buildings and building materials is encouraged.

OCP Section 25 - Development Permit Area No. 8 – Water Conservation

25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping) Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Public Notification

As this is a Rezoning application should it proceed to a Public Hearing, a notice would be mailed to tenants and owners of properties within 100m (328ft) of the subject property. In order to satisfy the requirements of the *Local Government Act*, a notice to relevant government and institutional stakeholders within the Capital Region would be required. Three signs indicating that the two properties are under consideration for a change in zoning have been installed on the Colville Road and Lampson Street frontages. The signs would be updated to include the date, time, and location of the Public Hearing.

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

N



850

851

936

Colville Rd

832

826

822

Lampson St

939

937

933

825

921

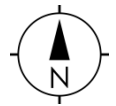
921

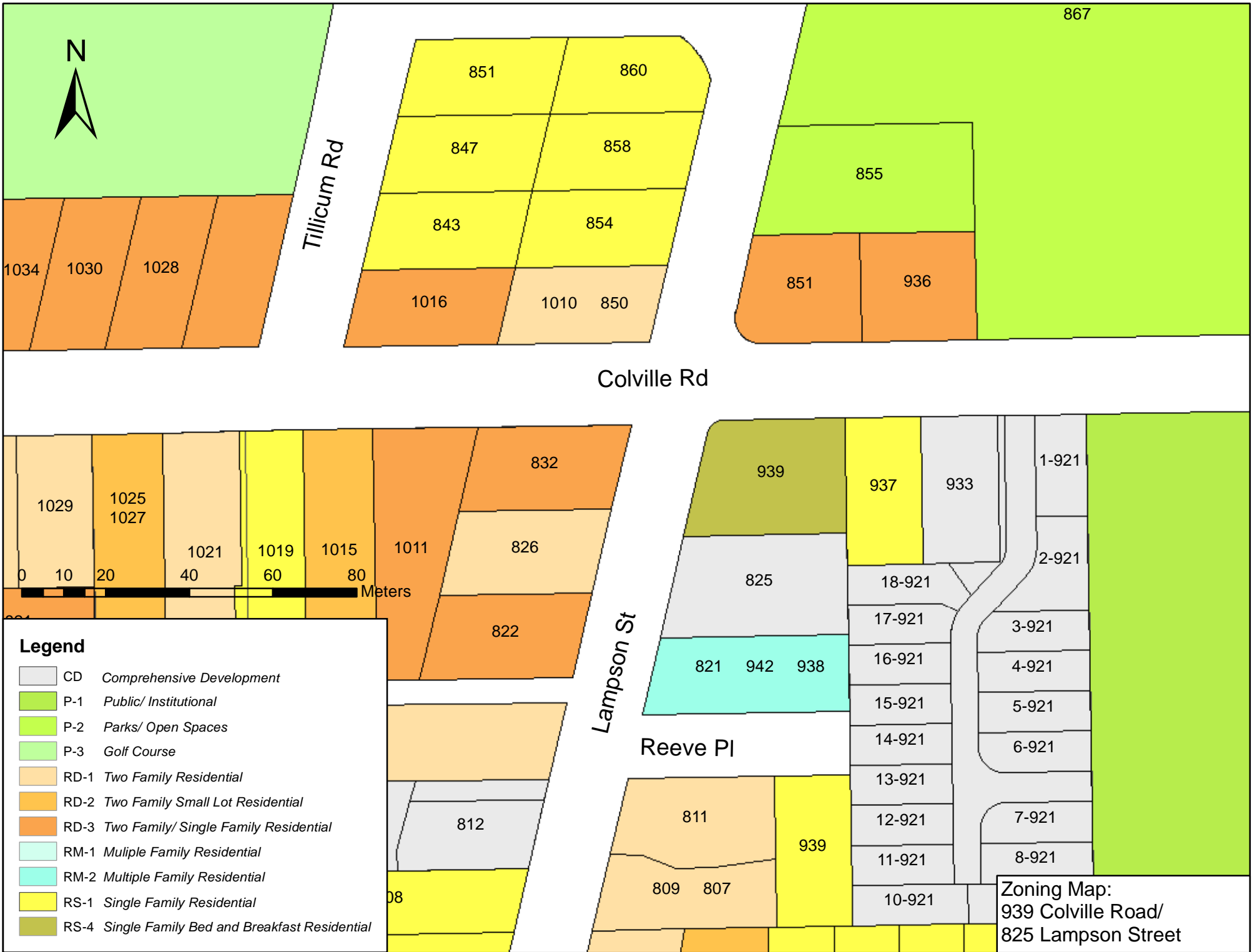
921

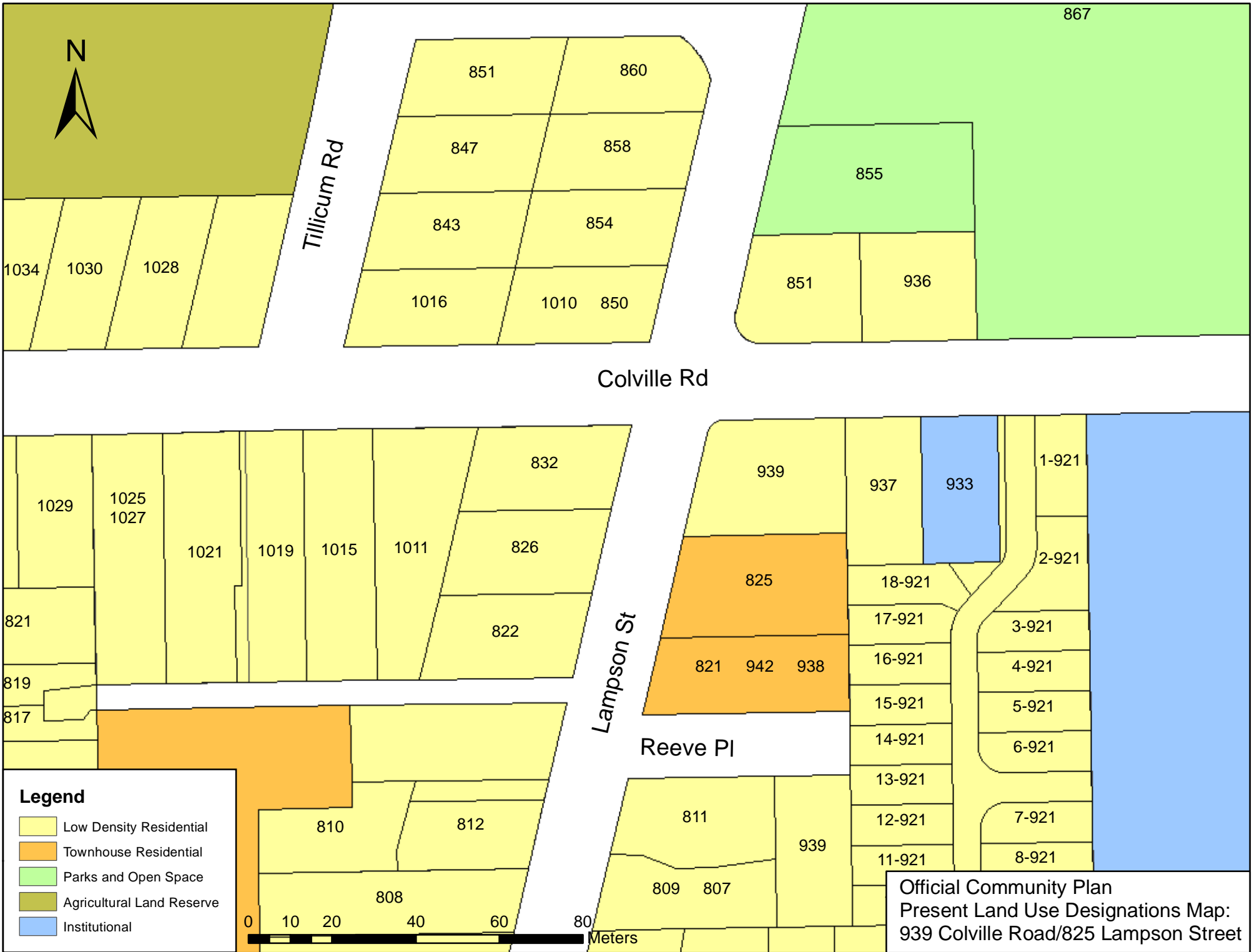
942

Subject Property Map:
939 Colville Road
825 Lampson Street

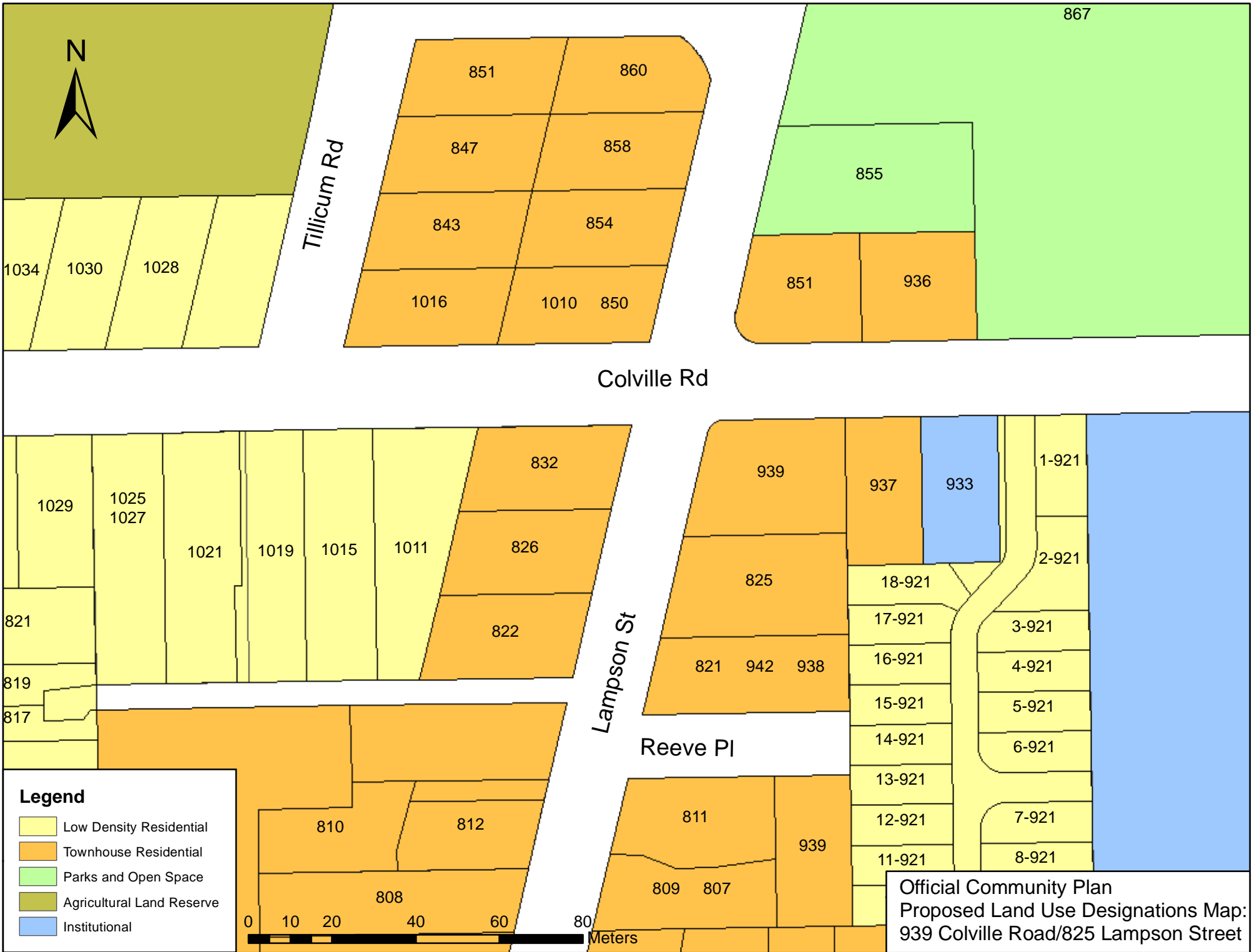
939 Colville Road and 825 Lampson Street - air photo







Official Community Plan
 Present Land Use Designations Map:
 939 Colville Road/825 Lampson Street



Tillicum Rd

Colville Rd

Lampson St

Reeve Pl

- Legend**
- Low Density Residential
 - Townhouse Residential
 - Parks and Open Space
 - Agricultural Land Reserve
 - Institutional



Official Community Plan
 Proposed Land Use Designations Map:
 939 Colville Road/825 Lampson Street

43. MULTIPLE FAMILY RESIDENTIAL [RM-3]

The intent of this Zone is to accommodate high density Townhouse or low density Apartment development.

(1) Permitted Uses

The following Uses and no others shall be permitted:

- (a) Townhouse Residential
- (b) Apartment Residential
- (c) Home Occupation

(2) Floor Area Ratio

The Floor Area Ratio shall not exceed 0.60.

(3) Building Height

- (a) No Principal Building shall exceed a Height of 9 metres.
- (b) No Accessory Building shall exceed a Height of 4 metres.

(4) Lot Coverage

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 25% of the Area of a Parcel.
- (b) All Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.

(5) Siting Requirements

(a) Principal Building

- (i) Front Setback: No Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) Side Setback: No Building shall be located within 4.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Building shall be located within 7.5 metres of a Rear Lot Line.

(b) Accessory Building

- (i) Front Setback: No Accessory Building shall be located in front of the front face of the Principal Building.

- (ii) Side Setback: No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Accessory Building shall be located within 1.5 metres of a Rear Lot Line.
- (iv) Building Separation: No Accessory Building shall be located within 2.5 metres of a Principal Building.

(6) **Usable Open Space**

Usable Open Space shall be provided in an amount of not less than 7.5% of the Area of the Parcel.

(7) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 1.2 metres in front of the front face of the Principal Building and 2 metres behind the front face of the Principal Building.

(8) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).

Lapis Homes Ltd.
4291 Oakfield Crescent Victoria, BC, V8X4W4
Phone 250-413-7121
ryanjabs@laphomes.com
www.laphomes.com



May 3rd, 2018

Dear Mayor and Council,

I am the developer of the proposed 10-unit townhouse development at 825 Lampson and 939 Colville, as well as the owner of a small family-run company called Lapis Homes. We recently completed the four townhouses at 521 Foster, and this is my second multi-family development proposed for Esquimalt.

I wanted to provide you with some details on my proposal, as well as to let you know that I'm available to meet with you if you'd like more information or have some specific questions about the project.

Local homes for families:

Like the homes at Foster, my expectation with this project is to bring more housing options to Esquimalt for families who want to live and work in the municipality. As a result, we've used a similar interior layout to the one we used at Foster, which appealed and worked well for the four families who bought those homes.

We've designed each unit as a three-bed, three-bath townhouse with open concept living areas, a flex room and a single car garage, which we're proposing to wire up for electric car chargers. The layout works well for families with young children, as all three bedrooms are on the top floor, sharing a large cheater-ensuite bathroom.

The first-floor flex room could be used as an office, media room or a storage area. But it also works well for families with a teenager, who may need a little more space from the rest of their family – as well as their own full bathroom.

A design for the Neighbourhood:

In addition to an interior layout that will appeal to young families, we spent considerable time coming up with a design and a landscaping plan that will improve the look of the street and will feel welcoming to the neighbourhood.

The southeast corner of Lampson and Colville is a key corner in Esquimalt, as it's the first thing people see when they come around Transfer Street and south up the hill onto Lampson.

As you can see from the 3D renderings, these homes – with the warm designer colour scheme, entrances that face Lampson and Colville, layers of landscaping that will provide colour all year, and the tree-lined yards – will create a presence on the street corner that invites people into the heart of the township.

We've also staggered the buildings to provide breaks, walkthroughs, open spaces, trees and other landscaping features throughout the property to make it more liveable for residents and neighbours.

Designing for bikes, transit and automobiles:

As I noted above, we want our development to appeal to people who are looking to stay local and to live, work and play in Esquimalt. And while we know that having a car is necessary for most families who have kids (and we're meeting this with single car garages in each unit, plus five visitor spaces), we're providing a number of alternative transportation options to get people out of their cars.

Recent Statistic Canada data shows that in the last two decades, the number of people taking their bikes to work rose nearly 90% and the number of people taking transit rose by nearly 60%. In addition, the data shows that Victoria, at 17%, has the largest percentage of people in the country who walk or cycle to work.

I want to tap into this market with our marketing efforts as this location provides a great opportunity for the growing number of people who take their bicycle to work. In fact, the commute to Naden military base on a bike is less than 10 minutes – and only a couple minutes longer than by car. And for those who might work in downtown Victoria, their commute is virtually identical by car or by bike because of the excellent connection from this location into town along the E&N and over the new bridge.

This is why we're building longer garages with storage space in each for two bicycles, as well as a bike lockup on the property for guests.

And for those that choose transit, this location is well served by BC Transit service, with major routes that connect to the entire city running down Colville, Lampson and nearby on Craigflower.

I'm also looking to reduce our buyers' desire for a second car by introducing them to car share. A 2011 study showed that households that joined a car share program cut their vehicle ownership in half. I am in discussions with Modo to purchase a vehicle for this development and provide memberships for each home.

This car will not only reduce the need for second cars for people in these 10 units but it will also provide options for people in the surrounding community and for future neighbouring developments that may want to provide car share memberships for future residents.

Featuring Green:

Vehicle traffic is one of the largest contributors to pollution across the world. We want to make it as easy as possible to help future buyers use their cars as little as possible.

As noted above, we're close to good public transit and we'll be putting in cycling storage in each unit and marketing the easy access and great connection to cycling paths. We're also in discussions with Modo to purchase and put a car share vehicle on the property and provide memberships to each unit.

As well, we're planning to wire each garage for electric car chargers so that people who purchase these units have easy access to secure charging spaces when they switch to electric.

In addition to the efforts we're taking to get buyers out of cars or into cleaner vehicles, we have engaged an energy consultant (Adapt Energy Advising) on the project and are planning to install solid-core front doors and more environmentally efficient windows (either higher end double panes, or triple panes) in the six units that run along the Lampson street frontage. This will help reduce the energy use of these buildings, as well as cut down on the sound from the street.

We will also be using more paving stones than concrete for the driveways, patios and walkways to both provide a pleasing aesthetic look, as well as to help with drainage and rainwater management. In addition, we are installing a landscape swale along the northeast corner of the lot, which is the natural low point of the development. This will capture and handle rainwater from the driveways.

And as you can see from the detailed landscaping plan, we are proposing to plant over 45 new trees on the property to provide privacy, shading and natural beauty to the project and surrounding properties. These trees will also help clean the air and water, reduce stormwater issues, and improve building energy use.

Landscaping as screening - electrical building and parking

We worked closely with our landscape designer to screen the electrical building and the recycling area, including using a natural wood pergola over the recycling area, choosing a dark colour scheme for the electrical building, as well as including a layering of trees, shrubs and other plantings, which over time will grow up to completely hide the building from the street.

We're also not just landscaping in front of the one building, which would have drawn the eye to that area. Instead, we're proposing a series of plantings along the Colville street frontage that will draw the focus away from the building itself and toward the entire garden.

We considered putting the electrical building and recycling area at the back of the site, but this would have meant moving the parking spaces there up to the front of the lot and creating more of a car-centric design.

In addition, the building and landscaping along the frontage also creates privacy for residents. I anticipate families barbequing, playing road hockey or hosting community events on the sheltered driveway.

Similarly, we've identified plants and trees along the driveway that will over time limit the visibility to the three parking spots that we have included on the Northeast corner. Once the landscaping is mature, the only car that should be easily visible from the street will be the MODO vehicle that will be parked there.

Massing and Privacy

For a pie shaped lot like 825 Lampson and 939 Colville, where the property tapers in towards the north (Colville), we needed to fit our units on the southeast side and along the Lampson street frontage so that we could accommodate the natural slope of the lot and put the driveway in the safest location possible.

By doing this, we were also able to create a people-focused street presence by orienting six entrances and gardens towards Lampson, as well as by dropping one of the floors below the grade of the street.

We also worked to break up the size and massing of our buildings as much as possible, choosing to go with two triplexes along the Lampson street frontage, and two duplexes at the southeast side of the property. This configuration reduces shading, improves how people move around the property and provides more airflow and sunlight throughout the development and onto neighbouring properties.

We're also using a layering approach with our plantings that will give more natural privacy to the neighbours along the eastern and southern side of the lot. Along the eastern property line, for example, we'll be planting a hedge of California lilacs, which will both shield the neighbouring units, and provide some colour with the blue flowers. On the south, we'll plant a row of red currant, as well as seven trees spaced out along the property.

The Official Community Plan and surrounding properties:

Both the current and the draft Official Community Plans designate these properties as townhouse residential. The property directly to the south is a three-unit townhouse, and the properties neighbouring this project to the southeast are part of an 18-unit townhouse-designated small lot development.

In addition, 825 Lampson was already approved by council in 2014 for a 9800-square foot, four unit three-floor townhouse development (approximately 2500 square feet each, including the garage), but that project was never built.

While this 10-unit development will provide a higher average number of units over two properties than the earlier project proposed for 825 Lampson, the average unit size will be much smaller, with a total building size of approximately 17,000 square feet, including garages (about 1700 square feet a unit). It'll also, as noted above, provide a people-focused orientation along both the Lampson and Colville frontage, making for a much better development.

Separately, and for additional context, I'll be bringing an application forward for smaller townhouses at the property directly to the east at 937 Colville, which will be the last single-family house in this block of Lampson and Colville.

If both projects are approved by council, this would provide a consistent, people-focused, family-oriented multi-family corner in the neighbourhood that matches the Official Community Plan's goals for the area.

Affordable Housing:

To shift tone a bit: I know what you might be thinking with the section's title, and I agree... I'm not going to suggest that these new townhouses should be considered "affordable housing." I've heard developers make that argument before. Sure, they will be more affordable than single family homes. But because of the increase in the market over the last five years, many people are priced out of this type of housing.

As a small developer, it's challenging to build affordably. But what I can do is contribute to affordable housing projects.

As I mentioned to you in an email earlier this year, out of our profits from Foster, we donated \$60,000 to the Anglican Diocese towards an affordable housing project that they're working on in Esquimalt. If this project is successful, I'll once again contribute a significant portion of profits to affordable housing in Esquimalt.

Thank you for taking the time to read through this letter and review my proposal. I look forward to discussing this project with you and with your staff in the coming months.

Take care,



Ryan Jabs
250-413-7121
ryanjabs@laphomes.com
www.laphomes.com



GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services at 250.414.7108** for clarification.

**New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan
for the Township of Esquimalt



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

1	Are you building to a recognized green building standard? If yes, to what program and level?	Yes	<input checked="" type="radio"/> No
2	If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? <small>Discussed cost effective techniques I may incorporate in the build, like proper sealing and more efficient windows and doors</small>	<input checked="" type="radio"/> Yes	No
3	Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them. <small>We will be using durable cement siding products.</small>	<input checked="" type="radio"/> Yes	No
4	What percentage of the existing building[s], if any, will be incorporated into the new building? <small>Where possible, we will use the existing fences and retaining walls, as well as rock excavated from the site.</small>	0-10 %	
5	Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. <small>We will use as much excavated material as possible and will source local wood for framing wherever possible.</small>		
6	Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? <small>Will discuss with engineer and builder advanced framing techniques like spacing studs further apart and using California corners.</small>	<input checked="" type="radio"/> Yes	No
7	Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? <small>Wherever possible. We will be most likely be sourcing wood locally through Stleggs.</small>		
	For which parts of the building (e.g. framing, roof, sheathing etc.)? _____		
8	Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. <small>Units will not be air conditioned.</small>	Yes	<input checked="" type="radio"/> No
9	List any products you are proposing that are produced using lower energy levels in manufacturing. <small>Engineered wood flooring, ceramic tiles for backsplashes and bathrooms.</small>		
10	Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? <small>Will determine through source companies</small>	<input checked="" type="radio"/> Yes	No
11	Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?	Yes	<input checked="" type="radio"/> No

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs?	Yes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements?	Yes N/A	<input type="checkbox"/>	<input type="checkbox"/>
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements?	Yes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? Will determine but we will likely use low flow showers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? We will use low faucets that meet BC Code and will try to exceed	Yes	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Storm Water

17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	No	<input checked="" type="checkbox"/>
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? We are proposing a landscape swale to slow and reduce impact on storm water system.	<input checked="" type="checkbox"/>	No	N/A
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. As shown on the landscaping plan, proposing a rain garden/swale	<input checked="" type="checkbox"/>	No	N/A
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	<input checked="" type="checkbox"/>	No	N/A
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. Bio-swale/rain garden should filter some water from the site.	<input checked="" type="checkbox"/>	No	N/A
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes	<input checked="" type="checkbox"/>	N/A
23	What percentage of the site will be maintained as naturally permeable surfaces?	At least 40%		%

Waste water

24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these.	Yes	No	<input checked="" type="checkbox"/>
----	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----	----	-------------------------------------

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species? We are proposing to remove a pine and an ornamental cherry, as well as two smaller hazelnuts and a chestnut and replacing them with approx 45 trees.	<input checked="" type="checkbox"/>	No	N/A
	Could your site design be altered to save these trees? We will be excavating near or in all of their root zones.			
	Have you consulted with our Parks Department regarding their removal? I have a permit application that will be submitted.			

26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? <small>Please see detailed landscaping design, which includes approximately 45 new trees.</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds? <small>We're proposing trees along the Lampson and Colville street frontage, along the property lines and in between buildings to provide shade, buffer winds, give some visual interest throughout the property.</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. <small>However, we will be planting some native species.</small>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island? <small>We've chosen mahonia nervosa, ribes, dogwoods, ferns, vine maples, carex and walker's low catmint, and mixed them in with other non-native species to add some colour and texture to the development</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
33	Will topsoil will be protected and reused on the site?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Energy Efficiency				
<i>Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.</i>				
34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? _____	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting? <small>Engaged an energy consultant to advise on design. However, we are fairly restricted by the layout of the site, as it is pie shaped and tapers from west to east.</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? <small>We expect 70-75 %</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. _____ If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
38	Has the building been designed to be solar ready?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards? <small>We will use more energy efficient windows along Lampson street frontage</small>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
41	Are energy efficient appliances being installed in this project? If so, please describe. <small>Energy star appliances will be used wherever possible within budget.</small>			
42	Will high efficiency light fixtures be used in this project? If so, please describe.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
43	Will building occupants have control over thermal, ventilation and light levels?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
45	Will underground parking areas have automatic lighting?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A



T-SQUARE
design consulting
T-Square
Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by "T-Square Design" ("TSD") and used in connection with this project are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the copyright in them and in the work prepared thereon, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, materials, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of preparation or any part thereof constitutes acceptance of the drawings, accuracy of the existing site conditions, and means dimensions and materials have been considered, verified and are acceptable.
3. The Contractor shall visit with a B.C.L.S. to verify compliance, siting and location of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to construction.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, trade manufacturer or other engineered component supplier.

LAMPSON STREET RENDERING - CORNER VIEW

ENVISIONS ARCHI-MEDIA, Brian Kendrick, T-Square Design, Dave Lunt

<p>LEDGESTONE VENER & POST</p> <p>Natural Stone Ledgestone Veneer & Post features a natural weathered face, split face and heavy surface finishes.</p>	<p>ROOF-6P "Mystique 42"</p> <p>Black Shadow-Fiberglass mat with a mineral-granule surface, this laminate asphalt shingle.</p>	<p>LAP SIDING-BLDG. "B-C"</p> <p>Benjamin Moore Kendall Charcoal HC-166 LRV: 12.96</p>	<p>TRIM - ALL BLDG. TRIM & BO SIDING</p> <p>Benjamin Moore Cloud White CC-40 LRV: 87.35</p>	<p>LAP SIDING-BLDG. "A-D"</p> <p>Benjamin Moore Brookline Beige HC-47 LRV: 40.29</p>	<p>GUTTER & SOFFIT</p> <p>GUTTER- Gutter & Soffit Snow White LRV: 89.7</p>	<p>FRONT DOOR</p> <p>Natural Cedar</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------	------------------------------------------------------------------------------------	----------------------------------------

ISSUED FOR DP/REZONING
May 03, 2018

Proposed Residence for:

RYAN JABS
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: Author
JOB #: A16-***
SHEET:
A500
SHEET A500 OF 500

\\server2\yates\PROJECTS\Tsquare_Models\939 Colville Townhomes\Mode\Mode\Mode\Floor Plans_Only_Cleaned Up\Model_New_redraft_Design\939 Colville_3 Unit_Bldg_A_04262018.rvt



T-SQUARE
design + consulting

T-Square
Design
T-Square Design
2650 Lakelse Drive
Victoria, BC, V8B 4S5
250-361-5411

design@tsquare.ca

GENERAL NOTES:

1. All drawings, plans, models, design specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are instruments of service for the work shown herein ("Work") and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the copyright in them and in the Work prepared from them, and they shall not be used for any other work or project.

2. It is the responsibility of the Contractor to verify all dimensions, materials, and the conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other material contribution acceptance of the drawings, materials of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.

3. The Contractor shall work with a B.C.S. to verify compliance placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to encroachment, siting or placement. Any proposed changes with respect to encroachment, siting or placement shall be confirmed with a B.C.S. prior to execution of the Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, their manufacturer or other registered consultant supplier.

COLVILLE ROAD RENDERING - CORNER VIEW

<p>LEDGESTONE VENEER & POST</p> <p>Natural Stone Ledgestone features a natural weathered-face split face and near surface finishes.</p>	<p>ROOF- RP "Mystique 42"</p> <p>Black Shadow-Fiberglass mat with a mineral-granule surface. This laminate asphalt shingle.</p>	<p>LAP SIDING-BLDG. "B-C"</p> <p>Benjamin Moore Kendall Charcoal HC-166 LRV: 32.96</p>	<p>TRIM -ALL BLDG. TRIM & BS SIDING</p> <p>Benjamin Moore Cloud White CC-40 LRV: 87.35</p>	<p>LAP SIDING-BLDG. "A-D"</p> <p>Benjamin Moore Brookline Beige HC-47 LRV: 40.29</p>	<p>GUTTER & SOFFIT</p> <p>GENTEK -Gutter & Soffit Snow White LRV: 89.7</p>	<p>FRONT DOOR</p> <p>Natural Cedar</p>
----------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------	-----------------------------------------------

ENVISIONS ARCHI-MEDIA, Brian Kendrick, T-Square Design, Dave Lunt

Proposed Residence for:

RYAN JABS
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: MS
JOB #: A50-***
SHEET:
A501
SHEET A501 OR501

ISSUED FOR DP/REZONING
May 03, 2018

ID	Qty	Common Name	Size	Comments
Acim	1	Crimson King Maple	15 Gal	Sub * Straight Acer palmatum
AcRS	5	Red Sunset Maple	2cm Cal B&B	Sub: Carpinus betulus 'Fastigata'
Agri	6	Paperbark Maple	8' HT B&B	Single Trunk. Well lifted canopy. Sub: Styrax japonica/ Pyrus 'Capital'
Avine	4	Vine Maple	6' HT B&B	Multi Trunk
Brig	5	River Birch	B&B 2cm Cal	Multi trunk
Bsem	117	Common Boxwood	44x 1 Gal Balled / 89x 3-5 Gal	Lampson St solid hedge. Window well adn back units balled.
CAur	25	Bowles Variegated Sedge	1 Gal	
Cbet	2	European Hornbeam	15 Gal	Well lifted canopy for foot traffic underneath
CorEleg	12	Red Twig Dogwood	3 Gal	Alternate plants that get cutback hard every late winter
Cww	3	Dogwood 'Eddie's White Wonder'	B&B 1.5 cm Cal	
FPur	5	Purple Columnar Beech	8' HT	
Fsyl	4	Green Columnar Beech	15 Gal	
Hjan	34	Little Lime Hardy Hydrangea	3 Gal	Lifted canopy. Standardized if available.
LonMAY	13	Shrubby Honeysuckle	1 Gal	
MahNE	22	Dwarf Oregon Grape	1 Gal	
Nep	19	Nepeta Walker's Low	1 Gal	Cut back hard after first bloom for late summer second bloom
Pmun	92	Sword Fern	1 Gal	Cut back every late winter
RKIn	6	King Edward Flowering Currant	3 Gal	
TaxR	71	Upright Japanese Yew	3' HT 16" wide min	Maintained as solid hedge
THSMAR	45	Emerald Green Cedar	7 Gal	Unit C & D to be a solid hedge

Notes:

- All building layout, survey information and setback dimensions supplied by Premium Designs and T-Square Designs. Imagine Garden Design & Landscapes working off provided information only.
- This drawing must not be scaled.
- The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
- All errors and omissions must be reported immediately to the Designer.
- This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.
- Any changes or deviations are the responsibility of the owner. All work to comply with municipal bylaws.
- All work to be completed to current BCSLA/BCLNA standards. Landscape Contractor to be familiar with and in possession of current Standard. Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard current edition. All plant material to be purchased from commercial nurseries. All growing medium to comply to BCSLA/ BCLNA standard designation. Underground irrigation system to be installed complete with automatic rain shut-off and 365 day calendar. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard current edition. All irrigation piping under hard surfaces to be sleeved. All landscaped areas to be irrigated. Size and dripline of trees that are not shown, and should be verified by a surveyor and /or arbourist where necessary. Arbourist to install tree protection fencing for boulevard tree where necessary. Swell Environmental Consultants to design creek area if so required.



Address: 939 COLVILLE RD

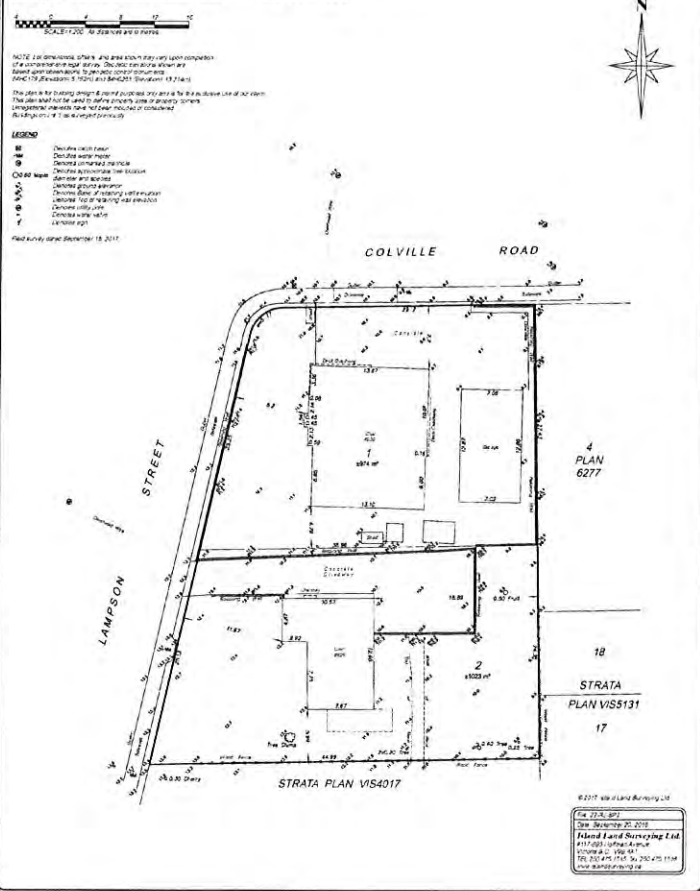
Imagine Garden Design & Landscapes
4041 Raymond St N
Victoria BC
V8Z 4L1

Landscape Company

Designed by
Lisa May
Date
March 16th, 2018

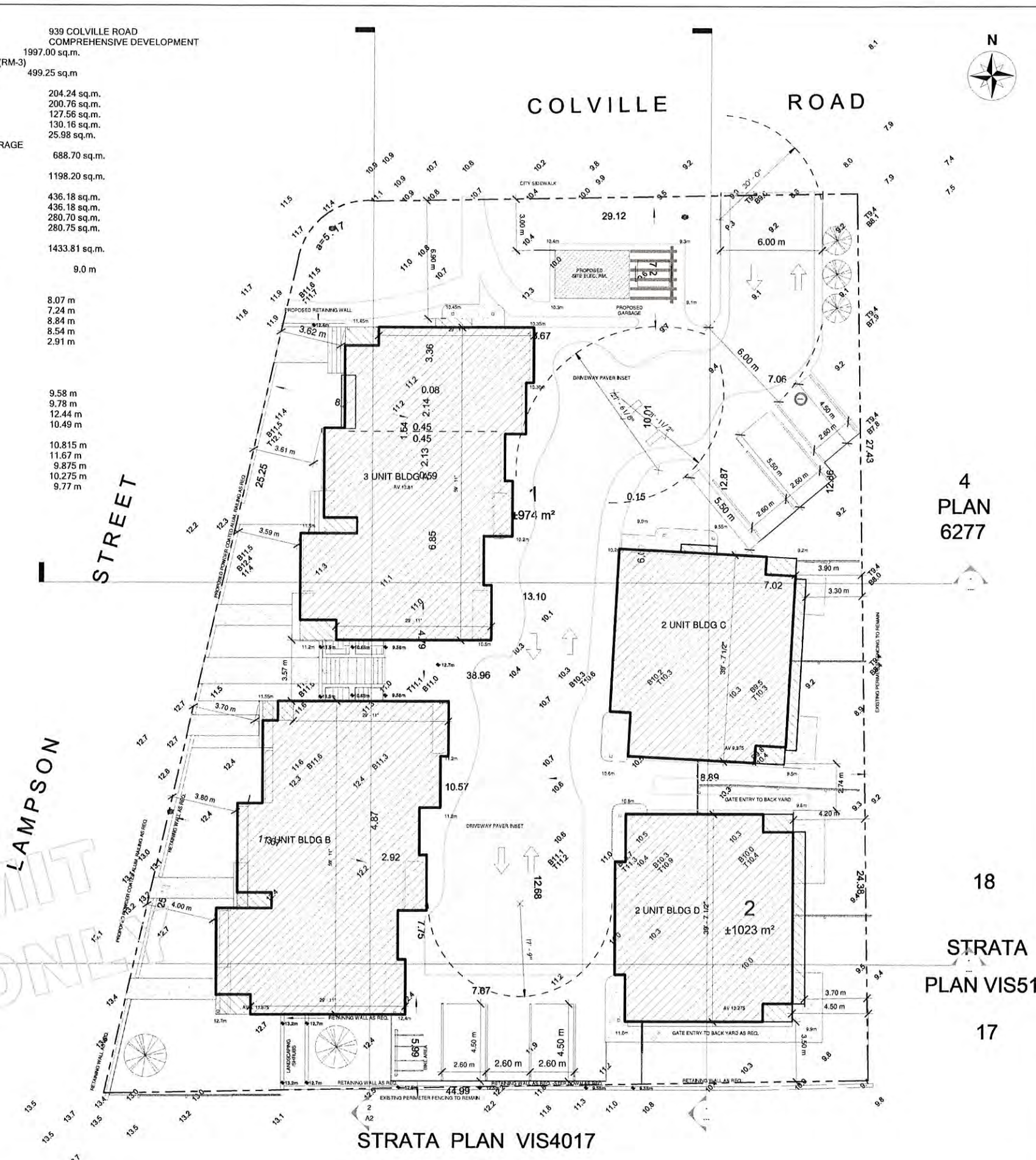
Scale
3/32" = 1'
Sheet No.
L1.4

SITE PLAN OF LOTS 1 & 2, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.



LOT INFORMATION:

CIVIC ADDRESS	939 COLVILLE ROAD
PROPOSED ZONING	COMPREHENSIVE DEVELOPMENT
TOTAL LOT AREA	1997.00 sq.m.
ALLOWABLE LOT COVERAGE (RM-3)	25%
PROPOSED LOT COVERAGE	499.25 sq.m.
BLDG. A	204.24 sq.m.
BLDG B	200.76 sq.m.
BLDG C	127.56 sq.m.
BLDG D	130.16 sq.m.
ELECTRICAL	25.98 sq.m.
TOTAL PROPOSED LOT COVERAGE	34.48%
ALLOWABLE F.A.R (RM-3)	60.00%
PROPOSED F.A.R	1198.20 sq.m.
BLDG. A	436.18 sq.m.
BLDG B	436.18 sq.m.
BLDG C	280.70 sq.m.
BLDG D	280.75 sq.m.
TOTAL F.A.R	71.79%
ALLOWABLE HEIGHT (RM-3)	9.0 m
PROPOSED HEIGHT	
BLDG. A	8.07 m
BLDG B	7.24 m
BLDG C	8.84 m
BLDG D	8.54 m
ELECTRICAL	2.91 m
ELEVATIONS:	
GARAGES	9.58 m
LOWER FLOOR	9.78 m
MAIN FLOOR	12.44 m
ELECTRICAL	10.49 m
AVERAGE GRADE	
BLDG. A	10.815 m
BLDG B	11.67 m
BLDG C	9.875 m
BLDG D	10.275 m
ELECTRICAL	9.77 m



RECEIVED
JUL 06 2018
CORP. OF TOWNSHIP OF ESQUIMALT DEVELOPMENT SERVICES

General Notes

Dimensions provided shall take precedence over area. Contractor to verify all dimensions of Building Design and Consultant drawings prior to work commencement.

Any discrepancies are to be reported immediately. Any noise abatement on the plans that exceed the requirements stated in the general notes take precedence.

Prior to any alterations or modifications of plans or details on site Contractor, independent of, or supplemental to, shall contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are to its current edition or established previous editions, as approved by municipal order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All areas shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be practiced by all trades professionals, well equipped and adequately supervised.

Supplier and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement, in the event that the proposed use or existing structure does not conform to the requirements of the B.C. Building Code as amended; may be necessary and such approvals are for the person's advice.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.D.S.B. and B.C.E.C. standards. All materials shall be used strictly according to manufacturers' printed directions, where not incorporated with the specification, no dilution permitted except where specified to comply with B.C.B.C. standards and to be designed by structural engineer unless stated otherwise. Structural Engineering and other manufacturer drawings, to be used in accordance with the structural design issued within.

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

1 Site Plan DWG
1" = 10'-0"

T-SQUARE
design consulting

T-Square Design
T-Square Designs
2350 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411

design@tsquare.ca

GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are the intellectual property of T-Square Design ("TSD") and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the right to reuse the work in any other project or for any other work or project.

2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified in the drawings prior to commencement of the work. Commencement of construction or any other work shall constitute acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.

3. The Contractor shall work with a B.C.L.S. to verify compliance placement, size and location of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any discrepancies with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.

4. The Contractor shall engage a Professional Engineer licensed in the Province of B.C. for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, the manufacturer of other engineered component supplier.

Proposed Residence for:

Mr. Ryan Jabs
939 Colville Road, Victoria, BC

DATE: April 2016
DRAWN BY: MS
JOB #: A16-***
SHEET:

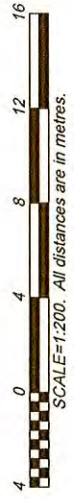
A1
SHEET A1 OF 1

RECEIVED

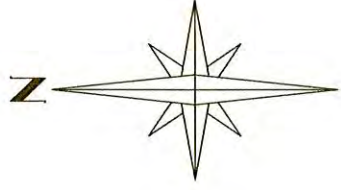
JUL 06 2018

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

PROPOSED DEVELOPMENT UPON LOTS 1 & 2, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.



SCALE=1:200. All distances are in metres.



NOTE:
Proposed building positions and shapes shown are based upon digital files received from the project designer June 27th, 2018.

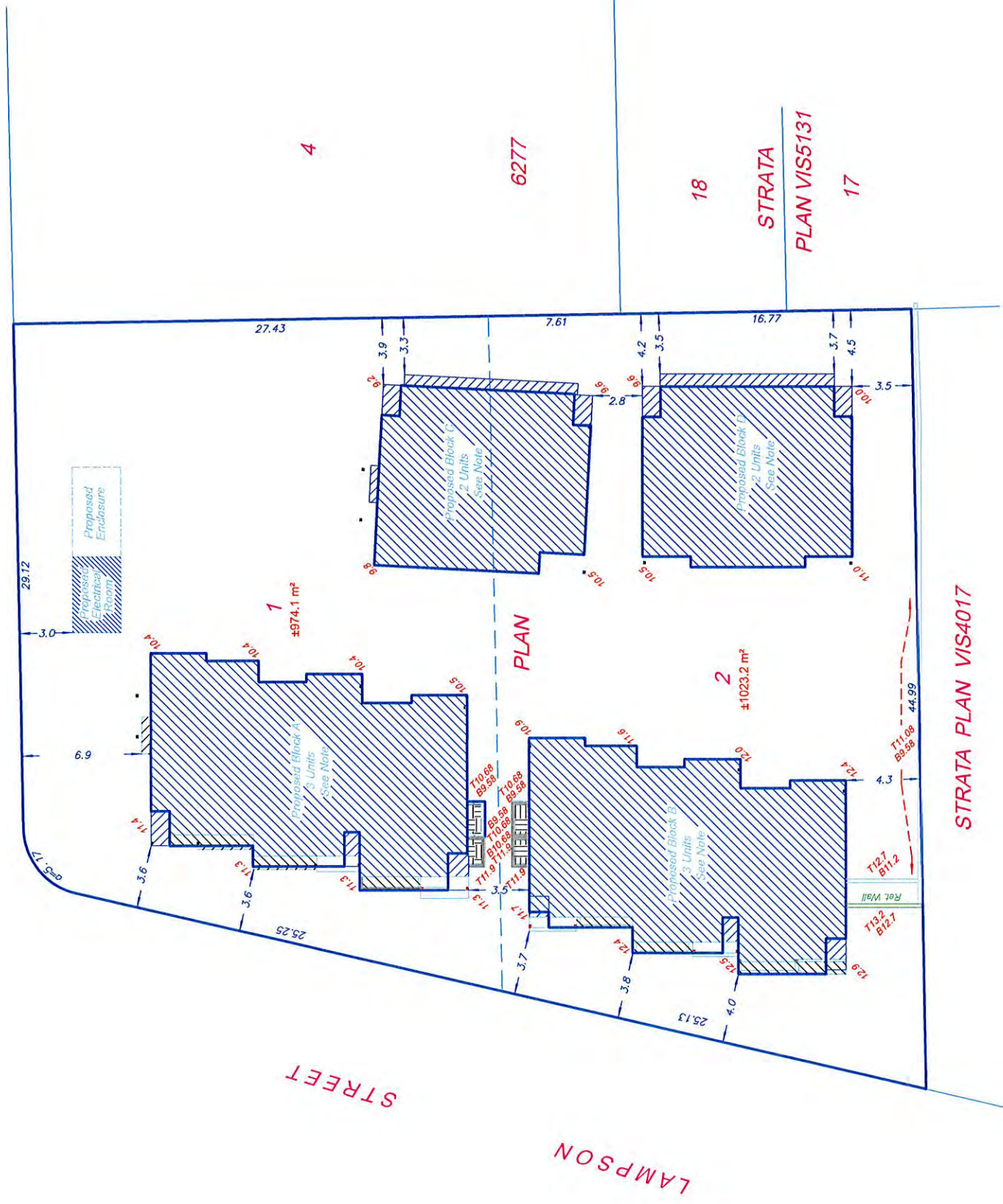
Lot dimensions, offsets, and area shown may vary upon completion of a comprehensive legal survey. Geodetic elevations shown are based upon observations to geodetic control monuments 84H0179 (Elevation= 6.162m) and 84H0253 (Elevation= 13.214m).

This plan is for building design & permit purposes only and is for the exclusive use of our client. This plan shall not be used to define property lines or property corners. Unregistered interests have not been included or considered.

LEGEND

- # Denotes natural grade to geodetic datum
- Denotes proposed top of wall elevation
- Denotes proposed base of wall elevation

COLVILLE ROAD

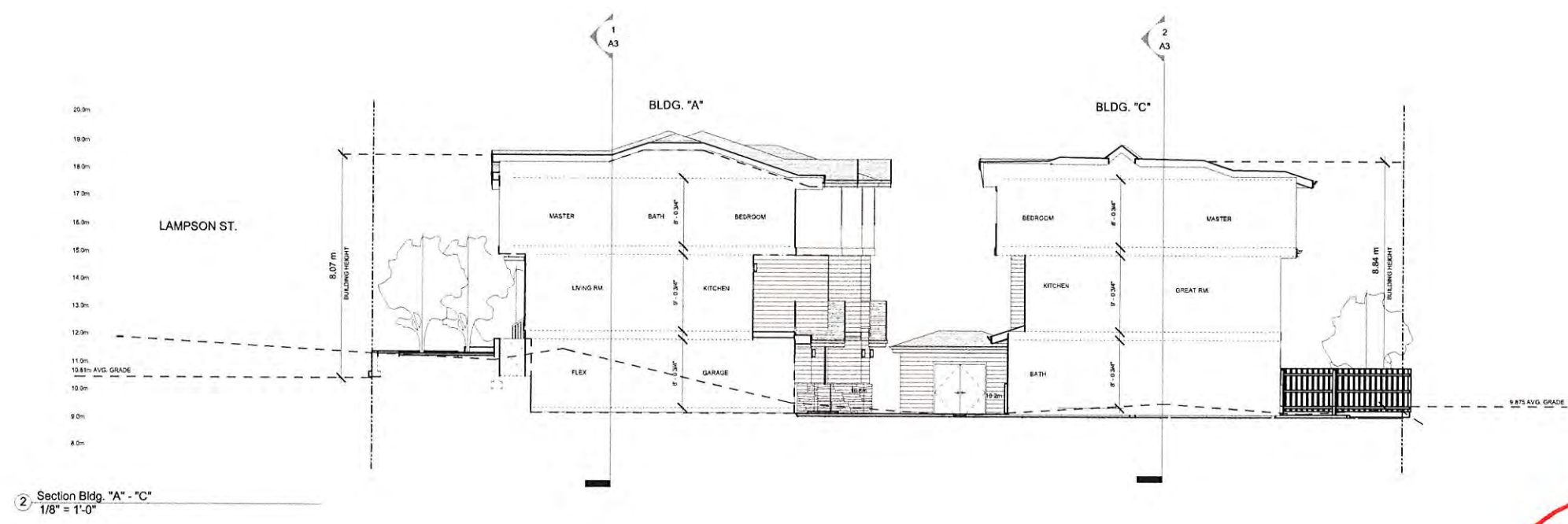


© 2018 Island Land Surveying Ltd.

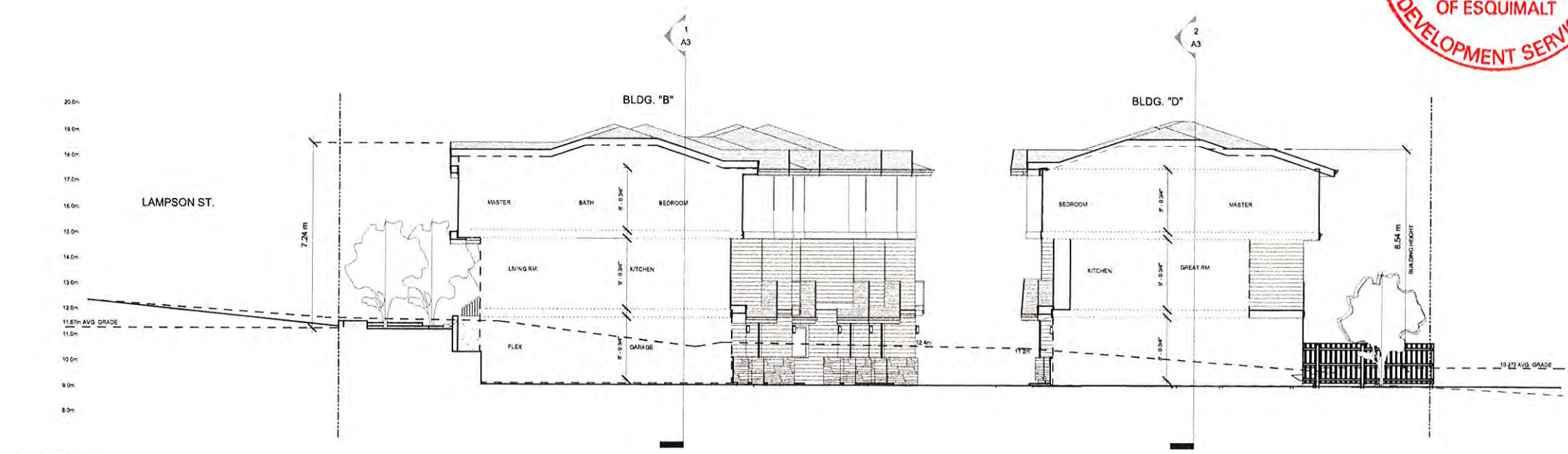
File: 22-RJ-SP7

Date: July 27, 2018

Island Land Surveying Ltd.
#117-693 Hoffman Avenue
Victoria B.C. V9B 4X1
TEL 250.475.1515 fax 250.475.1516
www.islandsurveying.ca



2 Section Bldg. "A" - "C"
1/8" = 1'-0"



1 Section Bldg. "B" - "D"
1/8" = 1'-0"



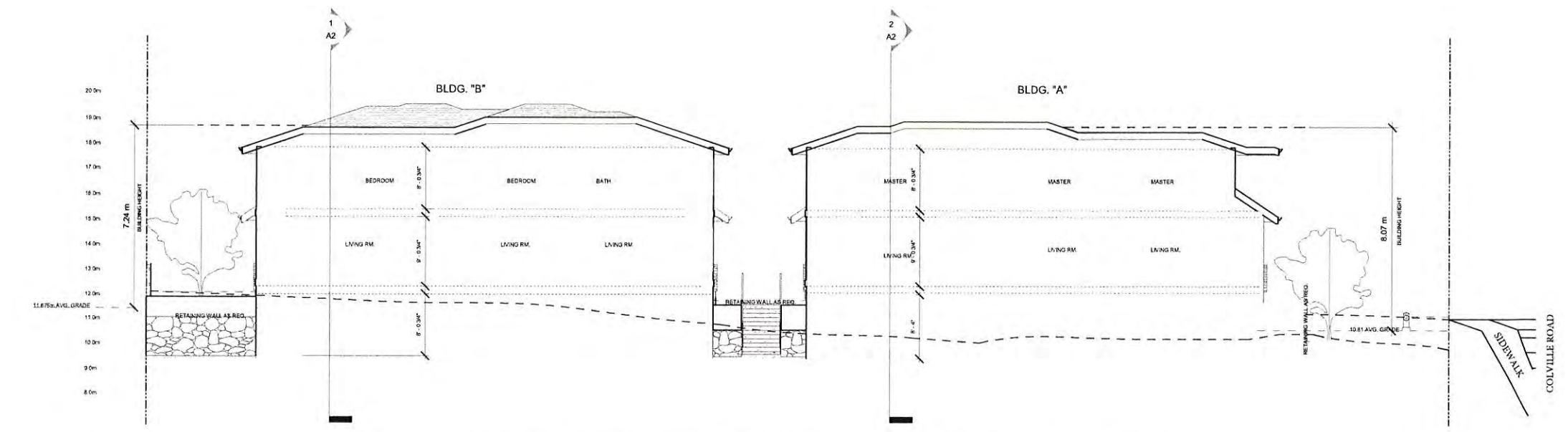
T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSQ") and used in connection with the project are the property of TSQ and as such are not to be reproduced, copied, or used for any other work or project without the written consent of TSQ. TSQ reserves the right to modify or amend the drawings, specifications, and other documents at any time and without notice. It is the responsibility of the contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other act shall constitute acceptance of the drawings, specifications, and other documents and shall be deemed to be a final and irrevocable agreement. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevations, siting or placement shall be confirmed with a B.C.L.S. prior to execution. 2. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and full review of all structural components and systems within the work as required by the applicable building jurisdiction. Prior to commencement of the work, the Contractor shall notify TSQ of any changes to the design required by the Structural Engineer, trade manufacturer or other engineering component supplier.

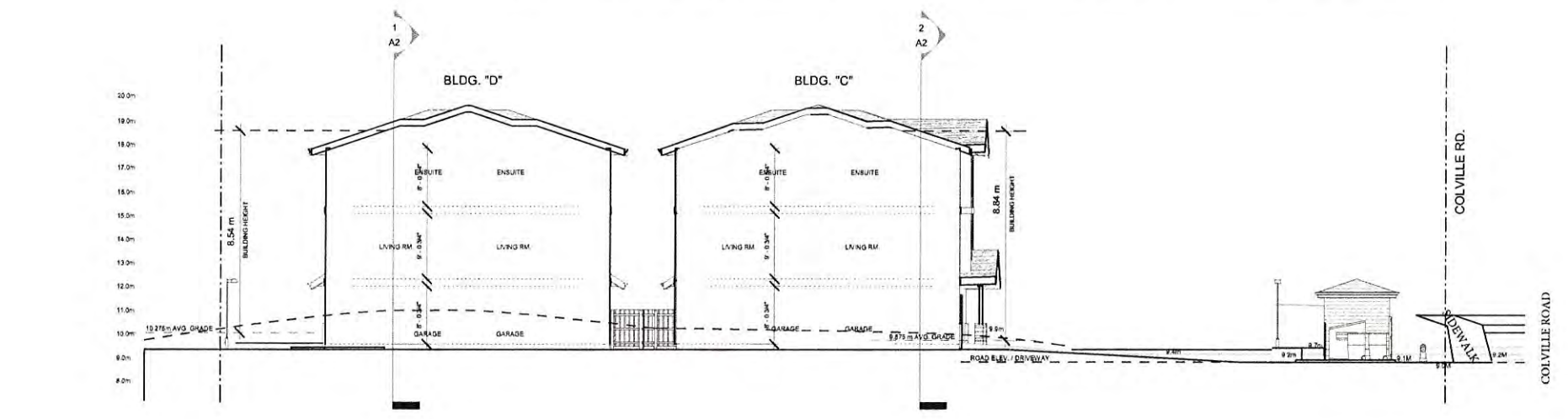
Proposed Residence for:
Mr. Ryan Jabs
939 Colville Road, Victoria, BC

DATE: JUNE 2018
DRAWN BY: MS
JOB #: A16-***
SHEET:

A2
SHEET A2 OF 2



1 Section BLDG. "A" - "B"
1/8" = 1'-0"



2 Section BLDG. "C" - "D"
1" = 10'-0"

NOT FOR PERMIT
FOR REVIEW ONLY



T-SQUARE
design consulting

T-Square
Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:

- All drawings, plans, models, design, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are instruments of service for the work shown in them. The Contractor shall verify the accuracy of the drawings and specifications and shall be responsible for any errors or omissions. TSD reserves the right to make changes to the drawings and specifications at any time without notice and without liability to the Contractor.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies in the drawings or specifications prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means of dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify compliance placement, siting and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to construction.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, their manufacturer or other engineered component supplier.

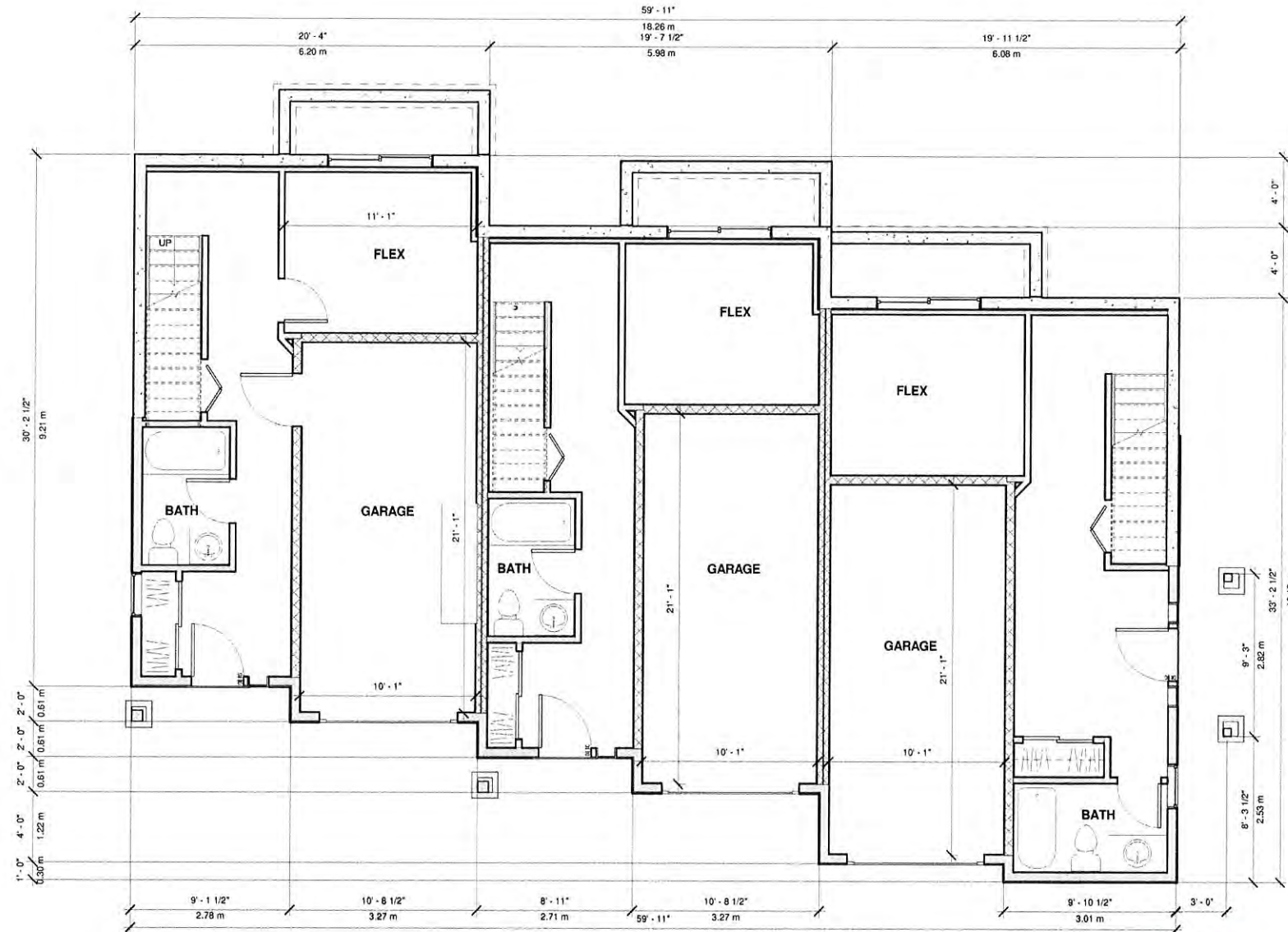
Proposed Residence for:
Mr. Ryan Jabs
939 Colville Road, Victoria, BC

DATE: JUNE 2018
DRAWN BY: MS
JOB #: A16-***
SHEET:
A3
SHEET A3 OF 3

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



LOWER FLOOR PLAN
 GAR 1148.25 SF (106.80 m²)
 BATH 637.74 SF (59.24 m²)
 F.F.A.R. 1023.36 SF (95.07 m²)

1 GROUND FLOOR BLDG. A
 1/4" = 1'-0"



T-Square
 Design
 T-Square Designs
 2950 Lakehurst Drive
 Victoria, BC, V9B 4S5
 250-361-5411
 design@tsquare.ca

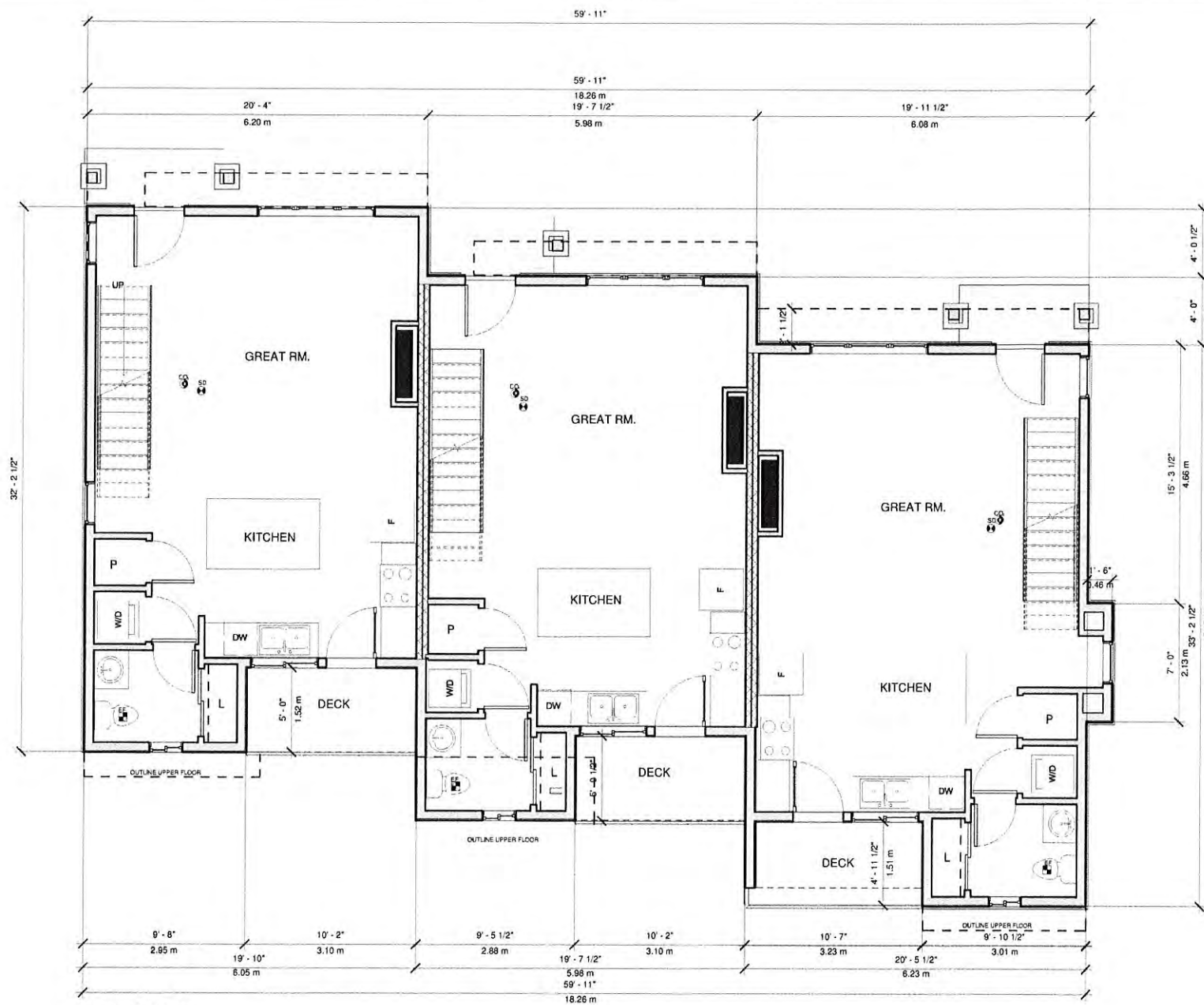
GENERAL NOTES:
 1. All drawings, plans, models, design specifications and other documents prepared by T-Square Design "TSD" and used in connection with the project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of TSD. Whether the work is executed or not, and TSD reserves the right to use the Work in any other project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and the conditions applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and many of the drawings and elevations have been considered, verified and are accurate.
 3. The Contractor shall work with B.C.L.S. to verify compliance placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with B.C.L.S. prior to construction.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of B.C. for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, their manufacturer or other engineered component supplier.

General Notes
 Contractor provided shall take preference over state. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement.
 Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence.
 Prior to any alterations or modifications of plans or details on site, Contractor(s), subcontractor(s), or tradesperson(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.
 All references to the "British Columbia Building Code" (B.C.B.C.) are to current edition or published revision thereof, as approved by municipal order in the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised.
 Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.
 All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.G.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not required with this specification, no alteration permitted except where specified site to comply with B.C.B.C. 9.23.13, and to be designed by structural engineer unless noted elsewhere. Structural Engineering and trade manufacture drawings to take precedence over structural design stated within.

Proposed Residence for:
RYAN JABS - BLDG "A"
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: MS
 JOB #: A16-***
 SHEET:
A1
 SHEET A1 0A1

VENTILATION TO BE DESIGNED BY HVAC IN ACCORDANCE TO BCBC 2012 (9.32)



MAIN FLOOR PLAN
 1850.46 SF (171.90 ms)
 F.A.R. 1740.59 SF (161.70 ms)

1 MAIN FLOOR BLDG.A
 1/4" = 1'-0"



T-SQUARE
 design consulting
 T-Square Design
 T-Square Designs
 2950 Lakehurst Drive
 Victoria, BC, V8B 4S5
 250-361-5411
 design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are instruments of service for the work shown on them (the "Work") and as such are and remain the property of TSD. Whether the work is executed or not, and TSD reserves the right to use any or all of the Work for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with B.C.L.S. to verify compliance placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevations, siting or placement. Any proposed encroachments with respect to elevations, siting or placement shall be confirmed with B.C.L.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of B.C. for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, their manufacture or other engineered component supplier.

Proposed Residence for:
RYAN JABS - BLDG "A"
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: MS
 JOB #: A16-***
 SHEET:
A2
 SHEET A2 OR2



UPPER FLOOR PLAN
 2041.28 SF (189.63 ms)
 F.A.R 1931.29 SF (129.41 ms)

① THIRD FLOOR BLDG. A
 1/4" = 1'-0"



T-Square Design
 T-Square Designs
 2950 Lakehurst Drive
 Victoria, BC, V9B 4S5
 250-361-5411
 design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, models, design, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are instruments of service for the work shown on them (the "Work") and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the right to remove and/or work excluded from them, and they shall not be used for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, materials, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a B.C.L.S. to verify correct placement, size and elevation of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, size or placement. Any proposed changes with respect to location, size or placement shall be confirmed with B.C.L.S. prior to construction.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of B.C. for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, trade manufacturer or other engineered component supplier.

Proposed Residence for:

RYAN JABS - BLDG "A"
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: Author
 JOB #: A16-***
 SHEET:

A3
 SHEET A3 0A3



1 Front (East) Elevation
1/4" = 1'-0"



2 Right (South) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V9B 4S5
250-361-6411

design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, design specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are the property of TSD and shall remain the property of TSD whether the work is executed or not, and TSD reserves the right to reuse any or all of the work for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or the part thereof constitutes acceptance of the drawings, acceptance of the existing conditions, and means, methods and materials have been considered, verified and are acceptable.
3. The Contractor shall work with B.C.L.S. to verify correct placement, siting and protection of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with B.C.L.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and full review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, their manufacturer or other engineering component supplier.

Proposed Residence for :

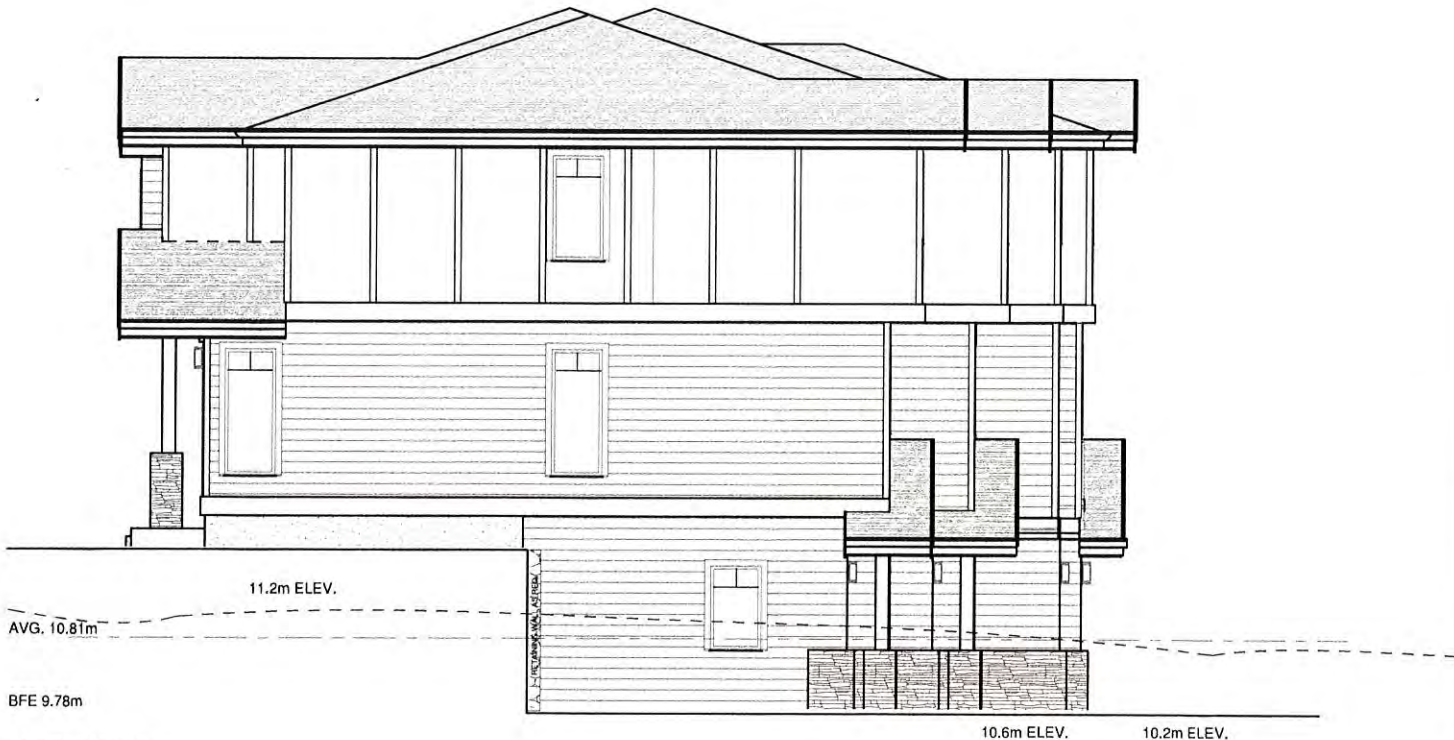
RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: MS_PUD
JOB #: A16-***
SHEET:

A4
SHEET A4 OF 4



1 Rear (West) Elevation
1/4" = 1'-0"



2 Left (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are the property of TSD and shall remain the property of TSD whether the work is executed or not, and TSD reserves the right to reuse them and the work created from them, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, materials, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or the start of any other activity constitutes acceptance of the drawings, acceptance of the existing conditions, and means drawings and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.L.S. to verify correct placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any inaccuracies with respect to elevation, siting or placement. Any proposed changes with respect to elevations, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of B.C. for the design and field review of all structural components and systems within the work as required by the authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, material manufacturer or other proposed component supplier.

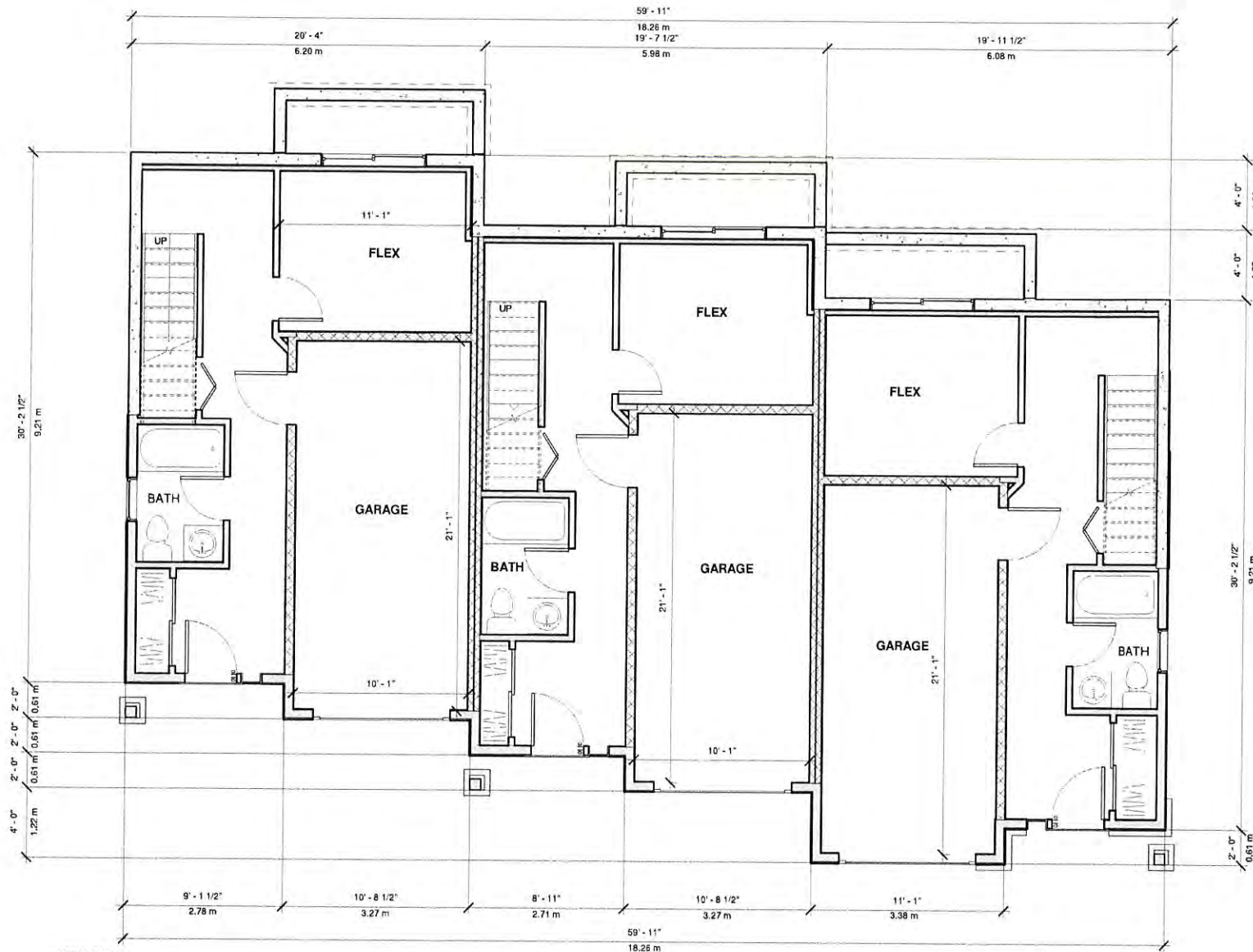
Proposed Residence for:
RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: MS
JOB #: A16-***
SHEET:
A5
SHEET A5 OF 5

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



LOWER FLOOR PLAN
 1143.75 SF (106.45 m²)
 +GAR 637.74 SF (59.24 m²)
 +P.A.R. 1523.34 SF (141.57 m²)

1 GROUND FLOOR BLDG.A
 1/4" = 1'-0"



T-Square Design
 T-Square Designs
 2550 Lakelse Drive
 Victoria, BC, V8B 4S5
 250-361-5411
 design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are instruments of service for the work shown on them. The "Work" and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the copyright in them and in the Work associated from them, and they shall not be used for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, including the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a B.C.L.S. to verify all placement, siting and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any inaccuracies with respect to elevations, siting or placement. Any proposed changes with respect to elevations, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and hold review all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, manufacturer or other engineered component supplier.

Proposed Residence for:
RYAN JABS - BLDG "B"
 939 Colville Rd., Esquimalt, BC

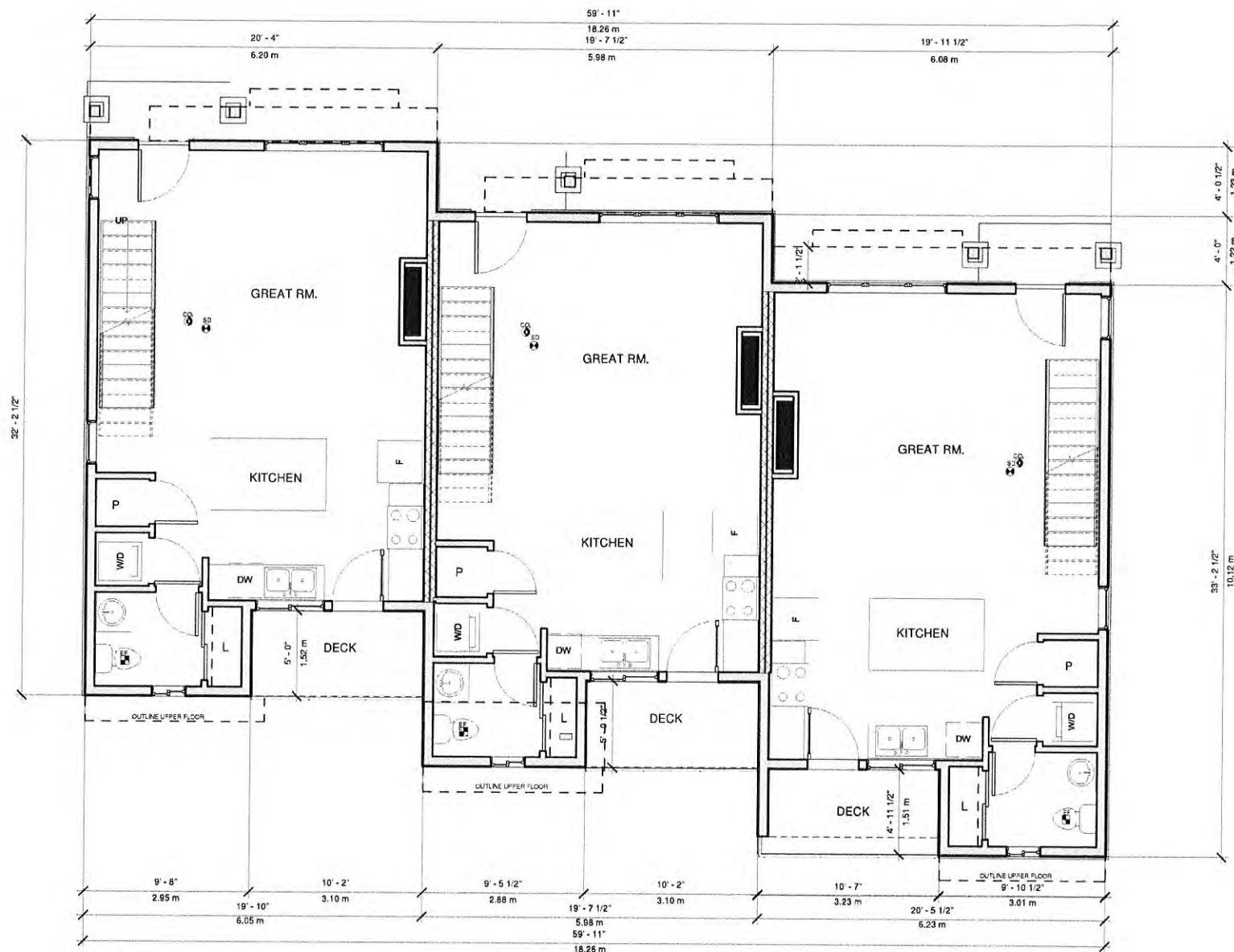


DATE: April 26 2018
 DRAWN BY: MS
 JOB #: A16-***
 SHEET:

A1
 SHEET A1 OA1

VENTILATION TO BE DESIGNED BY HVAC IN ACCORDANCE TO BCBC 2012 (9.32)

General Notes
 Dimensions provided shall take precedence over scale. Contractor to verify all dimensions of Building Designer and Consultant's drawings prior to work commencement.
 Any site remarks are to be noted immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence.
 Prior to any alterations or modifications of plans or details on site, Contractor(s), tradesperson(s), or subcontractor(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.
 All references to the "British Columbia Building Code" (B.C.B.C.) are to current edition or published revision thereof, as approved by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed to be the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by an individual tradesperson, well equipped and adequately supervised.
 Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.
 All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.O.S.S. and B.C.B.C. standards. All materials shall be used strictly according to manufacturer's printed directions, where not inconsistent with the specification to which permitted except where specified to comply with B.C.B.C. 9.3.3.13, and to be designed by structural engineer unless noted otherwise. Structural Engineering and true manufacturer drawings to be provided to your structural design specialist.



MAIN FLOOR PLAN
 1850.46 SF (171.90 ms)
 F.A.R. 1740.59 SF (161.70 ms)

① MAIN FLOOR BLDG.A
 1/4" = 1'-0"



T-Square Design
 T-Square Design
 2550 Lakehurst Drive
 Victoria, BC, V8B 4S5
 250-361-5411

design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of TSD. Whether the work is executed or not, and TSD reserves the copyright in them and they shall not be used for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been ascertained, verified, and are acceptable.
 3. The Contractor shall work with B.C.L.S. to verify compliant placement, siting and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer (licensed in the Province of BC) for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, the manufacturer or other engineered component supplier.

Proposed Residence for:

RYAN JABS - BLDG "B"
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: MS
 JOB #: A16-***
 SHEET:

A2
 SHEET A2 OR2



UPPER FLOOR PLAN
 2041.28 SF (189.63 ms)
 F.A.R 1931.29 SF (129.41 ms)

1 THIRD FLOOR BLDG. A
 1/4" = 1'-0"



T-Square Design
 T-Square Designs
 2559 Lakhurst Drive
 Victoria, BC, V9B 4S5
 250-361-5411
 design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design "TSD" and used in connection with the project are the property of TSD and shall remain the property of TSD whether the work is executed or not, and TSD reserves the right to reuse them in the work of any other project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other action shall constitute acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a C.L.S. to verify compliance placement, string and elevation of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, string or placement. Any proposed changes with respect to elevation, string or placement shall be confirmed with a C.L.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, thus manufacturer or other engineered component supplier.

Proposed Residence for :
RYAN JABS - BLDG "B"
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: Author
 JOB #: A15-***
 SHEET:
A3
 SHEET A3 OK3



1 Front (East) Elevation
1/4" = 1'-0"



2 Right (South) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Design
2550 Lakelhurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, design, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with a project are instruments of service for the work shown therein (the "Work") and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the copyright in them and in the Work. Issued from them, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, quantities, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.L.S. to verify correct placement, siting and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, material manufacturer or other engineered component supplier.

Proposed Residence for:
RYAN JABS - BLDG "B"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: MS_PUD
JOB #: A16-***
SHEET:
A4
SHEET A4 OR4

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are the property of TSD and shall remain the property of TSD whether the work is executed or not, and TSD reserves the right to use the work in other projects. The Contractor shall not be held responsible for any work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, sections, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies in writing within the drawing prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a B.C.L.S. to verify compliance with the design and elevation of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the structural engineer, manufacturer or other engineered component supplier.



1 Rear (West) Elevation
1/4" = 1'-0"



2 Left (North) Elevation
1/4" = 1'-0"

Proposed Residence for:
RYAN JABS - BLDG "B"
 939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
 DRAWN BY: MS
 JOB #: A16-***
 SHEET:

A5
 SHEET A5 OAS

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements listed in the general notes take precedence. Prior to any alterations or modifications of plans or details on site, Contractor, tradesperson(s) or homeowner(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are to current edition or published amendments, as approved by ministerial order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", its rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised.

Supplier and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.

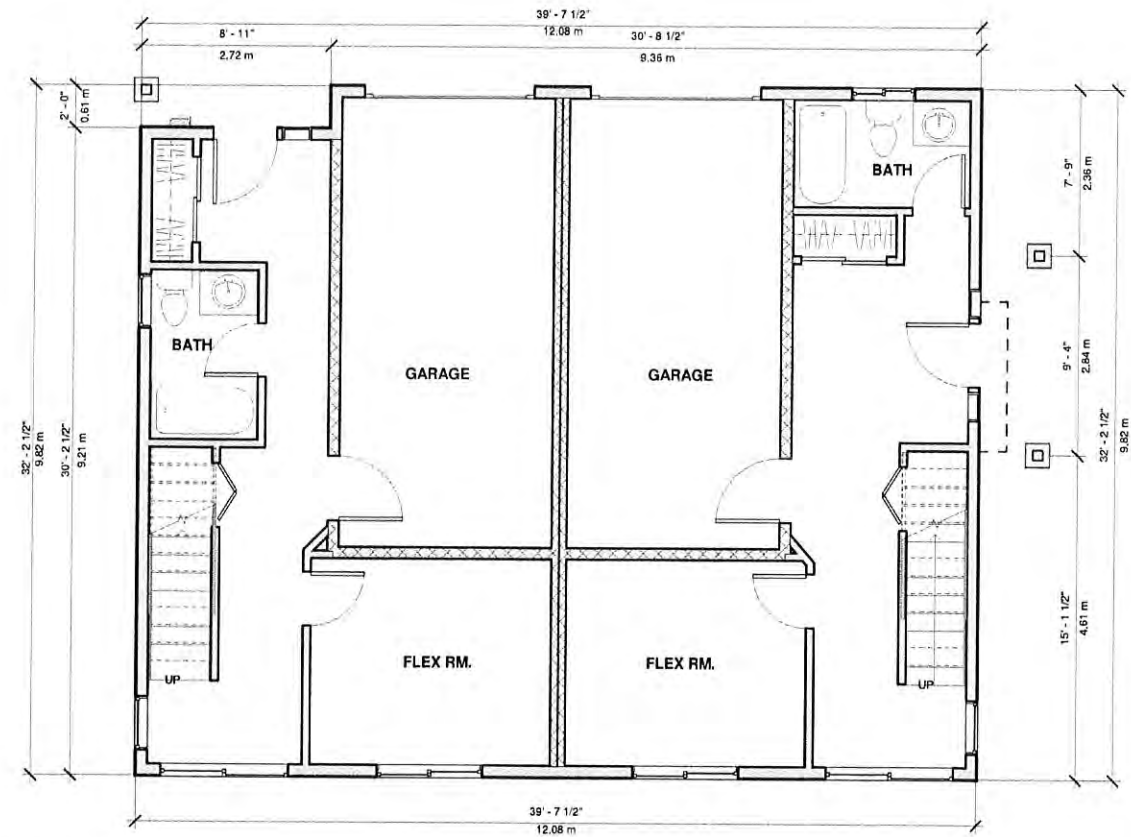
All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.S.A.S.S., and B.C.B.C. standards. All materials shall be used strictly according to manufacturer's printed directions, where not inconsistent with the specification, unless permitted except where specified else to comply with B.C.B.C. 1.3.1.13, and to be designed by structural engineer unless noted elsewhere. Structural Engineering and trade manufacturer drawings to take precedence over structural design sketches.



T-Square
Design
T-Square Design
2550 Lakaburst Drive
Victoria, BC, V8B 4S5
250-361-5411

design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, design specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are instruments of service for the work shown therein (the "Work") and as such are and remain the property of TSD whether the work is completed or not, and TSD reserves the copyright in them and in the Work included therein, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawing prior to commencement of the work. Commencement of construction or any other physical manifestation of the drawing, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.L.S. to verify compliant placement, siting and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevations, siting or placement shall be confirmed with a B.C.L.S. prior to execution. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, trade manufacturer or other representative of the supplier.



LOWER FLOOR PLAN
LFE - 833.24 SF (77.40 ms)
GAR - 425.17 SF (39.49 ms)
F.A.R - 744.07 SF 69.12 ms)

1 Grnd. Floor Plan Bldg. C
1/4" = 1'-0"

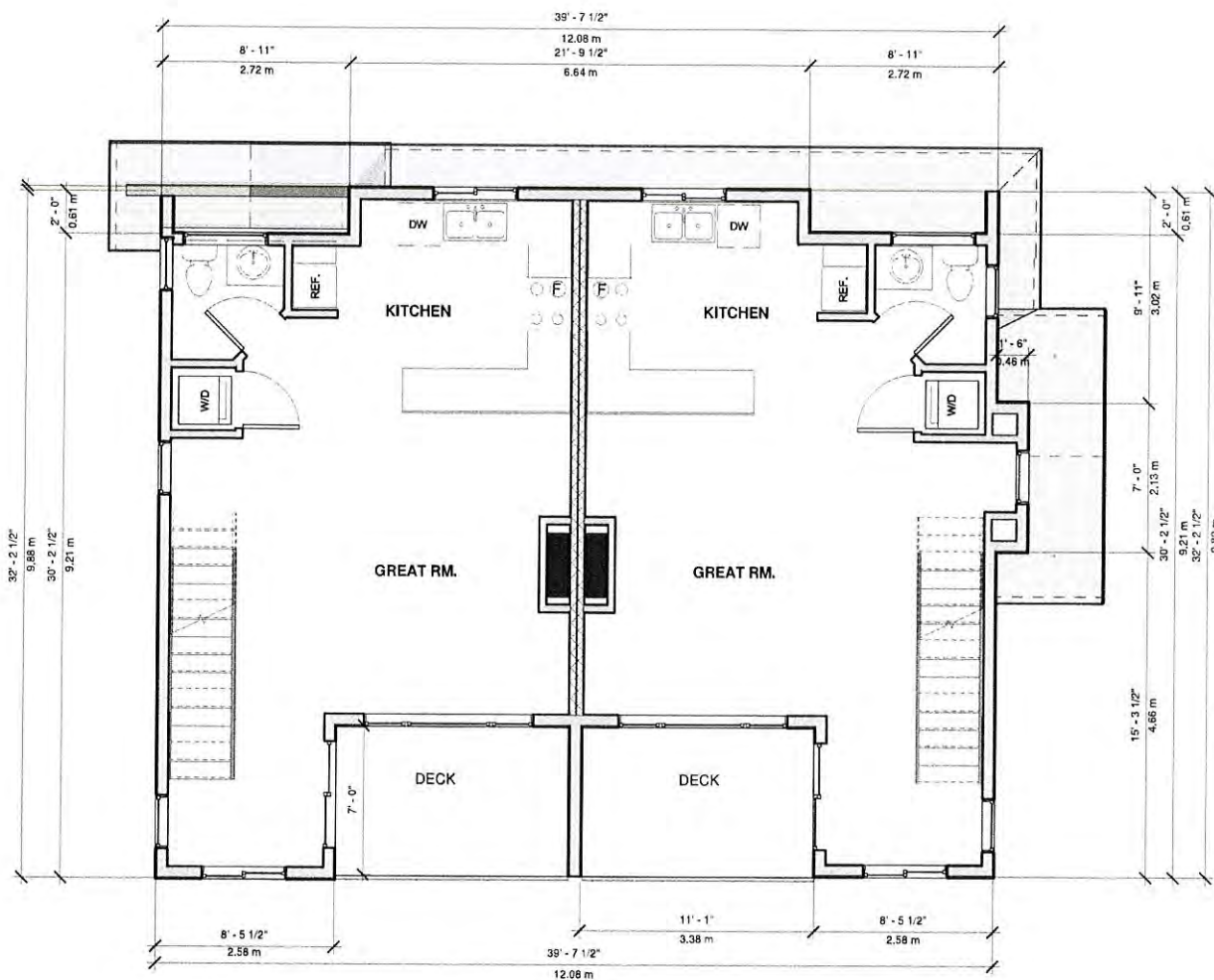
VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO BCBC 2012 (9.32)

Proposed Residence for:

RYAN JABS - BLDG "C"
939 Colville Rd., Esquimalt, BC

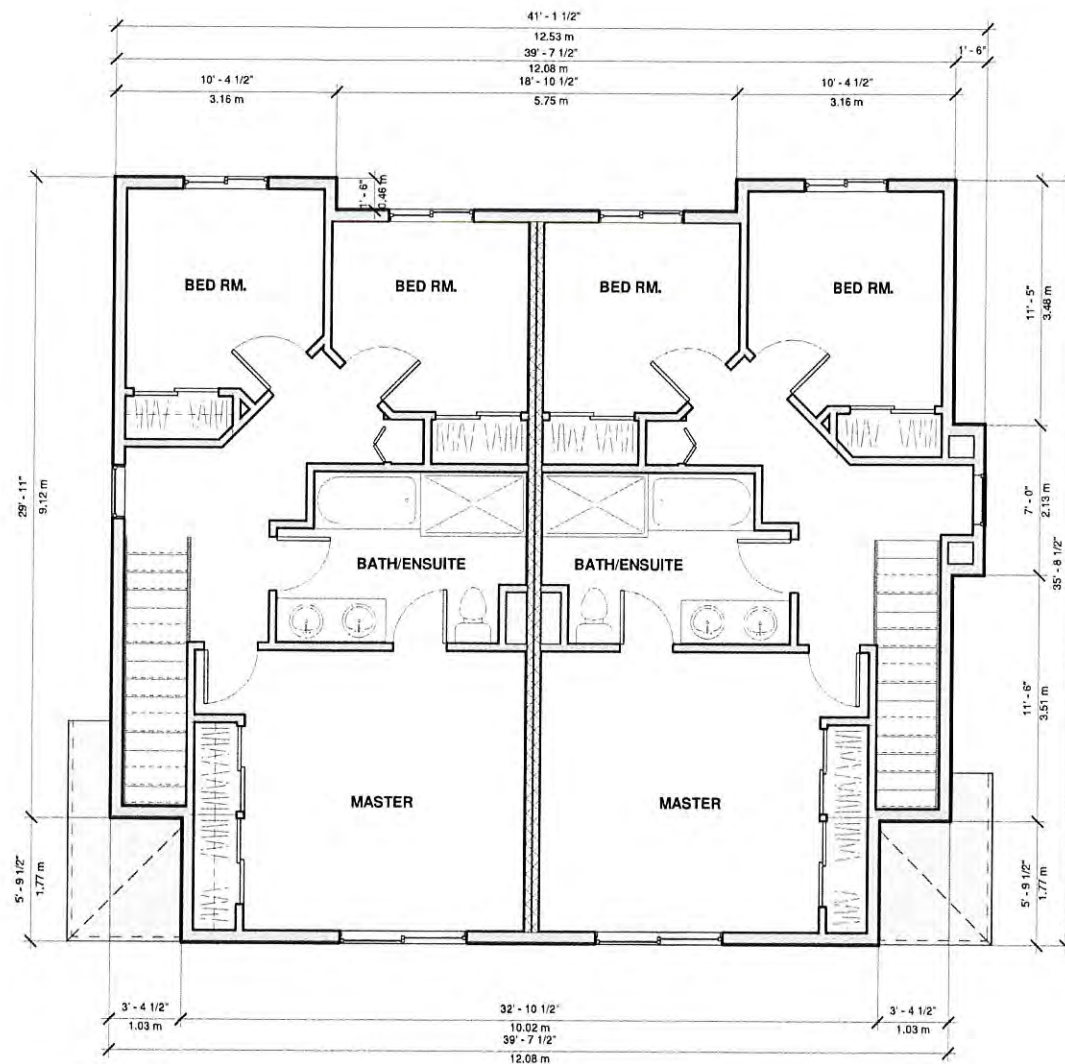
DATE: 04/27/2018
DRAWN BY: MS
JOB #: A16-***
SHEET:

A1
SHEET A1 0A1



MAIN FLOOR
108.63 SF (100.48sm)
F.A.R. 1004.80 SF 93.34sm)

1 MAIN FLOOR PLAN BLDG. C
1/4" = 1'-0"



UPPER FLOOR
1347.53 SF (125.18ms)
F.A.R. 1272.70 SF (118.29ms)

2 THIRD FLOOR BLDG. C
1/4" = 1'-0"



T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S6
250-361-5411

design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, design specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are the intellectual property of TSD and shall remain the property of TSD. TSD reserves the right to use any or all of the drawings, plans, models, design specifications and other documents for any other project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other act of construction in reliance on the drawings, plans, models, design specifications, and other documents and elevations shall constitute acceptance of the drawings, plans, models, design specifications and other documents as correct, verified and acceptable.
3. The Contractor shall work with B.C.S. to verify correct placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any inaccuracies with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of B.C. for the design and field review of all structural components and systems within the work as required by the Building Act and applicable regulations. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, their manufacturer or other approved component supplier.

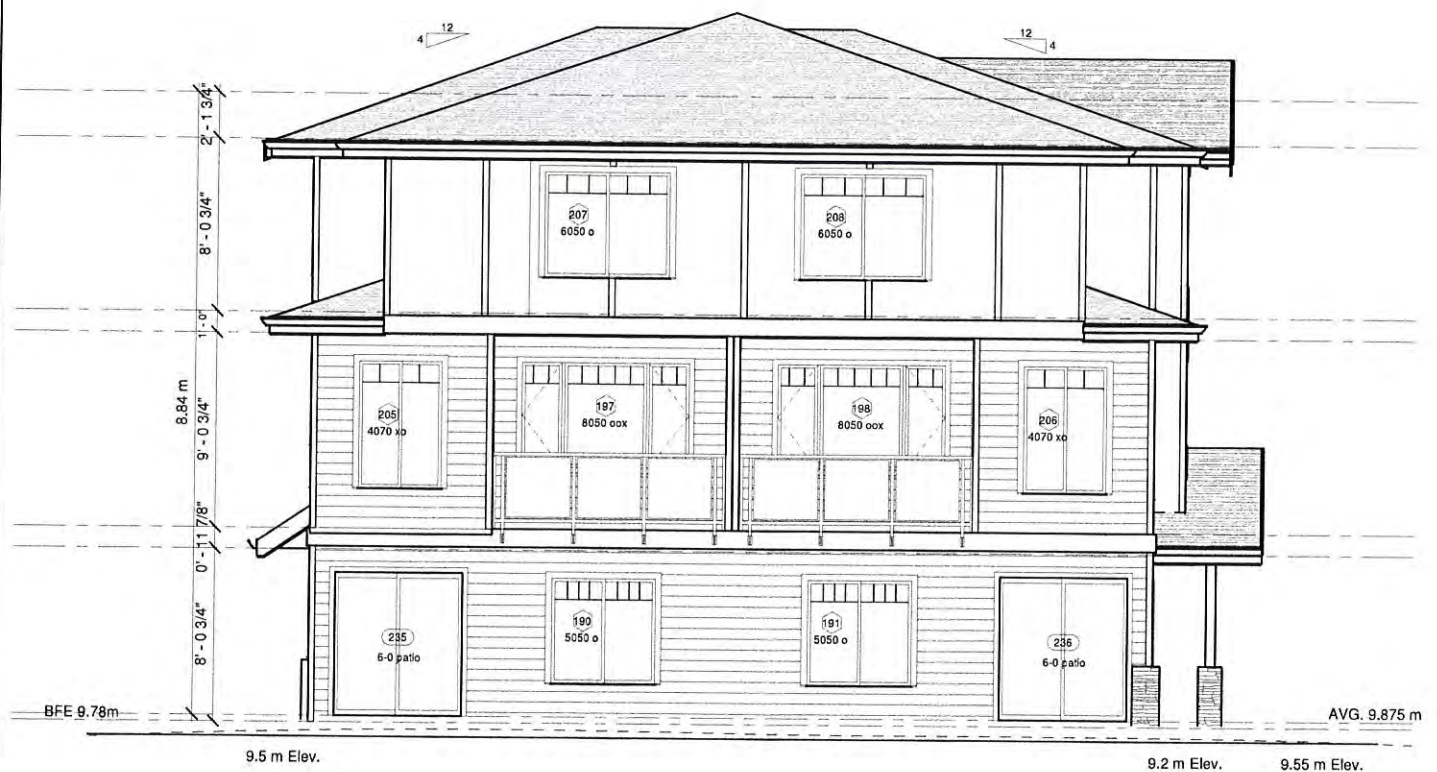
Proposed Residence for:

RYAN JABS - BLDC "C"
939 Colville Rd., Esquimalt, BC



DATE: 04/27/2018
DRAWN BY: MS
JOB #: A16-***
SHEET:

A2
SHEET A2 0A2



1 Rear (East) Elevation
1/4" = 1'-0"



2 Right (South) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2350 Lakemhurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

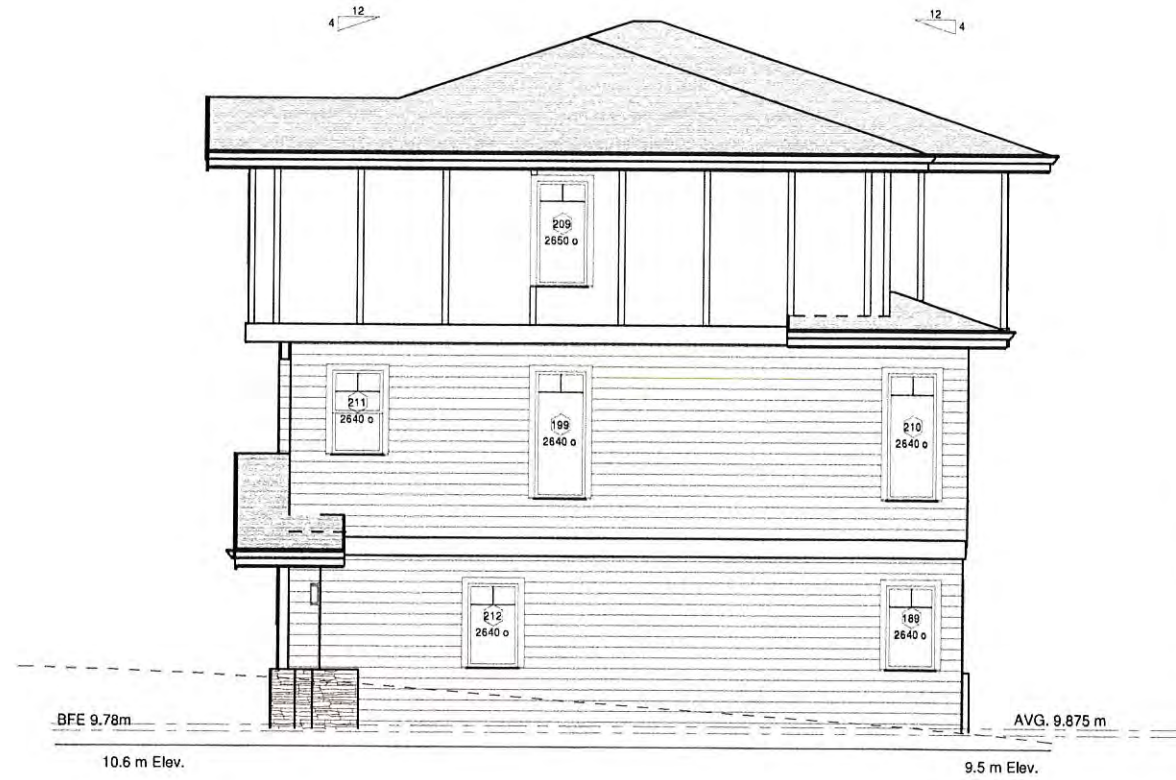
GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design "TSD" and used in connection with a project are instruments of service for the work shown therein (the "Work") and as such are and remain the property of TSD whether the work is completed or not, and TSD reserves the right to reuse them and in the Work associated with them, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other third party's acceptance of the drawings, acceptance of the existing site conditions, and major dimensions and elevations have been considered, verified, and is acceptable.
3. The Contractor shall work with a B.C.L.S. to verify compliance placement, siting and elevation of the proposed buildings or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, manufacturer or other engineering consultant supplier.

Proposed Residence for:
RYAN JABS - BLDC "C"
939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
DRAWN BY: MS
JOB #: A16-***
SHEET:
A3
SHEET A3 OF 3



1 Front (West) Elevation
1/4" = 1'-0"



2 Left (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Design
2550 Lakelhurst Drive
Victoria, BC, V9B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are instruments of service for the work shown in them ("the Work") and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the right to use them and in the Work, associated with them, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencing work of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.S. to verify correct placement, using a level and the author of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, string or placement.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, their manufacturer or other engineering component supplier.

Proposed Residence for:
RYAN JABS - BLDC "C"
939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
DRAWN BY: MS
JOB #: A15-***
SHEET:
A4
SHEET A4 OF 4

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

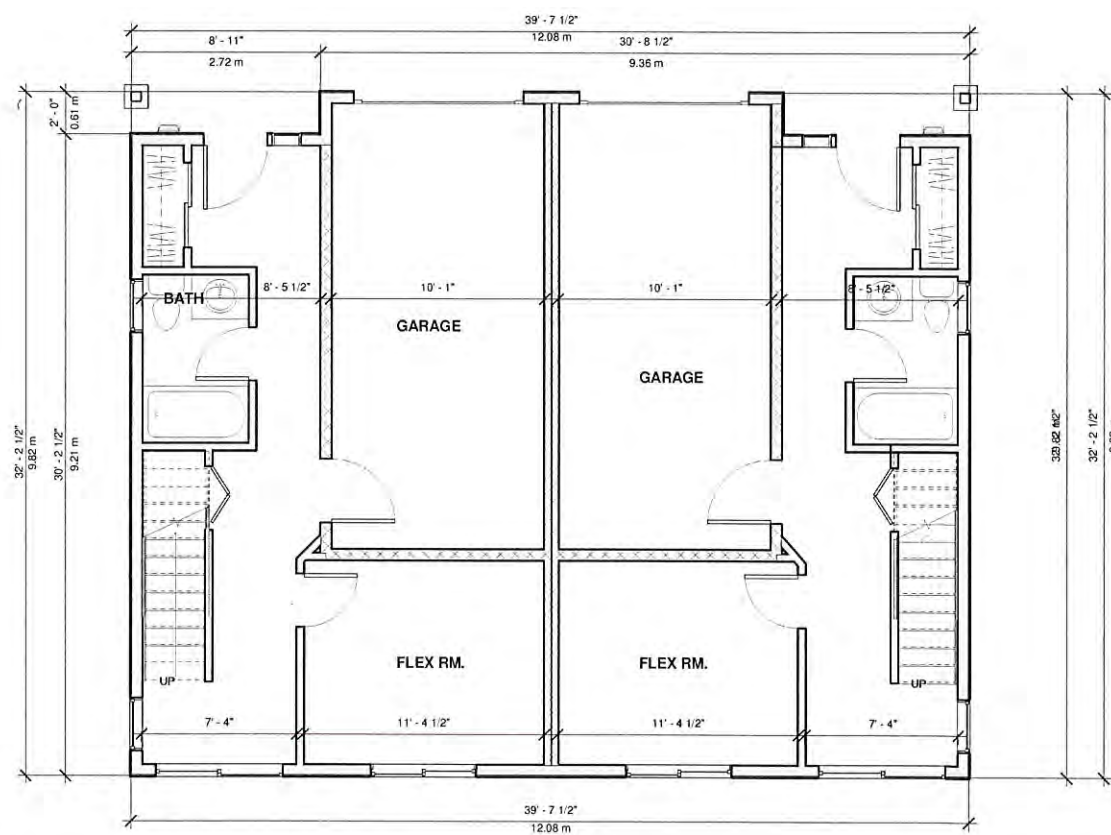
AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



T-SQUARE
design + consulting
T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC V8S 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design "TSD" and used in connection with the project are instruments of service for the work shown in them. The "Work" and as such are and remain the property of TSD whether the work is accepted or not, and TSD reserves the copyright therein and in the work prepared from them, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a C.L.S. to verify compliance placement, using and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a C.L.S. prior to installation.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, trades manufacturer or other engineered component supplier.

General Notes
Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Consultant's drawings prior to work commencement.
Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence.
Prior to any alterations or modifications of plans or details on site, Contractor's responsibility, or homeowner(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.
All references to the "British Columbia Building Code" (B.C.B.C.) are its current edition or published revision thereto, as approved by municipal order by the Province of British Columbia. Any reference to a code edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code" the rules and customs of best trade practice to be executed by its trade professionals, well equipped and adequately supervised.
Surveyor and/or Contractor to confirm all aspects of siting and placement of structure or lot. Designer not responsible for placement. In the event that the proposed use or building structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.
All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.G.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with this specification, no color permitted except where specified to comply with B.C.B.C. 2.2.3.13, and to be designed by structural engineer unless noted elsewhere. Structural Engineering and Trade Manufacturers drawings to take precedence over structural design notes etc.



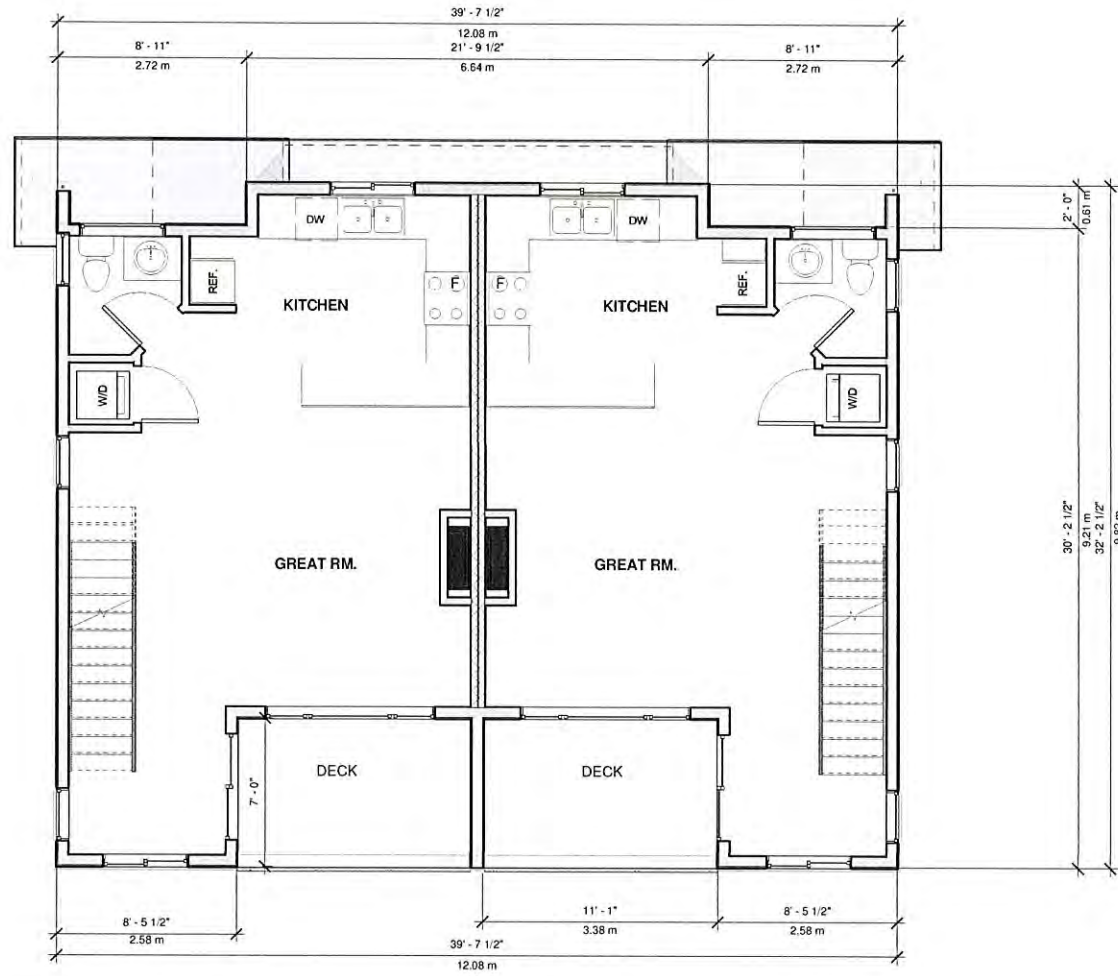
LOWER FLOOR PLAN
LFE - 833.24 SF (77.40 ms)
GAR - 425.17 SF (39.49 ms)
F.A.R - 744.07 SF (69.12 ms)

1 Grnd. Floor Plan Bldg. C
1/4" = 1'-0"

VENTILATION TO BE DESIGNED BY HVAC IN ACCORDANCE TO BCBC 2012 (9.32)

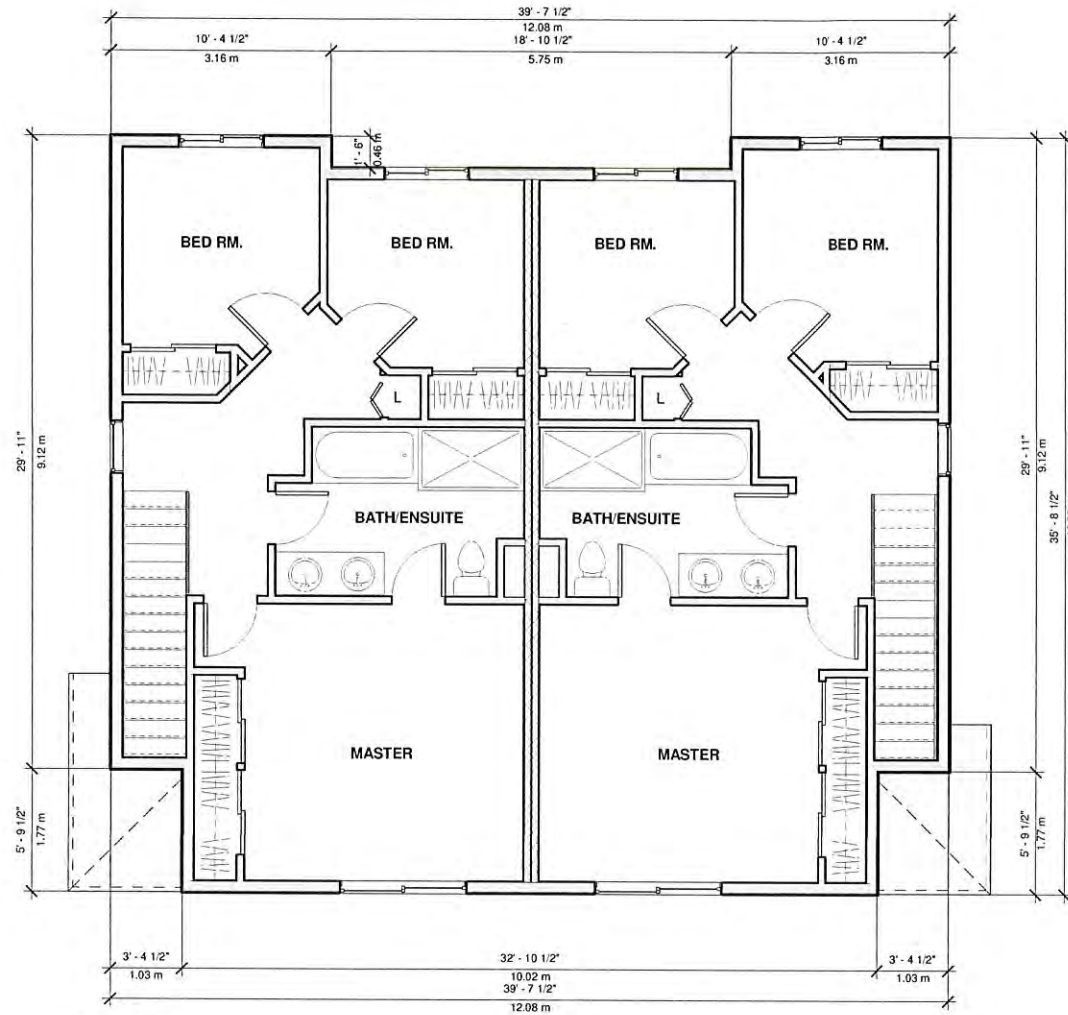
Proposed Residence for:
RYAN JABS - BLDG "D"
939 Colville Rd., Esquimalt, BC

DATE: April 2016
DRAWN BY: MS
JOB #: A16-***
SHEET:
A1
SHEET A1 OF 1



MAIN FLOOR
 108.63 SF (100.48sm)
 F.A.R 1004.80 SF 93.34sm

① MAIN FLOOR PLAN BLDG. C
 1/4" = 1'-0"



UPPER FLOOR
 1347.53 SF (125.18ms)
 F.A.R 1272.70 SF (118.29ms)

② THIRD FLOOR BLDG. C
 1/4" = 1'-0"



T-Square Design
 T-Square Designs
 2950 Lakemhurst Drive
 Victoria, BC, V8B 4S5
 250-361-5411
 design@tsquare.ca

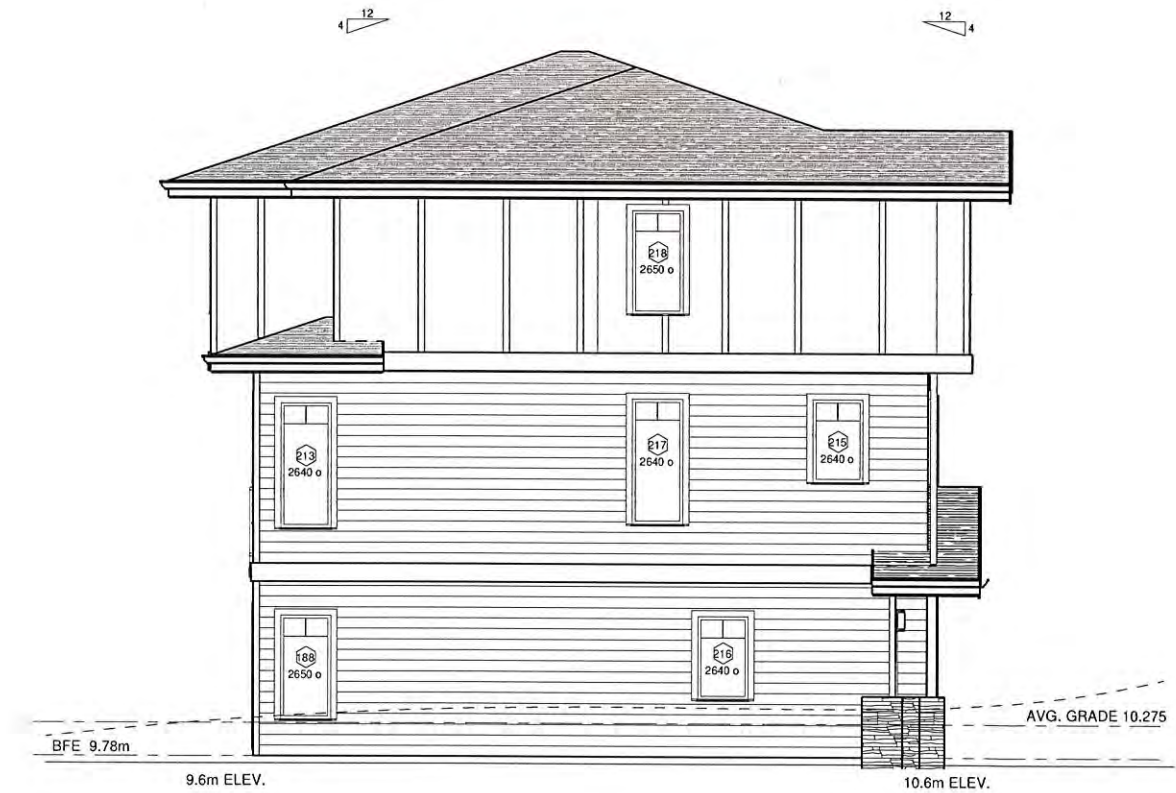
GENERAL NOTE:
 1. All drawings, plans, models, reports, specifications and other documents prepared by T-Square Design "TSD" and used in connection with the project are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the right to reuse the drawings and information contained therein for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and the conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a B.C.S. to verify proposed placement, slope and elevation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, slope or placement. Any proposed changes with respect to elevations, slope or placement shall be confirmed with a B.C.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority having jurisdiction prior to commencement of the work. The Contractor shall notify TSD of any changes to the design required by the Structural Engineer, sub manufacturer or other engineered component supplier.

Proposed Residence for:
RYAN JABS - BLDG "D"
 939 Colville Rd., Esquimalt, BC

DATE: April 2016
 DRAWN BY: MS
 JOB #: A16-***
 SHEET:
A2
 SHEET A2 OR2



① Rear (East) Elevation
1/4" = 1'-0"



② Right (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the proposed instruments of service for the work shown in them (the "Work") and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the copyright in them and they shall not be used for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 3. The Contractor shall work with a B.C.S. to verify compliance of placement, siting and orientation of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.S. prior to execution.
 4. The Contractor shall engage a Professional Engineer (P.E.) or the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any charges for the design required by the Structural Engineer, trade manufacturer or other engineered component supplier.

Proposed Residence for:
RYAN JABS - BLDG "D"
 939 Colville Rd., Esquimalt, BC

DATE: April 2016
 DRAWN BY: MS_PUD
 JOB #: A16-***
 SHEET:
A3
 SHEET A3 OAS



① Front (West) Elevation
1/4" = 1'-0"



② Left (South) Elevation
1/4" = 1'-0"



T-Square
Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411

design@tsquare.ca

GENERAL NOTES:
 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design "TSD" and used in connection with this project are instruments of service for the work shown in them. They are not to be used for any other work or project, and they shall not be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of TSD. TSD reserves the right to modify or amend these drawings at any time without notice and without liability. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, with the exception of any conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 2. The Contractor shall work with a B.C.L.S. to verify compliance of placement, size and elevation of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, size or placement. Any proposed changes with respect to elevation, size or placement shall be confirmed with B.C.L.S. prior to execution.
 3. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design made by the Structural Engineer, trades manufacturer or other engineered component supplier.

Proposed Residence for:

RYAN JABS - BLDG "D"
 939 Colville Rd., Esquimalt, BC

\\server2\data\pud\PROJECTS\Tsquare_Models\939 Colville Townhomes\WModel\WModel_Floor Plans_Only_Cleaned Up\WModel_New_redraft_Design\939 Colville_Duplicate_Bldg_D_04212018.rvt

DATE: April 2016
 DRAWN BY: MS
 JOB #: A16-***
 SHEET:

A4
 SHEET A4 OR4

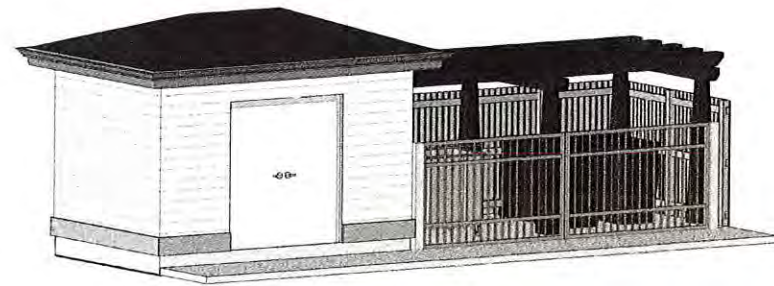
PLOT STAMP 7/5/2018 4:44:48 PM

GENERAL NOTES

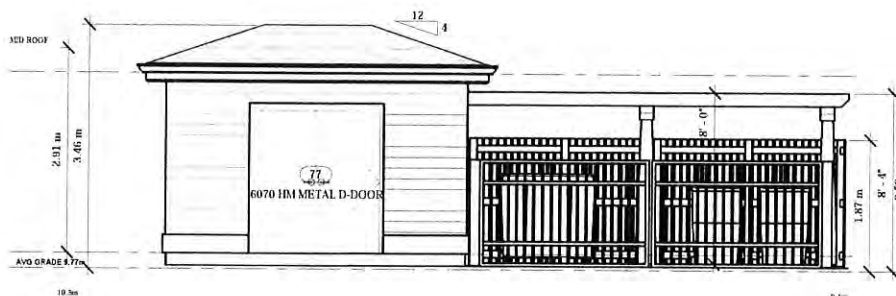
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.
- NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DRAWING.
- EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE / SHEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.
- WHERE NOTED BY "ENG." OR "ENGINEERED", ALL STRUCTURES SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER, INCLUDING, BUT NOT LIMITED TO, SPAN, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS OR "SW.", JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS "ENGINEER'S" SEAL.
- ALL WORK SHALL BE EQUAL IN RESPECT TO GOOD CONSTRUCTION PRACTICE AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND BRITISH COLUMBIA BUILDING CODE 2012 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.
- IT IS RESPONSIBILITY OF THE OWNER / CONTRACTOR TO HAVE SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO HBM BEARING.
- PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2012 PART 9.
- ALL WOOD FRAMING TO BE SPULPE PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C. 2012 AND GOOD CONSTRUCTION PRACTICE.
- PROVIDE MINIMUM OF 6" (150mm) CLEARANCE FROM GRADE OF WOOD SLIDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE.
- ALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2012 PART 9 WHERE SUPPORT FLOOR OR ROOF LOADS.
- INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 PART 9.10.19 - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 PART 9.32.4.2.
- ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATE MUST BE PRESURE TREATED OR SPPREATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
- ALL NOTED "ENGINEERED" COMPONENTS, SUCH AS ROOF JOISTS, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS AND SPECIFICATION.
- SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIR TIGHTNESS, WATER TIGHTNESS, RESISTANCE TO WIND LOADS AND BREAKING (SECURITY). THESE RATINGS RESPECTIVELY ARE: A1, B2, C-9 AND ANY RATING FOR ALL WINDOWS WITHIN 2 METERS OF GRADE. THE RELEVANT STANDARD (CAN. C605-12) REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED WITH SEAL DRAWINGS AND LETTERS OF ASSURANCE.
- INSTALL DRAPABLE HORIZONTAL TO ALL INTERIOR STAIRS AT 34" (863mm) MIN. 36" (914mm) MAX. ABOVE NOSELINE.
- INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND TERRACES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARD AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE. OTHERWISE 36" (914mm) GUARDRAIL ALLOWED. CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SILE TO RESIST LATERAL LOADS PER B.C.B.C. 2012 CODE. GLAZING RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE.
- INSTALL WATERPROOFING MEMBRANE ON BUILDING PAPER ON WATER RESISTANT WALL BOARD (min. 6" - 180mm) ON FRAMING AS SUBSTRATE AROUND ALL WALL AND CEILING AREAS OF STEAM / SHOWER. INSTALL WATER RESISTANT WALLBOARD AROUND ALL WET AREAS TO A MIN. 6'-0" (1.82m) HIGH.
- PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN AND DUCTING SIZES PRIOR TO FINAL FRAMING INSPECTION.
- ALL ELECTRICAL TO BE INSTALLED BY AN APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER.
- ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.
- FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO REQUIREMENTS OF THE B.C.B.C. 2012 PART 9.
- VERIFY FINISHING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, AND COMPACT ACCORDING TO BUILDING ELEVATIONS.
- ALL INTERIOR FINISHES, CASING, WINDOW TYPES AND MILLWORK TO OWNER'S APPROVAL.
- STAIR TREADS TO BE CONSTRUCTED OF PL WOOD OR OTHER ENGINEERED PRODUCT. FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.
- ALL FLOOR SHEATHING MUST BE SECURED WITH 5/8" (16mm) GALV. UNFIN. OF COATED FLOOR SCREWS ON 6" (150mm).
- SOLID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHARPE ROOFS.
- TEMPORARY HEAT AND / OR WIND PROTECTION REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR POWERS.
- MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION OF VAPOR BARRIER AND DRYWALL.
- TWO CONTINUOUS LAYERS OF 50# G.M. BUILDING PAPER MUST BE APPLIED TO EXTERIOR SHEATHING SHIPLED OR INSTALLED WITH 22" (560mm) OVERLAP. SEAMS HALF-LAPPED TO THE 2" VERTICAL LINE OF THE BUILDING PAPER.
- POSITIVE SLOPE FLASHING MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILLS, VENTS AND MATERIAL PENETRATIONS. ALL FLASHING MUST BE INSTALLED BEHIND BUILDING PAPER WITH MECHANICALLY DEIGNED END DAMS. ALL FLASHING MUST EXTEND A MINIMUM OF 1" (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED. BUILDING PAPER AND FELT PRE-STRIPPING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES.
- ALL RAINGUTTER CAVITIES TO BE VENTED TOP AND BOTTOM WITH INEET PROOF VENT STRIPS.
- PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPETENT BEARING.
- 20 MPA CONCRETE FOUNDATION WALL 6" (150mm) THICK MAY BE A MAXIMUM OF 4' (1.2m) HIGH FROM GRADE TO UNDERSIDE FLOOR IF LATERALLY UNSUPPORTED AT THE TOP. REFER TO B.C.B.C. 2012 9.15.4. - ALL OTHER CONCRETE WALLS TO BE ENGINEERED.
- PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR BUILDING. ENSURE ALL FINISHES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.
- ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY BUILDER / OWNER PRIOR TO ORDERING.
- WHERE ALL COVERED BY MUNICIPAL AUTHORITY HAVING JURISDICTION. APPROVED HOUSE WRAP SUCH AS "TYVEC" OR "TYFAR" MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

SITE NOTES & SPECIFICATIONS
THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER OR DRAFTERPERSON.

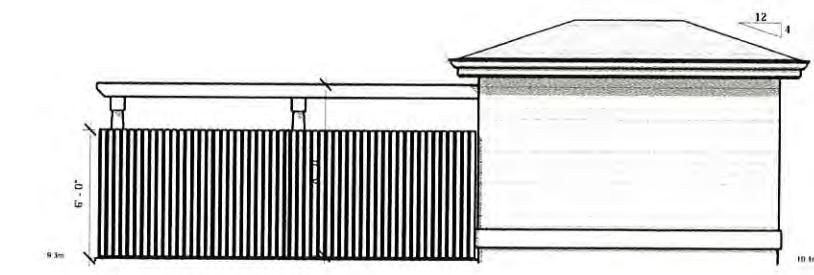
AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION.
ANY DIVATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



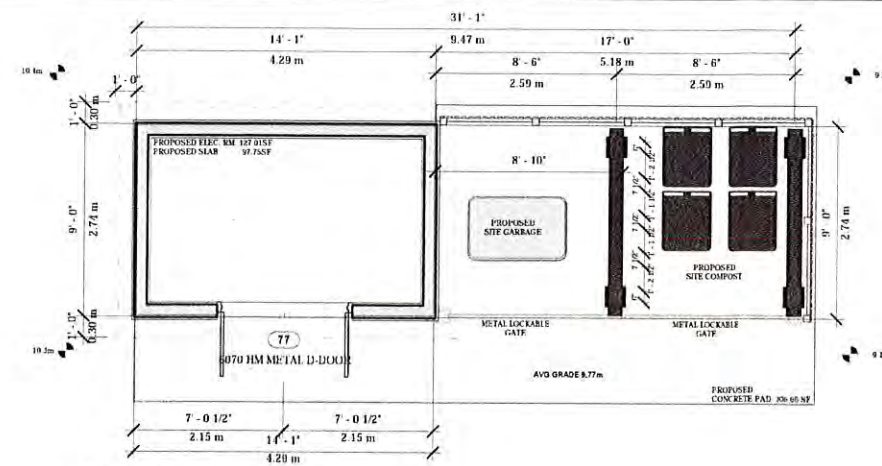
3D



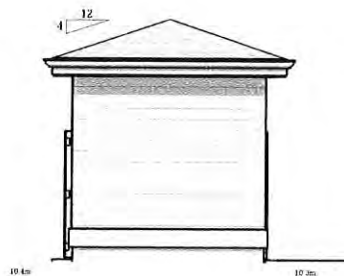
4 Front (north) Elevation
1/4" = 1'-0"



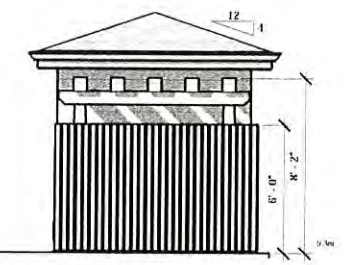
6 Rear (south) Elevation
1/4" = 1'-0"



1 MAIN FLOOR
1/4" = 1'-0"



5 Left (east) Elevation
1/4" = 1'-0"



7 Right (west) Elevation
1/4" = 1'-0"

General Notes
Dimensions provided shall take precedence over scale. Contractor to verify all dimensions of building drawings and coordinate drawings prior to work commencing.
Any discrepancies are to be reported immediately. Any notes shown on the plan that exceed the requirements noted in the general notes take precedence.
True to any alterations or modifications of plans or details on site. Contract work, modifications or variations must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.
All references to the "British Columbia Building Code" (B.C.B.C.) are to current edition or published version thereof, as approved by municipal order by the Province of British Columbia. Any reference to a dated edition or version is to be assumed for the applicable requirements in the most current edition. It shall conform with the current edition of the "British Columbia Building Code", the rules and contents of both take precedence to be executed by skilled tradespersons, not supplied and adequately supported.
Structure and/or details to conform all aspects of rating and placement of structure on lot. It is the responsibility of the contractor to verify the proposed work or existing structure does not conflict to the requirements of the B.C. Building Code as required by the governing and local authorities for the project's success.
All materials to be of best quality, complying with the applicable sections of the current C.S.A. C12.18 and B7.1.2. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with this specification. No other or part of any products used shall be used to comply with B.C.B.C. 2012.11.1 and to be designed by structural engineer unless noted otherwise. Structural Engineer and trades manufacturer drawings to take precedence over structural design shown on plan.

SITE NOTES & SPECIFICATIONS
THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION.
ANY DIVATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

VENTILATION TO BE DESIGNED BY HVAC IN ACCORDANCE TO BCBC 2012 (9.32)

T-SQUARE
design consulting
T-Square Design
T-Square Designs
2550 Lakeshore Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, fixtures, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are the property of TSD and shall remain the property of TSD whether the work is executed or not, and TSD retains the copyright in them and in the Work prepared therefrom, and they are not to be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other action shall constitute acceptance of the drawings, acceptance of the existing site conditions, and any dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.L.S. to verify correct placement, size and location of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and the review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, shall manufacture or other engineered components as needed.



Proposed Residence for:
PROPOSED ELEC. RM
939 Colville Rd., Esquimalt, BC

DATE: FEB 2016
DRAWN BY: MS
JOB #: A16-***
SHEET:
A1
SHEET A1 OF 1



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: August 8, 2018

STAFF REPORT

DATE: August 4, 2018

TO: Chair and Members of the Design Review Committee

FROM: Alex Tang, Planner
Bill Brown, Director of Development Services

**SUBJECT: Development Permit Application
615 Fernhill Road
[PID 004-757-742 Lot B, Section 11, Esquimalt District, Plan 12446]**

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a Development Permit authorizing the form and character of the proposed development of a 10 unit residential apartment building consistent with the architectural plans provided by MJM Architect Inc., the landscape plan by Studio One Creative, and sited in accordance with the BCLS Site Plan provided by Wey Mayenburg Land Surveying Inc., all stamped "Received June 19, 2018", to be located at PID 004-757-742 Lot B, Section 11, Esquimalt District, Plan 12446 [615 Fernhill Road] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application:

The applicant is proposing to build a 10 unit multiple family residential building. Comprehensive Development District No. 105 of Esquimalt Zoning Bylaw 1992, No. 2050 has been written to govern this development.

This site is located within Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 6 – Multi-Family Residential, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, and Development Permit Area No. 8 – Water Conservation. A Development Permit is required to ensure that the application is generally consistent with the Development Permit Area guidelines contained within the Esquimalt Official Community Plan Bylaw, 2018, No.2922. The development permit is required prior to a building permit being issued for the construction of a structure.

Evaluation of this application should focus on issues respecting the form and character of the development, including landscaping, exterior design and finish of the buildings and other structures in relation to the relevant design guidelines. In addition, evaluation should focus on natural environment protection, energy conservation, greenhouse gas reduction, and water conservation in relation to the relevant development permit area guidelines.

Context

Architect: MJM Architect Inc.
Applicant/Owner: Mikhail Bruce Wilkin
Property Size: Metric: 770 m² Imperial: 8,288 ft²
Existing Land Use: Single Family Residential
Surrounding Land Uses:
 North: Multiple Family Residential
 South: Multiple Family Residential
 West: Multiple Family Residential
 East: Multiple Family Residential
Existing OCP Designation: Medium Density Residential [No change required]
Zoning: CD No. 105 [Comprehensive Development District]

Zoning

Density, Lot Coverage, Height and Setbacks: The following chart details the floor area ratios, lot coverage, setbacks, height, parking requirements, and usable open space of this proposal.

	CD No.105 Zone
Units	10
Floor Area Ratio	0.99
Lot Coverage	51%
Setbacks	
• Front	5.85 m
• Rear	5.65 m
• Interior Side [North]	4.50 m
• Interior Side [South]	4.15 m
Building Height	11 m
Off Street Parking	12
Usable Open Space	100 m ²

Official Community Plan

This site is located within Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 6 – Multi-Family Residential, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, and Development Permit Area No. 8 – Water Conservation. The guidelines of these Development Permit Areas are contained within the Esquimalt Official Community Plan Bylaw, 2018, No.2922.

The following is a list of Official Community Plan guidelines to consider in evaluating this application.

Development Permit Area No.1 is designated for the purpose of establishing objectives for the

protection of the natural environment, its ecosystems and biological diversity.

OCP Section 18.5.2 Natural Features

Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
3. Preservation of natural topography is favoured over blasting or building of retaining walls.
5. Design new development and landscaping to frame rather than block public views.

OCP Section 18.5.3 Biodiversity

Landscaping features that will protect, restore and enhance biodiversity. Where feasible:

1. New landscaping shall consist predominantly of native plant and tree species. Plants that are native to the Coastal Douglas-fir biogeoclimatic zone are preferred in landscape treatments as they provide habitat for threatened indigenous flora and fauna. Drought tolerant plants native to western North America, that are known to be non-invasive, are a good alternative choice for landscaped areas.
3. Choose trees and plants for site conditions; consider shade, sunlight, heat, wind-exposure, sea spray tolerance, and year round moisture requirements in their placement.
4. Consider the habitat and food needs of birds, pollinators, and humans in tree and plant species selection and placement; native plantings and food gardens compliment each other.
8. Avoid using fast-growing non-native plants to cover and retain soils as they may become invasive and a constraint to the establishment of other plants.
10. Design retaining wall spacing and landscape planting areas of sufficient width and depth to support plantings.

OCP Section 18.5.4 Natural Environment

Measures to protect, restore and enhance the natural environment (limit noise, light and air pollution). Where it is reasonable:

1. Strategically locate leafy trees/ hedges and water features to mask urban noises such as traffic, garbage collection and delivery locations. Consider that leafy rough barked trees, vine covered walls and natural ground cover materials (mulch, soil) will help dampen urban noise.
4. Place trees and vegetation near sources of air pollution including busy roadways, to assist in reduction of air pollution through the collection of particulate matter on leaves and needles, and absorption of toxic gases, including but not limited to: ozone, nitrogen dioxide, sulfur dioxide, carbon monoxide, carbon dioxide, cadmium, chromium, nickel and lead.

Development Permit Area No.6 is designated for the purpose of establishing objectives for the form and character of multi-family residential development.

OCP Section 23.5 Multi-Family Residential Guidelines

2. New buildings should be designed and sited to minimize visual intrusion on to the privacy of surrounding homes and minimize the casting of shadows on to the private

- outdoor space of adjacent residential units.
4. Landscaping should emphasize the creation of an attractive streetscape, as well as to provide privacy between individual buildings and dwellings, screen parking areas and break up large expanses of paving.
 9. Retention and protection of trees and the natural habitat is encouraged wherever possible.
 11. Site lighting should provide personal safety for residents and visitors and be of the type that reduces glare and does not cause the spillover of light on to adjacent residential sites.
 15. Provide for slightly raised entrances to ground floor residences along with private yards that are accessible from the fronting street or land to encourage community interaction.
 18. Wherever possible, outdoor storage and parking areas should be screened from view.

Development Permit Area No.7 is designated for the purposes of energy conservation and greenhouse gas reduction.

OCP Section 24.5.1 Siting of buildings and structures

Where it is feasible:

4. Provide space for pleasant pedestrian pathways between buildings.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.
9. In residential neighbourhoods, provide space for larger trees and a second row of street trees as this will enhance the pedestrian experience by lowering wind velocity at street level reducing excessive heating at ground level and absorbing vehicle and other urban noises.

OCP Section 24.5.2 Form and exterior design of buildings and structures

Where it is feasible:

3. Place more windows on the south side of buildings to increase solar gain, and fewer/smaller windows on the north side to minimize heat loss.
4. Use roof over-hangs, fixed-fins or other solar shading devices on south and west facing windows to reduce peak summer heat gain while enabling sunlight penetration in winter months.
5. Install adjustable overhangs above windows that can help control the amount of sun exposure in warmer months thereby reducing the need for cooling.
7. Skylights are discouraged as they decrease insulating values and can interfere with solar panel installation.
10. Avoid heavily tinted windows or reflective glass which will diminish the natural daylighting of interior spaces, thereby requiring increased energy requirements for interior lighting.

OCP Section 24.5.3 Landscaping

Where it is feasible:

2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.
4. Use deciduous trees for landscaping along southern exposures, as they provide shade

in the summer and allow more sunlight through in the winter months.

5. Strategically place taller trees and vegetation on the south and west sides of buildings where there is more direct sun exposure.
6. Strategically place coniferous trees such that they can buffer winter winds.
7. As context and space allow, plant trees that will attain a greater mature size, for greater carbon storage; removal of healthy trees is discouraged as the loss of the ecosystem services provided by larger trees will take many years to recover.
8. Plant trees with a larger canopy cover along roadways and sidewalks, thereby providing shading of paved areas, lowering the heating of paved surfaces and reducing the wind velocities in these pedestrian areas.
9. Plant shorter and sturdier vegetation closer to buildings and other structures, and taller vegetation further away to avoid potential damage from strong winds blowing vegetation against buildings.
11. For parking areas and along boulevard/sidewalk edges; plant trees to provide shade, store carbon and reduce the heat island effect.

OCP Section 24.5.4 Machinery, equipment and systems external to buildings and other structures

Where it is feasible:

2. Use heat pumps, solar panels, green (living) roofing or an innovative system to improve a building's energy performance.
3. Use durable, vandalism and graffiti resistant materials where neighbourhood surveillance may be limited.
4. Design for on-site heat recovery and re-use of water.

OCP Section 24.5.5.Special Features

Where it is feasible:

1. Select building materials that have been shown to have a high level of durability for the use intended.
2. Use wood for construction as a means to sequester carbon dioxide – North American grown and sustainably harvested wood is preferable for building construction.
3. Select local and regionally manufactured building products whenever possible to reduce transportation energy costs.
4. Reuse of existing buildings and building materials is encouraged.
5. Choose materials that have a high likelihood of reuse or recycling at end of life.

Development Permit Area No.8 is designated for the purpose of water conservation.

OCP Section 25.5.1 Building and Landscape Design

Where it is feasible:

1. Reduce the burden on built stormwater infrastructure by designing on-site retention systems to retain the first three centimetres of stormwater on site, per precipitation event.
2. Provide space for absorbent landscaping, including significantly sized trees on the site and by not allowing underground parking structures to extend beyond building walls.
3. Incorporate rainwater collection systems into roof design; consider using living roofs and walls as part of a rainwater collection system.
4. Incorporate rain gardens into landscaping and direct rainwater towards vegetated areas.

5. Intersperse paved surfaces with drought resistant vegetation that will provide shade on those surfaces and design the paved surfaces to drain into the vegetation.
6. Design landscaping with more planted and pervious surfaces than solid surfaces.

OCP Section 25.5.2 Landscaping – Select Plantings for Site and Local Conditions

Where it is feasible:

1. Retain existing native trees vegetation, and soil on site.
2. Plant species native to the Coastal Douglas-fir biogeoclimatic zone, as they are most suited to our climate and require little additional irrigation once established.
3. Consider shade, sunlight, heat, wind-exposure and sea spray, as well as water needs in the selection and placement of plant species.
4. Group plants with similar water needs into hydro-zones.

OCP Section 25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Use pervious landscaping materials to enhance stormwater infiltration; permeable paving is preferable for surface parking areas.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.
4. Locate civil servicing lines along driveways and other paved areas, to lessen the disturbance of natural soils and loss of their natural absorption qualities.
5. Use good quality top soil and compost for the finish grading of disturbed areas to contribute to the water holding capacity of newly landscaped areas.
6. Choose bark mulches or woodchips for walking paths for enhanced absorption.
7. Plant at densities that will ensure vegetated areas have 100% plant canopy coverage after two full growing seasons. Consider that understory native plants are adapted to local climates, absorb seasonal soil moisture and reduce compaction due to foot traffic.

OCP Section 25.5.4 Landscaping – Water Features and Irrigation Systems

Where it is feasible:

1. Use automated high efficiency irrigation systems where irrigation is required.
2. Incorporate stormwater retention features into irrigation system design.
3. Use recirculated water systems for water features such as pools and fountains.
4. Install plantings and irrigation systems to the Canadian Landscape Standard.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Comments From Other Departments

The plans for this proposal were circulated to other departments and the following comments were received:

Building Inspection: Building to be constructed to requirements of BC Building Code 2012 and Municipal Building Code Bylaw, 2002, No. 2538. Applicant must address all issues contained within the Township Development Protocol should application be approved. Plans will be reviewed for compliance with BC Building Code upon submission of a Building Permit application.

Engineering Services: Engineering staff has completed a preliminary evaluation of Works and Services that would be required for the 10 unit multiple family residential building proposed to be located at 615 Fernhill Road. Staff confirms that the design appears achievable on the site and that appropriate works and services are available in the immediate area. If approved, the development must be serviced in accordance with bylaw requirements including, but not limited to, new sewer and drain connections, underground hydro, telephone and cable services and new road works may be required up to the centre line of Fernhill Road. Should the application be approved, additional comments will be provided when detailed civil engineering drawings are submitted as part of a Building Permit application.

Parks Services: Parks staff has completed a preliminary review of the proposed on-site and off-site landscaping and have no concerns with the planting plan. Trees to be retained on site require protective fencing in advance of site preparation, deconstruction, and during construction. A tree cutting permit is required for any tree removal

Fire Services: Fire Services staff has completed a preliminary review of the proposed plans and recommends for the power lines on Fernhill Road in front of the subject property to be buried. Although this is not required by the Township, it would be desirable as a streetscape improvement. Fire Services Staff also had concerns with the height of the new boulevard trees as they may impede with aerial access to the building.

Comments from the Design Review Committee [DRC]

This rezoning application was considered at the regular meeting of the DRC held on June 14, 2017.

Members felt that the proposed development would enhance the neighbourhood and corresponded well to the land use designation in the Official Community Plan. Members raised concerns about screening between the subject property and its adjacent properties. Members also stated that one ornamental tree is not a sufficient replacement for the Garry Oak tree that is being removed. In addition, members wanted the applicant to consider the possibility of using permeable pavers to treat rainwater by altering the grading at the parking level.

The DRC resolved that the application be forwarded to Council with a recommendation of approval subject to the following conditions:

That the applicant:

1. Consider adjusting the site plan so that vegetative screening between the subject property and the property to the south can be located on the subject property;
2. Consider tree plantings in the front setback that more closely compensate for the loss of the Garry Oak; and
3. Examine the grading and drainage issues and examine the possibility of using permeable pavers to treat rainwater runoff.

In response to this recommendation, the applicant has amended the plans for the proposed development to address these issues. The applicant added five red Maple trees to the open space north of the building and five Beech trees to the eastern edge of the property. Alongside the Beech trees, there is a proposed Yew hedging for additional screening. Given the limited

planting opportunities in the front yard area of the proposed design, the applicant has voluntarily agreed to install 2 boulevard trees within the public realm to enhance the overall streetscape. In addition, the grading at the parking level was altered to utilize the permeable pavers to treat the rainwater runoff.

Comments from the Advisory Planning Commission [APC]

This rezoning application was considered at the regular meeting of the APC held on June 20, 2017.

Members liked the proposal and felt the design and concept fit within the character of the neighbourhood. Members questioned whether such a large building on a small lot would be viable without the increase in lot coverage. Members also questioned whether two electric vehicle charging stations would be sufficient. Members also suggested that the applicant consider incorporating accessibility into the design of the units.

The APC resolved that the application be forwarded to Council with a recommendation of approval as the proposed design and concept fits within the character of the neighbourhood and the needs of the community.

ALTERNATIVES:

1. Forward the application for Development Permit to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Development Permit to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Development Permit to Council with a **recommendation of denial including reasons for the recommendation.**



Fernhill Pl

614

612

619

615

611

625

1160

Fernhill Rd

1148

1140

Esquimalt Rd

Subject Property Map
615 Fernhill Road



622

624

626

628

632

636

618



FERNHILL PL

614

612

619

633

629

615

625

FERNHILL RD

611

1160

1148

1140

1134

1124



Adopted January 10th, 2011



"One-third of Canada's energy use goes to running our homes, offices and other buildings. The federal government's Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHC) emissions come from the built environment."
[Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

- 1 Are you building to a recognized green building standard? Yes No
If yes, to what program and level?
- 2 If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? Yes No
- 3 Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? Yes No
If so, please describe them. HARDPANEL SIDING ON RAINSCREEN WALL ASSEMBLY
- 4 What percentage of the existing building[s], if any, will be incorporated into the new building? 0 %
- 5 Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.
ALL WOOD USED IN THIS PROJECT WILL BE FROM B.C.
- 6 Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? Yes No
PARALLAM & LVLW/ ENGINEERED WOOD JOISTS TO BE UTILIZED
- 7 Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? Yes No
Flekkor Challenges wood from Elk Falls
For which parts of the building (e.g. framing, roof, sheathing etc.)? entire arbour
- 8 Can alternatives to Chlorofluorocarbon's and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. Yes No
Products such as Dow's glycol ethers will be used wherever possible,
- 9 List any products you are proposing that are produced using lower energy levels in manufacturing. Yes No
NOT KNOWN
- 10 Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Yes No
UNKNOWN @ TIME OF REZONING
- 11 Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? Yes No

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

- | | | | | |
|----|----------------------------------------------------------------------------------------------------------------------|--------------------------------------|----|-----|
| 12 | Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? | Yes | No | N/A |
| 13 | For commercial buildings, do flushes for urinals exceed BC Building Code requirements? | Yes | No | N/A |
| 14 | Does your project use dual flush toilets and do these exceed the BC Building Code requirements? | <input checked="" type="radio"/> Yes | No | |
| 15 | Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? | <input checked="" type="radio"/> Yes | No | |
| 16 | Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? | <input checked="" type="radio"/> Yes | No | |

Storm Water

- | | | | | |
|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|-------------------------------------|--------------------------------------|
| 17 | If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] | Yes | No | <input checked="" type="radio"/> N/A |
| 18 | Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? | <input checked="" type="radio"/> Yes | No | N/A |
| 19 | Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____ | Yes | <input checked="" type="radio"/> No | N/A ? |
| 20 | Have you considered storing rain water on site (rain barrels or <u>cisterns</u>) for future irrigation uses? | <input checked="" type="radio"/> Yes | No | N/A |
| 21 | Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. <u>an oil interceptor will be installed in the parkade</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 22 | Will this project have an engineered green roof system or has the structure been designed for a future green roof installation? <u>Project designed for future green roof</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 23 | What percentage of the site will be maintained as naturally permeable surfaces? | | | <u>15</u> % |

Waste water

- | | | | | |
|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|----|--------------------------------------|
| 24 | For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____ | Yes | No | <input checked="" type="radio"/> N/A |
|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|----|--------------------------------------|

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

- | | | | | |
|----|----------------------------------------------------------------------------------|--------------------------------------|----|----------------|
| 25 | Are any healthy trees being removed? If so, how many and what species? | <input checked="" type="radio"/> Yes | No | N/A |
| | <u>3 trees being removed.</u> | | | |
| | Could your site design be altered to save these trees? <u>unfortunately not.</u> | | | |
| | Have you consulted with our Parks Department regarding their removal? | | | <u>not yet</u> |

- 26 Will this project add new trees to the site and increase our urban forest?
If so, how many and what species? 5 Leyland Cypress Yes No N/A
- 27 Are trees [existing or new] being used to provide shade in summer or to buffer winds? see above Yes No N/A
- 28 Will any existing native vegetation on this site be protected?
If so, please describe where and how. _____ Yes No N/A
- 29 Will new landscaped areas incorporate any plant species native to southern Vancouver Island? Yes No N/A
- 30 Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas? Yes No N/A
- 31 Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)? Yes No N/A
- 32 Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? Yes No N/A
- 33 Will topsoil will be protected and reused on the site? Yes No N/A

Energy Efficiency

Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.

- 34 Will the building design be certified by an independent energy auditor/analyst?
If so, what will the rating be? _____ Yes No N/A
- 35 Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting? Yes No N/A
- 36 Does the design and siting of buildings maximize exposure to natural light?
What percentage of interior spaces will be illuminated by sunlight? 45 % Yes No N/A
- 37 Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.).
If so, please describe. Energy Star variable speed heat pumps w/ SEER rating of 13 (min)
If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? heat pumps will be wall mounted in parkade above headroom height. Yes No N/A
- 38 Has the building been designed to be solar ready? rough-ins for roof mounted solar panels will be provided Yes No N/A
- 39 Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity? see above Yes No N/A
- 40 Do windows exceed the BC Building Code heat transfer coefficient standards? Yes No N/A
- 41 Are energy efficient appliances being installed in this project?
If so, please describe. Energy Star Appliances: w/d's, dishwashers, & refrigerators
- 42 Will high efficiency light fixtures be used in this project?
If so, please describe. most, if not all, fixtures will be LED Yes No N/A
- 43 Will building occupants have control over thermal, ventilation and light levels? Yes No N/A
- 44 Will outdoor areas have automatic lighting [i.e. motion sensors or time set]? Yes No N/A
- 45 Will underground parking areas have automatic lighting? Yes No N/A

Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

- | | | | | |
|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|----|--------------------------------------|
| 46 | Will ventilation systems be protected from contamination during construction and certified clean post construction? | Yes | No | <input checked="" type="radio"/> N/A |
| 47 | Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products?
If so, please describe. <u>Eco Design's BioShield paint (or Green planet) EcoWood treatment</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 48 | Will the building have windows that occupants can open?
<u>for floors, oct. wood</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 49 | Will hard floor surface materials cover more than 75% of the liveable floor area? | <input checked="" type="radio"/> Yes | No | N/A |
| 50 | Will fresh air intakes be located away from air pollution sources? | <input checked="" type="radio"/> Yes | No | N/A |

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

- | | | | | |
|----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|----|--------------------------------------|
| 51 | Will materials be recycled during demolition of existing buildings and structures?
If so, please describe. <u>any re-useable windows, doors will be selectively recycled.</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 52 | Will materials be recycled during the construction phase?
If so, please describe. _____ | Yes | No | N/A |
| 53 | Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting? | <input checked="" type="radio"/> Yes | No | N/A |
| 54 | For new commercial development, are you providing waste and recycling receptacles for customers? | Yes | No | <input checked="" type="radio"/> N/A |

??
I think not

Green Mobility

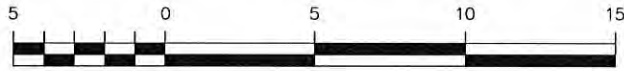
The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

- | | | | | |
|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|----|--------------------------------------|
| 55 | Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]? | <input checked="" type="radio"/> Yes | No | N/A |
| 56 | For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses? | Yes | No | <input checked="" type="radio"/> N/A |
| 57 | Is access provided for those with assisted mobility devices? | <input checked="" type="radio"/> Yes | No | N/A |
| 58 | Are accessible bike racks provided for visitors? | <input checked="" type="radio"/> Yes | No | N/A |
| 59 | Are secure covered bicycle parking and dedicated lockers provided for residents or employees? | <input checked="" type="radio"/> Yes | No | N/A |
| 60 | Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]:
<input type="checkbox"/> transit passes
<input type="checkbox"/> car share memberships
<input type="checkbox"/> shared bicycles for short term use
<input type="checkbox"/> weather protected bus shelters
<input checked="" type="checkbox"/> plug-ins for electric vehicles | | | |

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.

electric car charging station provided.

Site Plan Of:
Lot B, Section 11,
Esquimalt District, Plan 12446.



Scale = 1:250

Dated this 3rd day of October, 2017.

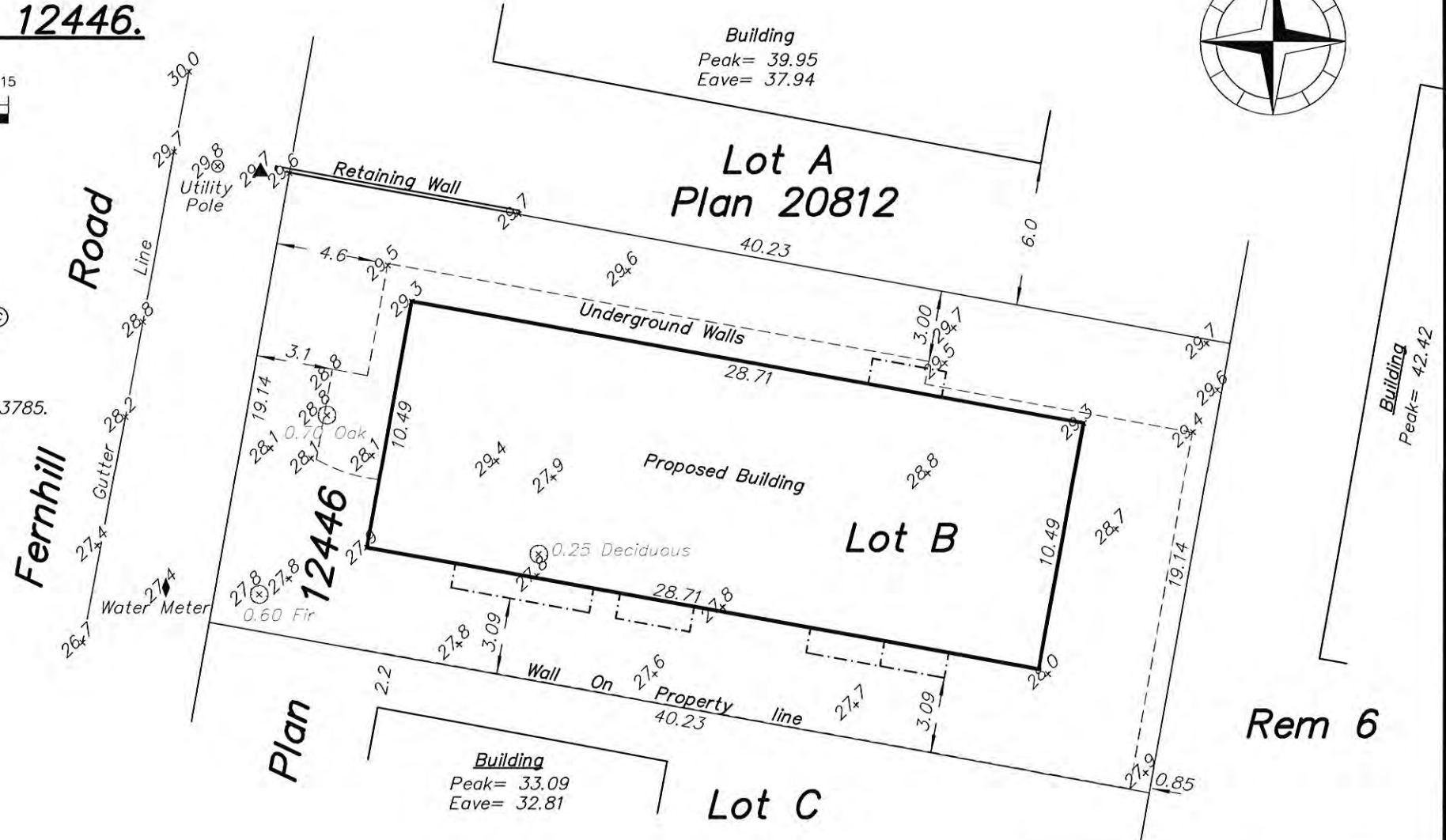
**Brent
 Mayenburg
 C5S1Z1**

Digitally signed by Brent Mayenburg
 C5S1Z1
 DN: c=CA, cn=Brent Mayenburg C5S1Z1,
 o=BC Land Surveyor, ou=Verify ID at
 www.juricert.com/LKUP.cfm?id=C5S1Z1
 Date: 2017.10.03 14:32:14 -07'00'

B.C.L.S. ©

Distances and elevations shown are in metres.

Elevations are geodetic and derived from OCM87H3785.



The subject property is affected by the following registered documents:
M76301.

Wey Mayenburg Land Surveying Inc.
 www.weysurveys.com
 #4-2227 James White Boulevard
 Sidney, BC V8L 1Z5
 Telephone (250) 656-5155
 File: 160133A\SIT\BM

RECEIVED
 JUN 19 2018
 CORP. OF TOWNSHIP OF ESQUIMALT
 DEVELOPMENT SERVICES

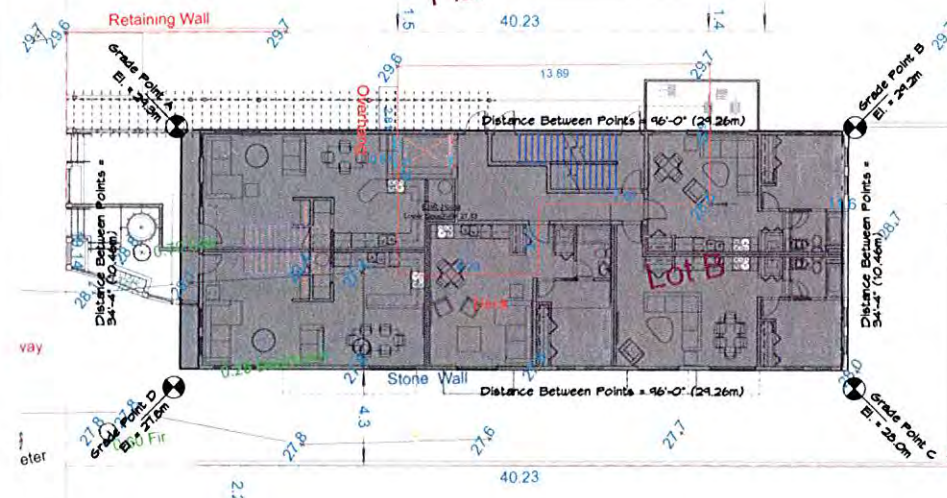
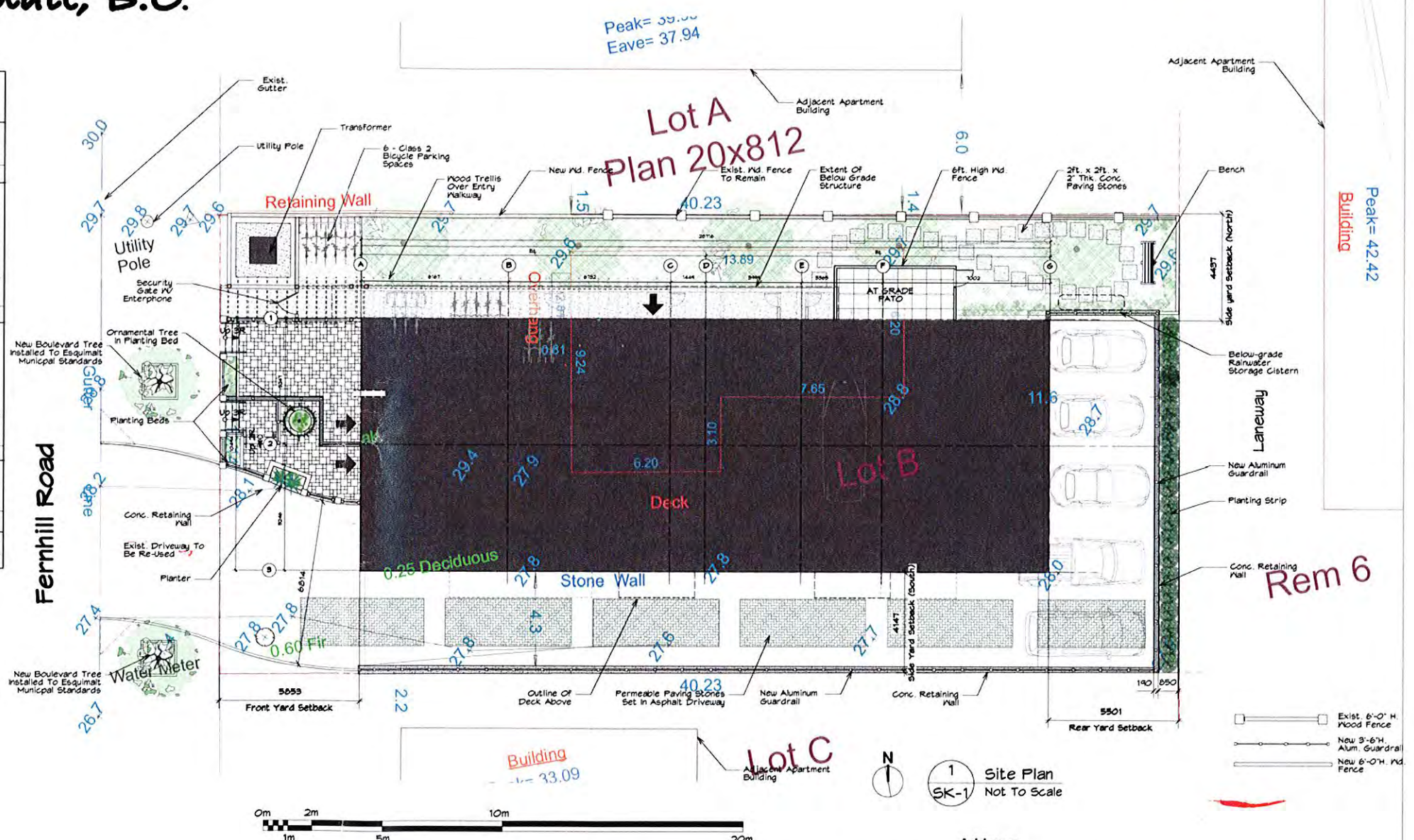
10 Unit Apartment Development, Rezoning From R1-B to CD

615 Fernhill Road, Esquimalt, B.C.

SITE INFORMATION:	
Legal Description:	Lot B, Section 11, Esquimalt District, Plan 12446
Current Zone:	R1-B
Proposed Zone:	Site Specific
Lot Area:	788.3m ²
Building Areas:	(see table on right)
Total Floor Area:	= 774.29 m ²
F.A.R.:	= Total Floor Area (774.29 m ²) + Lot Area (788.30m ²) = 982:1
Lot Coverage:	Total Building Horiz. Area = 301.51m ² + Lot Area = 788.30m ² = 382, Or 38%
Setbacks:	Front - 5.853m Rear - 5.501m Side (North) - 4.414m Side (South) - 4.147m
Height:	10.93m

Level	Unit Area:
Parkade	Bicycle Stor. 22.74 s.m. Lockers 20.12 s.m. Total = 42.86 m ²
Main Floor	UNIT 101 50.84 s.m. UNIT 102 50.37 s.m. UNIT 103 51.85 s.m. UNIT 104 52.04 s.m. UNIT 105 49.65 s.m. Total = 250.75 m ²
Second Floor	UNIT 101 46.46 s.m. UNIT 102 50.44 s.m. UNIT 201 51.85 s.m. UNIT 202 52.04 s.m. UNIT 203 49.65 s.m. Total = 246.94 m ²
Third Floor	UNIT 301 116.46 s.m. UNIT 302 116.76 s.m. Total = 233.22 m ²
TOTAL AREA	774.29 m ²

LIST OF DRAWINGS	
SK-1 - SITE PLAN/LOCATION PLAN	SK-7 - SOUTH WEST ELEVATION
SK-2 - PARKADE FLOOR PLAN	SK-8 - NORTH & EAST ELEVATIONS
SK-3 - MAIN FLOOR PLAN	SK-9 - RENDERINGS
SK-4 - SECOND FLOOR PLAN	SK-10 - RENDERINGS
SK-5 - THIRD FLOOR PLAN	SK-11 - MATERIAL SAMPLE BOARD
SK-6 - BUILDING SECTION	



3 SK-1 Average Grade Calculation
 Scale - 1:150



1 SK-1 Site Plan
 Not To Scale

Address: 615 FERNHILL RD
 Folio: 2843.000
 Project: 2843.000
 Date: Jun 19, 2018
 Folder: DP000106

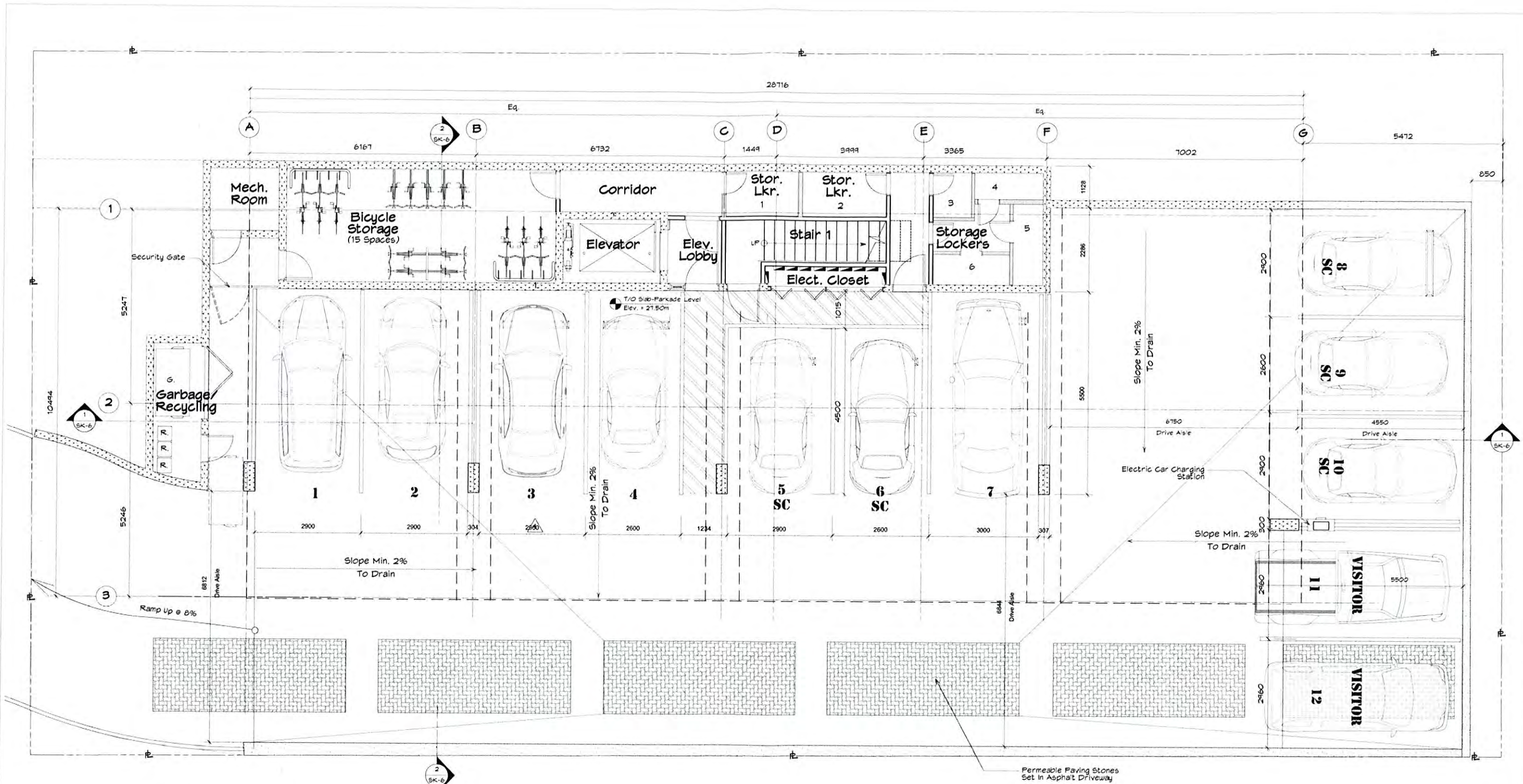
Type / Subject: DEVELOPMENT PERMIT - MFD
 Development Permit - 615 Fernhill Rd

2 SK-1 Location Plan
 Not To Scale

10 Unit Apartment Development
 615 Fernhill Road, Esquimalt, B.C.
 Rezoning Application
 Site Plan
 Scale - As Noted
 June 20th, 2017

MJM Architect Inc.
 412 309 Vancouver Street, Victoria, B.C.
 V8W 2V8
 Tel: (250) 361-5452 • Fax: (250) 361-5453

SK-1



Bicycle Storage	22.74 s.m. 244.17 s.f.
Storage Lockers	20.12 s.m. 216.56 s.f.

Total Floor Area = 42.86 s.m.
461.34 s.f.

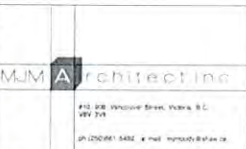


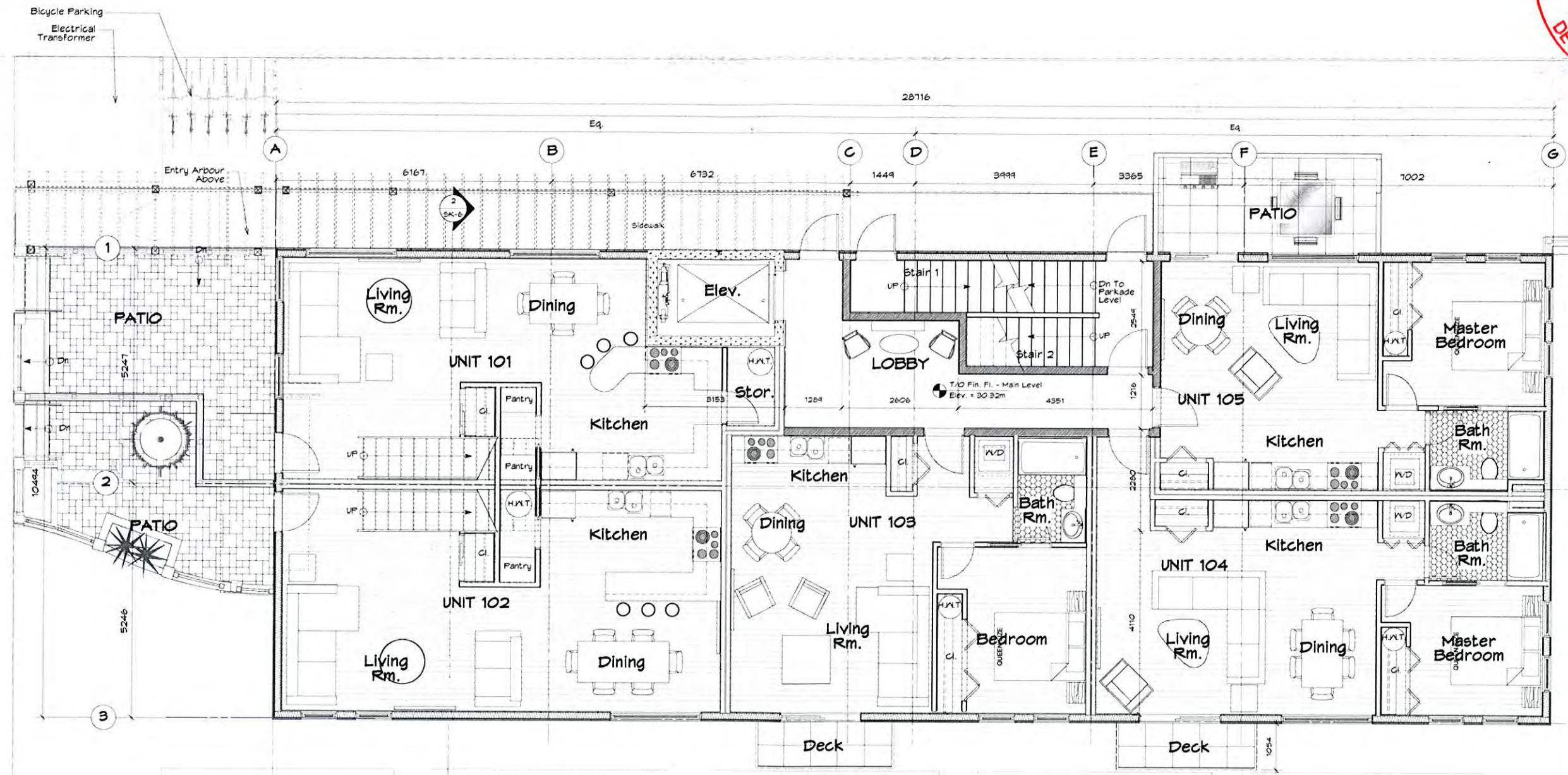
1 Parkade Level Floor Plan
Scale: 1/8" = 1'-0"



10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application
Parkade Plan
Scale - As Noted
June 20th, 2017

SK-2





UNIT 101	50.84 s.m. 547.24 s.f.
UNIT 102	50.37 s.m. 542.18 s.f.
UNIT 103	51.85 s.m. 558.11 sq.ft.
UNIT 104	52.04 s.m. 560.15 sq.ft.
UNIT 105	45.65 s.m. 491.37 s.f.

Total Floor Area (F.S.R.)
= 250.75 s.m., OR 2,699.05 s.f.

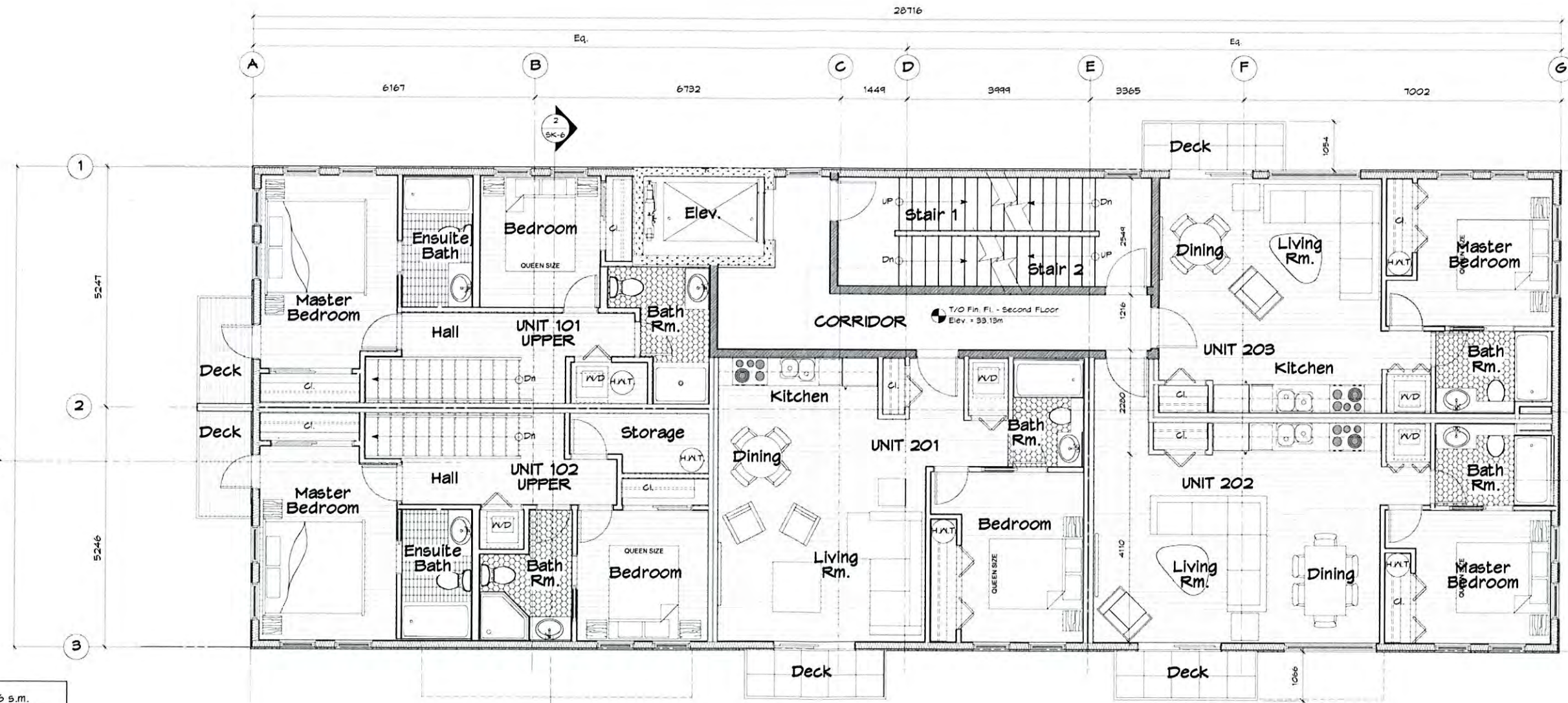
1 Main Floor Plan
SK-3 Scale: 1/8" = 1'-0"



10 Unit Apartment Development
615 Ferrenhill Road, Esquimalt, B.C.
Rezoning Application
Main Floor Plan
Scale - As Noted
June 20th, 2017

SK-3



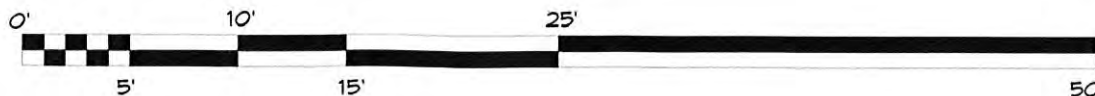


UNIT 101 Upper	46.96 s.m. 505.47 s.f.
UNIT 102 Upper	50.44 s.m. 542.93 s.f.
UNIT 201	51.85 s.m. 559.11 sq.ft.
UNIT 202	52.04 s.m. 560.15 sq.ft.
UNIT 203	45.65 s.m. 491.37 s.f.

Total Floor Area (F.S.R.)
= 246.94 s.m., OR 2,658.04 s.f.



1 SK-4 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



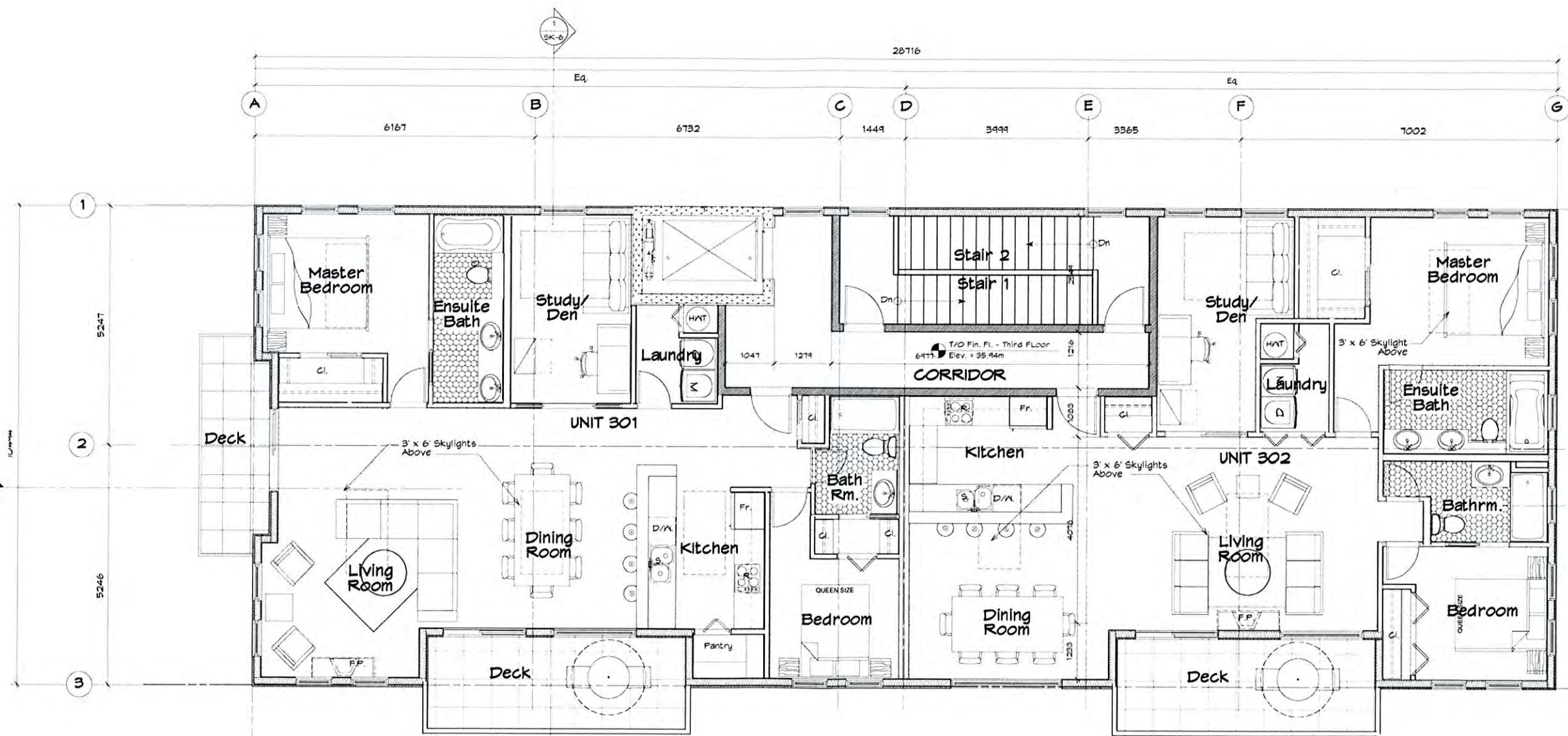
10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.

Rezoning Application

Second Floor Plan
Scale - As Noted
June 20th, 2017

SK-4

MJM Architect Inc.
410 88 Victoria Drive, Victoria B.C.
V8V 2W4
PH: (250) 611-1142 • FAX: (250) 611-1143

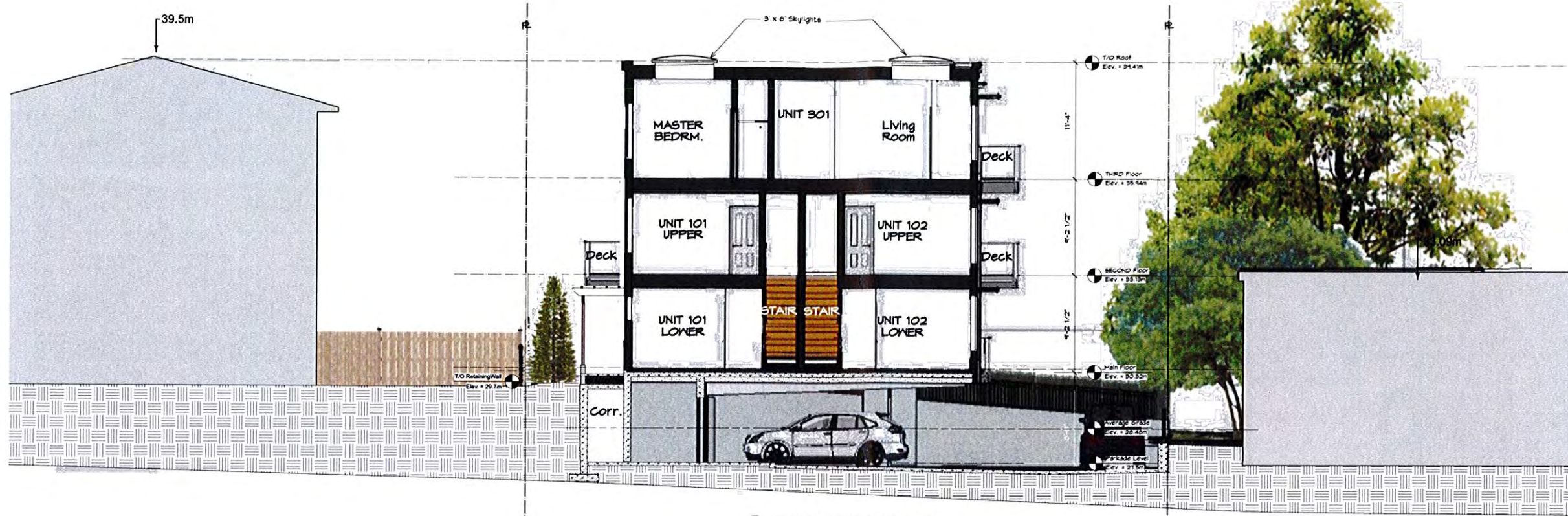


UNIT 301 116.96 s.m.
 1,258.95 s.f.
UNIT 302 116.76 s.m.
 1,250.44 s.f.

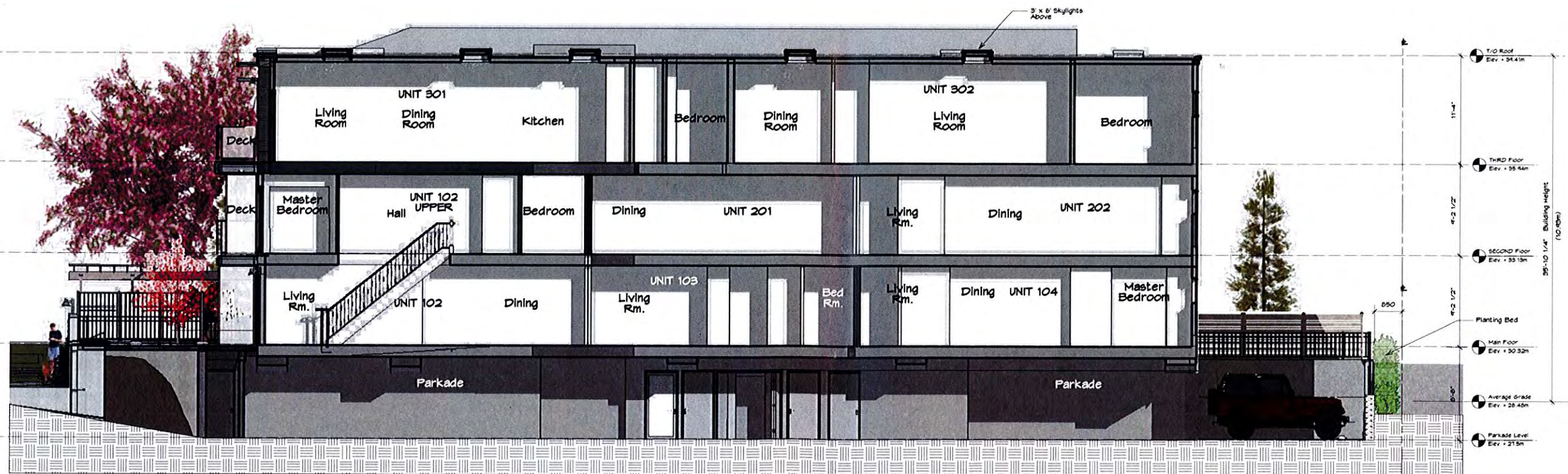
Total Floor Area = 233.72 s.m.
 2,515.74 s.f.

1 THIRD FLOOR PLAN
 SK-5 Scale: 1/8" = 1'-0"

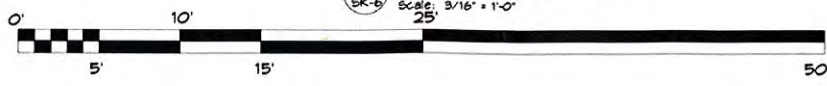




2 North/South Section Looking East
SK-6 Scale: 3/16" = 1'-0"



1 East/West Section Looking North
SK-6 Scale: 3/16" = 1'-0"



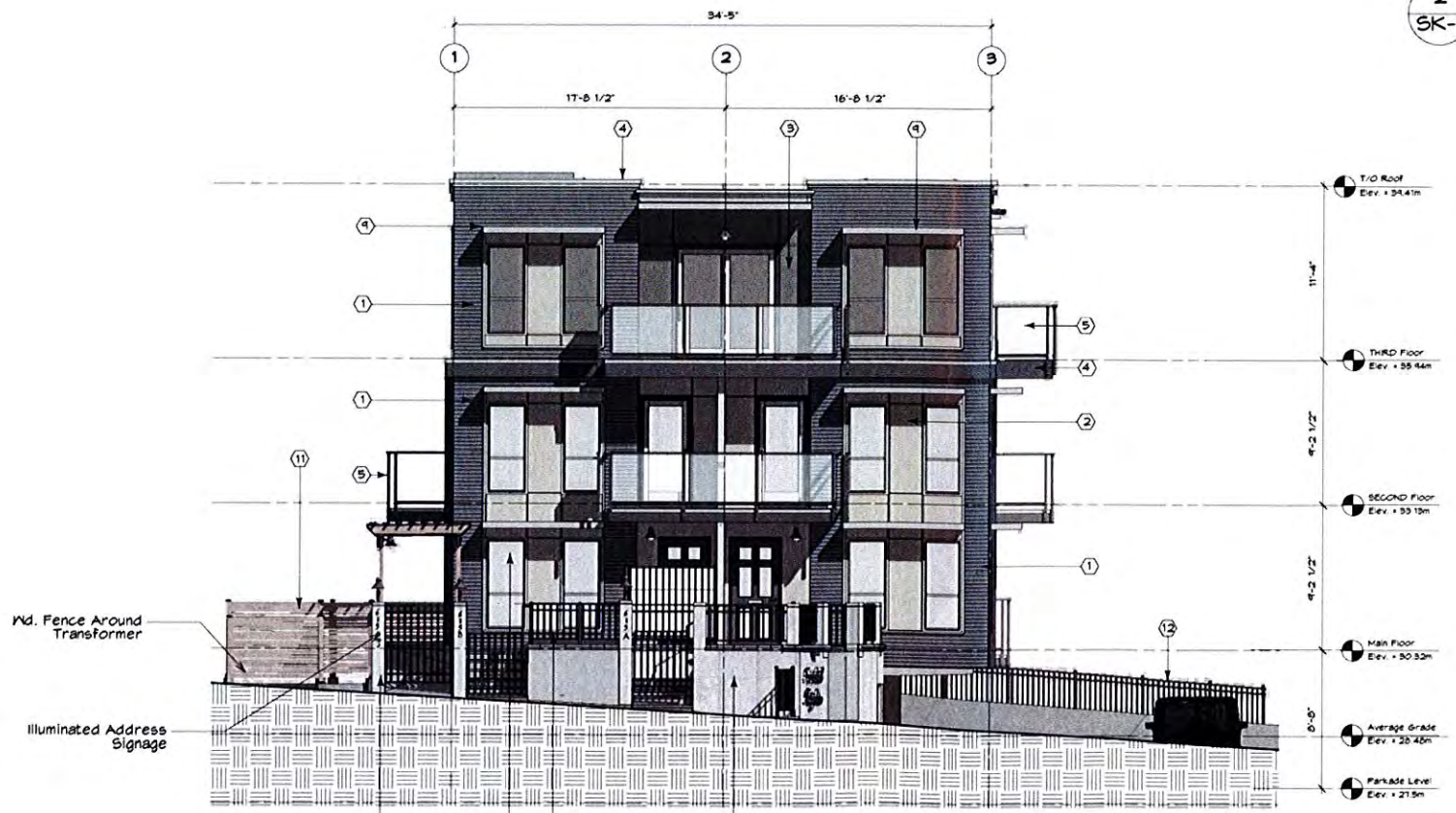
10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application
Section
Scale - As Noted
June 20th, 2017

SK-6

MJM Architect Inc
P.O. Box Vancouver Street, Victoria, B.C.
V8W 2V8
PH: (250) 681-5482 • FAX: (250) 681-5483

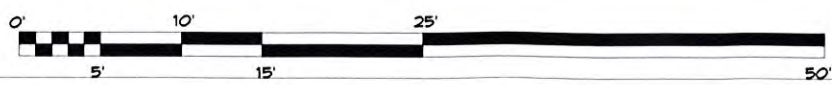


2 South Elevation
SK-7 Scale: 3/16" = 1'-0"



1 West Elevation
SK-7 Scale: 3/16" = 1'-0"

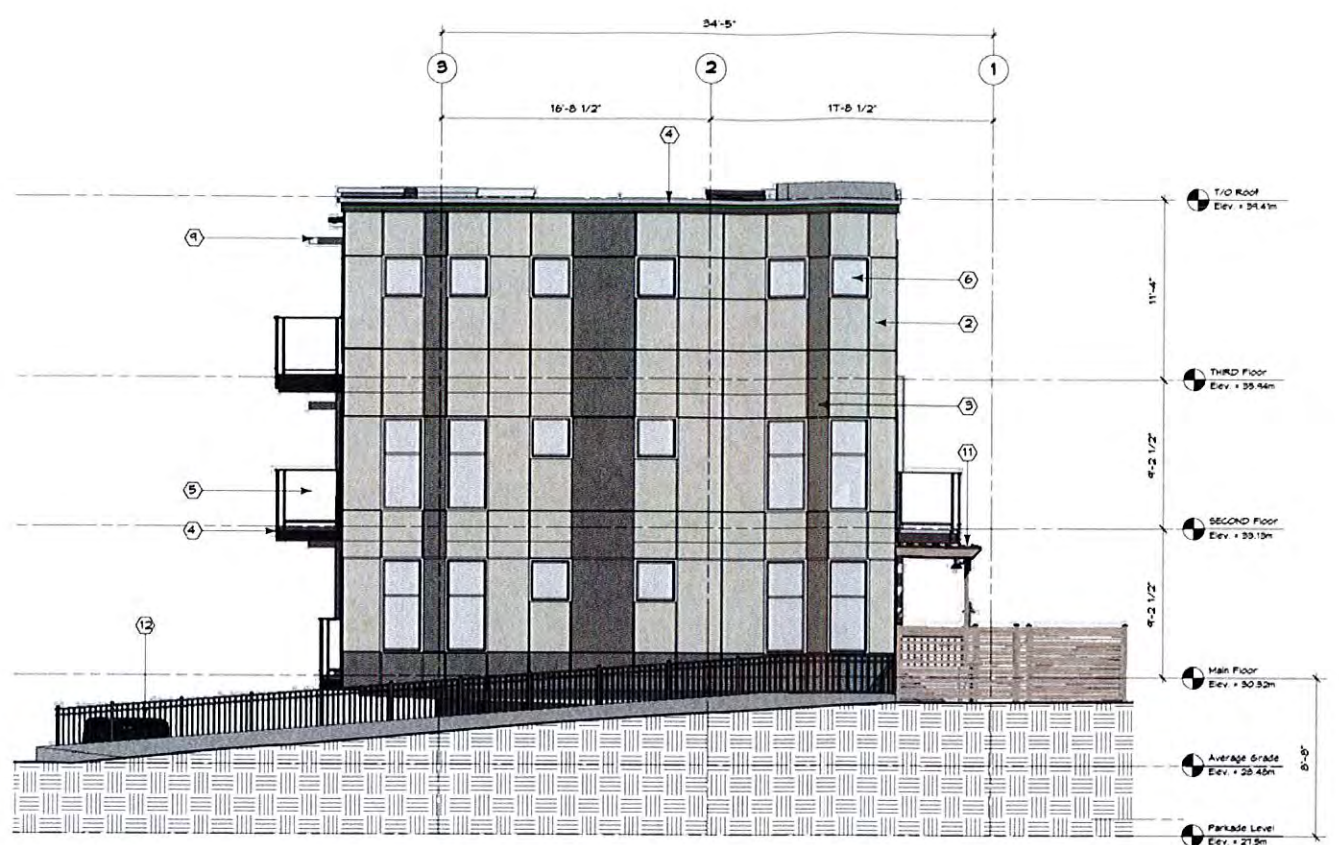
List of Materials Refer To Sheet SK-11	
①	1" x 4" Horiz. Fibre Cement Board Siding (Painted)
②	Fibre Cement Board Panels w/ Alum. Reveal Strips
③	Fibre Cement Board Panels w/ Alum. Reveal Strips
④	Paint Metal Flashing
⑤	Alum. Frame Guardrail w/ 3/8" Temp. Glass Balustrade
⑥	Dark Glazed Metal Clad Hood Windows & Doors
⑦	8" x 8" Alum. Skylight w/ Dbl. Thermo-pane Glazing
⑧	Vented Alum. Soffit
⑨	Alum. Framed Sunshade w/ 3/8" Thk. Tempered Safety Glass (Frosted)
⑩	Architectural Concrete
⑪	Wood Arbor/Fence
⑫	Aluminum Fence/Guardrail



10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application
South & West Elevations
Scale - As Noted
June 20th, 2017

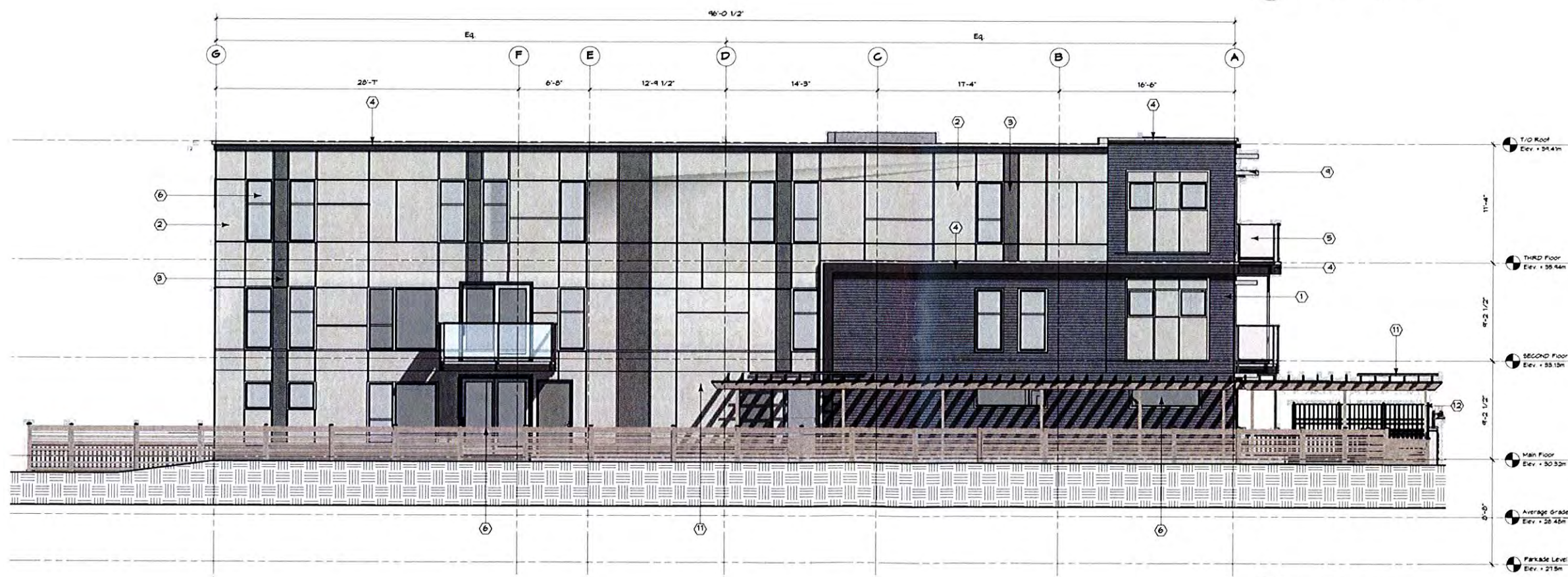
MJM Architect Inc.
#10, 828 Vancouver Street, Victoria, B.C.
V8V 2V8
p: (250) 881-5442 • m: (250) 881-5442

SK-7

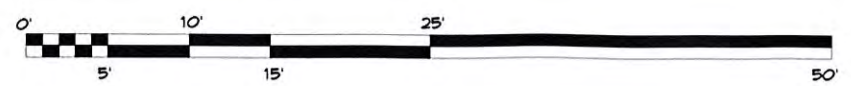


2 North Elevation
SK-8 Scale: 3/16" = 1'-0"

List of Materials Refer to sheet SK-11	
①	1" x 4" Horiz. Fibre Cement Board Siding (Painted)
②	Fibre Cement Board Panels w/ Alum. Reveal Strips Colour 1
③	Fibre Cement Board Panels w/ Alum. Reveal Strips Colour 2
④	Pre-Fin Metal Flashing
⑤	Alum. Frame Guardrail w/ 3/8" Temp. Glass Balustrade
⑥	Dbl. Glazed Metal Clad Hood Windows & Doors
⑦	5' x 6' Alum. Skylight w/ Dbl. Thermo-pane Glazing
⑧	Verted Alum. Soffit
⑨	Alum. Framed Sunshade w/ 3/8" Thk. Tempered Safety Glass (Frosted)
⑩	Architectural Concrete
⑪	Hood Arbour/Fence
⑫	Aluminum Fence/Guardrail



1 East Elevation
SK-8 Scale: 3/16" = 1'-0"



10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application

MJM Architect Inc.
410 800 Venise Street, Victoria, B.C.
V8V 2W4
ph: (250) 881-5482 • email: mjmoody@mjma.ca

Scale - As Noted
June 20th, 2017

SK-8



1 VIEW OF PROJECT FROM S.W.
 SK-9 Not To Scale

RECEIVED
 JUN 19 2013
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

10 Unit Apartment Development 615 Ferris Road, Esquimalt, B.C.	MJM Architect Inc
Rezoning Application	SK-9
Rendering-1 Scale - As Noted June 20th, 2017	410 Burr Williams Blvd, Victoria, B.C. V8V 2W6 ph: (250) 681-5482 f: mail: mjmoody@mjma.ca



1 VIEW FROM FERNHILL ROAD
SK-10 Not To Scale





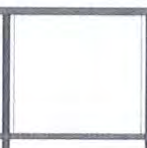



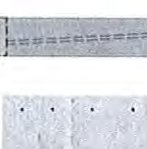





2 Detail At Entry Ramp
SK-10 Not To Scale



12 Unit Apartment Development 615 Fernhill Road, Esquimalt, B.C. Rezoning Application		MJM Architect Inc. #10 808 Vancouver Street, Victoria, B.C. V8T 2R6 ph: (250) 681-5402 • email: mjmadoc@shaw.ca
RENDERING Scale - As Noted June 20th, 2017	SK-10	

MATERIAL SAMPLE BOARD

	①	1" x 4" Horiz. Fibre Cement Board Siding (Painted)
	②	Fibre Cement Board Panels W/ Alum. Reveal Strips Colour 1
	③	Fibre Cement Board Panels W/ Alum. Reveal Strips Colour 2
	④	Pre-Fin. Metal Flashing
	⑤	Alum. Frame Guardrail W/ 3/8" Temp. Glass Balustrade
	⑥	Dbl. Glazed Metal Clad Wood Windows & Doors
	⑦	3' x 6' Alum. Skylight W/ Dbl. Thermo-pane Glazing
	⑧	Vented Alum. Soffit
	⑨	Alum. Framed Sunshade w/ 3/8" Thk. Tempered Safety Glass (Frosted)
	⑩	Architectural Concrete
	⑪	Wood Arbour/Fence
	⑫	Aluminum Fence/Guardrail



RECEIVED

NORTH JUN 19 2013
 COUNTY OF TOWNSHIP OF ESQUIMALT
 PLANNING SERVICES

RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES			
<i>Agave bromelioides</i>	Common Sider Maple	6m Tall	B&B
<i>Acer buergerianum</i>	Bladdered Japanese Maple	2.0M Tall	
<i>Acer palmatum</i>	Vine Maple	2.0M Tall	
<i>Fagus sylvatica</i>	Common Beech	4m Tall	B&B
<i>Juniperus horizontalis</i>	American Sweetsgum	7m Tall	B&B
SHRUBS & PERENNIALS			
<i>Buxus sempervirens</i>	Littleleaf Boxwood	2.5 Ft	
<i>Evonymus alatus</i>	English Hollyhedge	4 Ft	
<i>Euonymus alatus</i>	Spindle Tree	4 Ft	
<i>Hamamelis virginica</i>	Witch-hazel	1.5M Tall	
<i>Hydrangea macrophylla</i>	Big Leaf Hydrangea	8 Ft	
<i>Malva sylvestris</i>	Queen Elizabeth II	4 Ft	
<i>Monarda mollis</i>	Red Spotted Coneflower	4 Ft	
<i>Magnolia</i>	Purple Magnolia	4 Ft	
<i>Penstemon digitalis</i>	Little Bluestem	2.5 Ft	
<i>Phlox paniculata</i>	Phlox	2.5 Ft	
<i>Rosa rugosa</i>	Rose	2.5 Ft	
<i>Rosa rugosa</i>	Rose	2.5 Ft	
<i>Rosa rugosa</i>	Rose	2.5 Ft	
<i>Rosa rugosa</i>	Rose	2.5 Ft	
<i>Rosa rugosa</i>	Rose	2.5 Ft	
PLANS & GROUNDCOVER			
<i>Alchemilla mollis</i>	Alchemilla	SP3	
<i>Thymus praecox</i>	Woolly Thyme	SP3	
<i>Parthenocissus vitacea</i>	Boston Ivy	2.5 Ft	Stocked

LEGEND

HARDSCAPE FINISHES:

- PP2: Concrete
- PP3: Permeable paving

SOFTSCAPE:

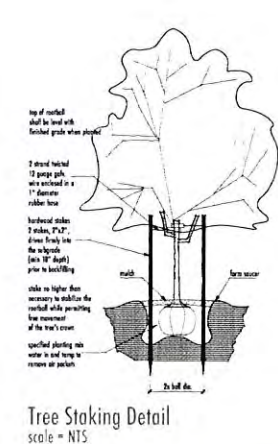
- Tree
- Planting

MISCELLANEOUS:

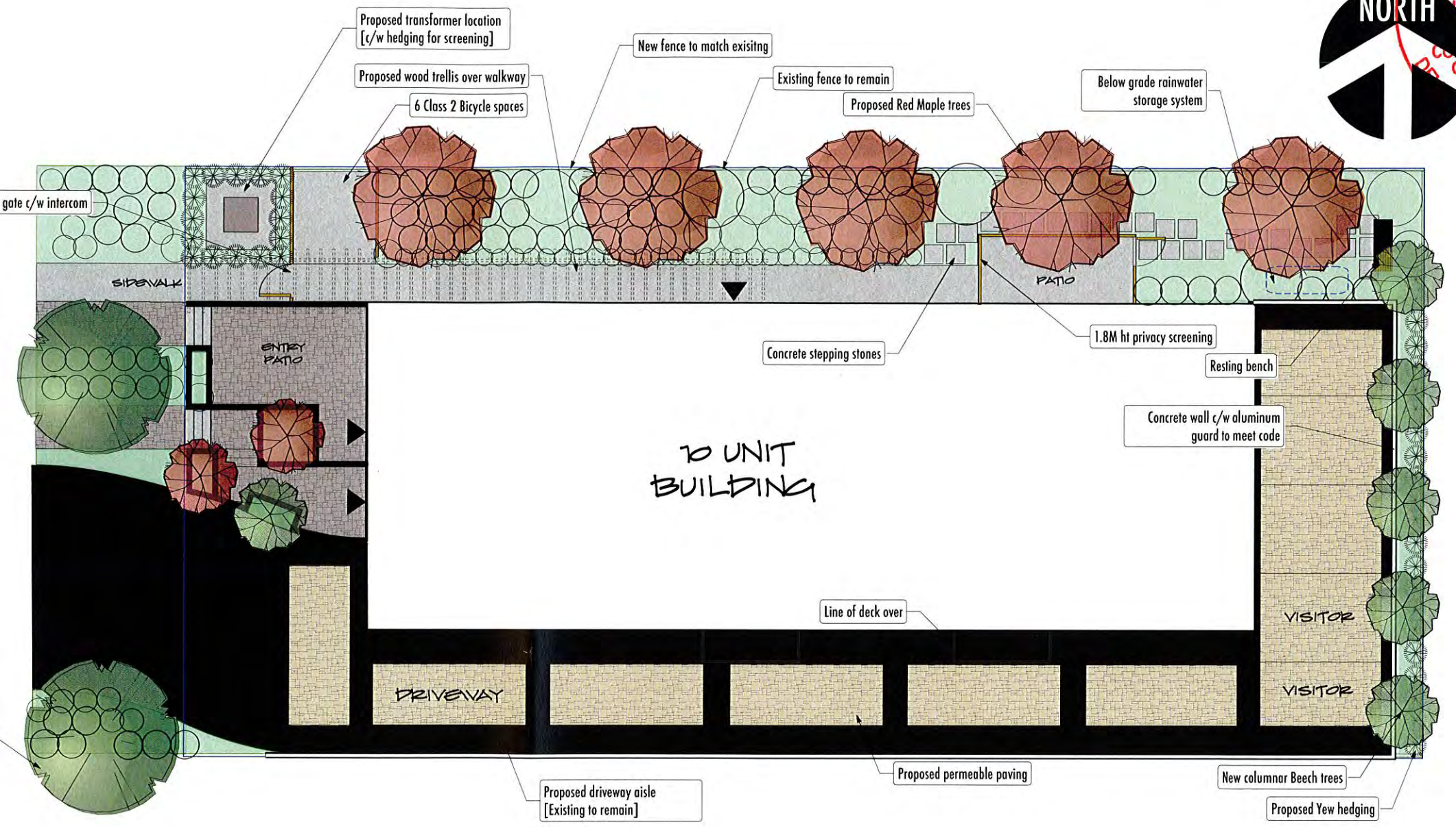
- Line of deck over

NOTES

1. All planting materials shall be delivered to site by the contractor.
2. All trees shall be staked and supported in accordance with the tree staking detail.
3. All trees shall be watered and mulched in accordance with the tree staking detail.
4. All trees shall be protected from damage during construction.
5. All trees shall be inspected and approved by the contractor.
6. All trees shall be replaced if damaged or lost.
7. All trees shall be maintained until the contractor is satisfied.
8. All trees shall be protected from damage during construction.
9. All trees shall be inspected and approved by the contractor.
10. All trees shall be replaced if damaged or lost.
11. All trees shall be maintained until the contractor is satisfied.



FERNHILL ROAD



LANDSCAPE PLAN
 scale = 1:75

SKL.01
 24.JULY.2017
 1:75
 LATEST REVISION:

615 FERNHILL ROAD
 LANDSCAPE LAYOUT



10 UNIT APARTMENT DEVELOPMENT DEVELOPMENT :: 615 FERNHILL ROAD :: SKL.01 :: landscape layout ::



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: August 8, 2018

STAFF REPORT

DATE: August 4, 2018

TO: Chair and Members of the Design Review Committee

FROM: Alex Tang, Planner
Bill Brown, Director of Development Services

SUBJECT: **Development Permit Application**
669 Constance Avenue
[PID 030-431-026 Lot 1, Suburban Lots 43 and 44, Esquimalt District,
Plan EPP76107]

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a Development Permit authorizing the form and character of the proposed development of a 83 unit residential apartment building consistent with the architectural plans provided by Lang Wilson Practice in Architecture Culture Inc., the landscape plan by Lombard North Group Inc., and sited in accordance with the McElhanney Consulting Services Ltd., all stamped "Received July 24, 2018", to be located at PID 030-431-026 Lot 1, Suburban Lots 43 and 44, Esquimalt District, Plan EPP76107 [669 Constance Avenue] be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application:

The applicant is proposing to build a 12 storey, mass timber, 83 unit, multiple family, prefabricated, residential building. Comprehensive Development District No. 107 of Esquimalt Zoning Bylaw 1992, No. 2050 has been written to govern this development.

This site is located within Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 6 – Multi-Family Residential, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, and Development Permit Area No. 8 – Water Conservation. A Development Permit is required to ensure that the application is generally consistent with the Development Permit Area guidelines contained within the Esquimalt Official Community Plan Bylaw, 2018, No.2922. The development permit is required prior to a building permit being issued for the construction of a structure.

Evaluation of this application should focus on issues respecting the form and character of the development, including landscaping, exterior design and finish of the buildings and other structures in relation to the relevant design guidelines. In addition, evaluation should focus on natural environment protection, energy conservation, greenhouse gas reduction, and water conservation in relation to the relevant development permit area guidelines.

Context

Applicant: StandingStone Developments [Casey O’Byrne and Troy Grant]
Owner: StandingStone Developments Ltd., Inc. No. BC0776378
Architect: Lang Wilson Practice in Architecture Inc.
Property Size: Metric: 1933 m² Imperial: 20,800 ft²
Existing Land Use: 5 unit Multiple Family Apartment
 Duplex
 Vacant Land

Surrounding Land Uses:

North: Department of National Defence Lands
 South: Multiple Family Residential
 West: Department of National Defence Lands
 East: Single Family/Two Family Residential
Existing OCP Designation: High Density Residential [No change required]
Zoning: CD No. 107 [Comprehensive Development District No.107]

Zoning

Density, Lot Coverage, Height and Setbacks: The following chart details the floor area ratios, lot coverage, setbacks, height, parking requirements, and usable open space of this proposal.

	CD No.107 Zone
Units	83
Floor Area Ratio	3.0
Lot Coverage	87% / 55% above 2 nd storey
Setbacks	
• Front (Constance Ave)	0.8 m
• Rear (Admirals Road)	3.1 m
• Interior Side [North]	1.5 m
• Interior Side [South]	2.7 m
Building Height	36 m
Off Street Parking	83 spaces

Official Community Plan

This site is located within Development Permit Area No. 1 – Natural Environment, Development Permit Area No. 6 – Multi-Family Residential, Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction, and Development Permit Area No. 8 – Water Conservation. The guidelines of these Development Permit Areas are contained within the Esquimalt Official Community Plan Bylaw, 2018, No.2922.

The following is a list of Official Community Plan guidelines to consider in evaluating this application.

Development Permit Area No.1 is designated for the purpose of establishing objectives for the protection of the natural environment, its ecosystems and biological diversity.

OCP Section 18.5.2 Natural Features

Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
3. Preservation of natural topography is favoured over blasting or building of retaining walls.
5. Design new development and landscaping to frame rather than block public views.

OCP Section 18.5.3 Biodiversity

Landscaping features that will protect, restore and enhance biodiversity. Where feasible:

1. New landscaping shall consist predominantly of native plant and tree species. Plants that are native to the Coastal Douglas-fir biogeoclimatic zone are preferred in landscape treatments as they provide habitat for threatened indigenous flora and fauna. Drought tolerant plants native to western North America, that are known to be non-invasive, are a good alternative choice for landscaped areas.
2. In residential locations plan for 'nature out front'; for new landscaping in front and exterior side yards use a variety of site-appropriate, native species; thereby contributing positively to pedestrian friendly urban streets, future greenways and habitat enhanced corridors.
3. Choose trees and plants for site conditions; consider shade, sunlight, heat, wind-exposure, sea spray tolerance, and year round moisture requirements in their placement.
4. Consider the habitat and food needs of birds, pollinators, and humans in tree and plant species selection and placement; native plantings and food gardens compliment each other.
8. Avoid using fast-growing non-native plants to cover and retain soils as they may become invasive and a constraint to the establishment of other plants.
10. Design retaining wall spacing and landscape planting areas of sufficient width and depth to support plantings.

OCP Section 18.5.4 Natural Environment

Measures to protect, restore and enhance the natural environment (limit noise, light and air pollution). Where it is reasonable:

1. Strategically locate leafy trees/ hedges and water features to mask urban noises such as traffic, garbage collection and delivery locations. Consider that leafy rough barked trees, vine covered walls and natural ground cover materials (mulch, soil) will help dampen urban noise.
4. Place trees and vegetation near sources of air pollution including busy roadways, to assist in reduction of air pollution through the collection of particulate matter on leaves and needles, and absorption of toxic gases, including but not limited to: ozone, nitrogen dioxide, sulfur dioxide, carbon monoxide, carbon dioxide, cadmium, chromium, nickel and lead.

Development Permit Area No.6 is designated for the purpose of establishing objectives for the

form and character of multi-family residential development.

OCP Section 23.5 Multi-Family Residential Guidelines

2. New buildings should be designed and sited to minimize visual intrusion on to the privacy of surrounding homes and minimize the casting of shadows on to the private outdoor space of adjacent residential units.
4. Landscaping should emphasize the creation of an attractive streetscape, as well as to provide privacy between individual buildings and dwellings, screen parking areas and break up large expanses of paving.
9. Retention and protection of trees and the natural habitat is encouraged wherever possible.
11. Site lighting should provide personal safety for residents and visitors and be of the type that reduces glare and does not cause the spillover of light on to adjacent residential sites.
18. Wherever possible, outdoor storage and parking areas should be screened from view.

Development Permit Area No.7 is designated for the purposes of energy conservation and greenhouse gas reduction.

OCP Section 24.5.1 Siting of buildings and structures

Where it is feasible:

4. Provide space for pleasant pedestrian pathways between buildings.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.
9. In residential neighbourhoods, provide space for larger trees and a second row of street trees as this will enhance the pedestrian experience by lowering wind velocity at street level reducing excessive heating at ground level and absorbing vehicle and other urban noises.

OCP Section 24.5.2 Form and exterior design of buildings and structures

Where it is feasible:

3. Place more windows on the south side of buildings to increase solar gain, and fewer/smaller windows on the north side to minimize heat loss.
4. Use roof over-hangs, fixed-fins or other solar shading devices on south and west facing windows to reduce peak summer heat gain while enabling sunlight penetration in winter months.
5. Install adjustable overhangs above windows that can help control the amount of sun exposure in warmer months thereby reducing the need for cooling.
7. Skylights are discouraged as they decrease insulating values and can interfere with solar panel installation.
8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.
9. Install greenhouses for growing food on rooftops where neighbourhood privacy and light intrusion concerns are mitigated.
10. Avoid heavily tinted windows or reflective glass which will diminish the natural daylighting of interior spaces, thereby requiring increased energy requirements for interior lighting.

OCP Section 24.5.3 Landscaping

Where it is feasible:

2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.
4. Use deciduous trees for landscaping along southern exposures, as they provide shade in the summer and allow more sunlight through in the winter months.
5. Strategically place taller trees and vegetation on the south and west sides of buildings where there is more direct sun exposure.
6. Strategically place coniferous trees such that they can buffer winter winds.
7. As context and space allow, plant trees that will attain a greater mature size, for greater carbon storage; removal of healthy trees is discouraged as the loss of the ecosystem services provided by larger trees will take many years to recover.
8. Plant trees with a larger canopy cover along roadways and sidewalks, thereby providing shading of paved areas, lowering the heating of paved surfaces and reducing the wind velocities in these pedestrian areas.
9. Plant shorter and sturdier vegetation closer to buildings and other structures, and taller vegetation further away to avoid potential damage from strong winds blowing vegetation against buildings.
11. For parking areas and along boulevard/sidewalk edges; plant trees to provide shade, store carbon and reduce the heat island effect.

OCP Section 24.5.4 Machinery, equipment and systems external to buildings and other structures

Where it is feasible:

2. Use heat pumps, solar panels, green (living) roofing or an innovative system to improve a building's energy performance.
3. Use durable, vandalism and graffiti resistant materials where neighbourhood surveillance may be limited.
4. Design for on-site heat recovery and re-use of water.

OCP Section 24.5.5. Special Features

Where it is feasible:

1. Select building materials that have been shown to have a high level of durability for the use intended.
2. Use wood for construction as a means to sequester carbon dioxide – North American grown and sustainably harvested wood is preferable for building construction.
3. Select local and regionally manufactured building products whenever possible to reduce transportation energy costs.
4. Reuse of existing buildings and building materials is encouraged.
5. Choose materials that have a high likelihood of reuse or recycling at end of life.

Development Permit Area No.8 is designated for the purpose of water conservation.

OCP Section 25.5.1 Building and Landscape Design

Where it is feasible:

1. Reduce the burden on built stormwater infrastructure by designing on-site retention systems to retain the first three centimetres of stormwater on site, per precipitation event.
2. Provide space for absorbent landscaping, including significantly sized trees on the site and by not allowing underground parking structures to extend beyond building walls.
3. Incorporate rainwater collection systems into roof design; consider using living roofs and walls as part of a rainwater collection system.
4. Incorporate rain gardens into landscaping and direct rainwater towards vegetated areas.
5. Intersperse paved surfaces with drought resistant vegetation that will provide shade on those surfaces and design the paved surfaces to drain into the vegetation.
6. Design landscaping with more planted and pervious surfaces than solid surfaces.

OCP Section 25.5.2 Landscaping – Select Plantings for Site and Local Conditions

Where it is feasible:

1. Retain existing native trees vegetation, and soil on site.
2. Plant species native to the Coastal Douglas-fir biogeoclimatic zone, as they are most suited to our climate and require little additional irrigation once established.
3. Consider shade, sunlight, heat, wind-exposure and sea spray, as well as water needs in the selection and placement of plant species.
4. Group plants with similar water needs into hydro-zones.

OCP Section 25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Use pervious landscaping materials to enhance stormwater infiltration; permeable paving is preferable for surface parking areas.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.
4. Locate civil servicing lines along driveways and other paved areas, to lessen the disturbance of natural soils and loss of their natural absorption qualities.
5. Use good quality top soil and compost for the finish grading of disturbed areas to contribute to the water holding capacity of newly landscaped areas.
6. Choose bark mulches or woodchips for walking paths for enhanced absorption.
7. Plant at densities that will ensure vegetated areas have 100% plant canopy coverage after two full growing seasons. Consider that understory native plants are adapted to local climates, absorb seasonal soil moisture and reduce compaction due to foot traffic.

OCP Section 25.5.4 Landscaping – Water Features and Irrigation Systems

Where it is feasible:

1. Use automated high efficiency irrigation systems where irrigation is required.
2. Incorporate stormwater retention features into irrigation system design.
3. Use recirculated water systems for water features such as pools and fountains.
4. Install plantings and irrigation systems to the Canadian Landscape Standard.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Comments From Other Departments

The plans for this proposal were circulated to other departments and the following comments were received:

Building Inspection: Building to be constructed to requirements of BC Building Code 2012 and Municipal Building Code Bylaw, 2002, No. 2538. Applicant must address all issues contained within the Township Development Protocol should application be approved. Plans will be reviewed for compliance with BC Building Code upon submission of a Building Permit application.

After discussion with Township management and knowledgeable third parties, it has been determined that the applicant would be required to secure site specific building code regulations for this proposal to be constructed.

Engineering Services: Engineering staff has completed a preliminary evaluation of Works and Services that would be required for the 83 unit multiple family residential building proposed to be located at 669 Constance Avenue. Staff confirms that the design appears achievable on the site and that appropriate works and services are available in the immediate area. If approved, the development must be serviced with bylaw requirements including, but not limited to, new sewer and drain connections, underground hydro, telephone and cable services, and new road works up to the centre line of both Constance Avenue and Admirals Road.

Staff recommends that the applicant complete a sewer capacity study to determine whether the existing sewer network can handle the increased sewer flow generated by the proposed development.

Should the application be approved, additional comments will be provided when detailed engineering drawings are submitted as part of a Building Permit application.

Parks Services: Tree removal permits shall be required for their removal and either appropriate funds or installation of not less than five appropriately sized replacement trees.

Fire Services: Fire Services staff has completed a preliminary review of the proposal and recommends that the applicant provide a comprehensive Building Code and Fire Code review report. Staff wants to ensure adequate access to the building in the event of an emergency by necessitating unimpeded aerial access to the north, west, and east faces of the building. Accordingly, Fire Services staff recommends to Council that approval of this development be subject to the developer agreeing to redirect overhead hydro lines abutting the site, as well as those immediately to the north of the subject properties, underground to avoid conflicts. Additionally, given the size of the building, Fire Services staff recommends that approval of this project also be conditional upon the provision of public realm fire hydrants on both the Constance Avenue and Admirals Road frontages to ensure access to adequate water supply in the event of a fire. Development Services staff have addressed these issues with the applicant, who has voluntarily offered to include these provisions in a Section 219 covenant registered on the property title in support of adoption of the proposed rezoning. Fire Services Staff has also stated that the power lines must be buried previous to the start of construction of combustible material above grade.

Comments from the Design Review Committee [DRC]

This rezoning application was considered at the regular meeting of the DRC held on November 8, 2017.

Members' comments were mixed, with some members indicating support for the passive house certification and innovative approach to building design while others stated concerns regarding the reduced setbacks, overall mass, height and lot coverage of the building. A member stated that the building fails to respect the scale of the built environment in the local area; however, members also noted that the OCP designates this area for significant densification.

The DRC recommended to Council that the application be amended and presented again to the Design Review Committee with a focus on addressing the following:

1. Consider increasing setbacks;
2. Consider reducing lot coverage;
3. Consider reducing the proximity to adjacent neighbouring properties; and
4. Consider reducing the proximity to the public realm.

The reason: The proposal as presented raises a number of concerns as identified in the motion.

Comments from the Advisory Planning Commission [APC]

This rezoning application was considered at the regular meeting of the APC held on November 28, 2017.

Members' comments were generally positive, noting that this proposal would be a great improvement at the north end of Constance Avenue. Members expressed concerns with the relationship between the proposed building and Admirals Road stating that it is a tall mass very close to Admirals Road. Other members elaborated on this theme stating the face of the building looks monolithic and imposing. They would like to see a revamped design of the façade to make the building look less institutional. Members questioned staff regarding the Township's ability to ensure Passive House Certification. Staff assured that tools are available to achieve this requirement. Members requested clarification on how the building would be approved from a building code perspective. They were advised that either an "alternative solutions" approach or a site specific Building Code requirement approach could be applied.

The APC recommended to Council that the application be forwarded to Council with a recommendation for approval as the proposed number of parking spaces are reasonable and the setback relaxations are reasonable given the irregular shape of the parcel and the context of the location.

Applicant's Response to DRC and APC

In response to the recommendations and comments received from both the DRC and APC, the applicant's design team revised the project plans in an effort to address the identified concerns. An amended set of architectural plans, stamped "Received December 7, 2017", was presented to staff with the applicant requesting the amendments be forwarded to the DRC for reconsideration. Specific changes identified by the applicant include the following:

- Breaking down the building mass into more legible 'mini-towers'
- Breaking down the 'mini-towers' into scales of 2-3 floors with recessed floors in between
- Squaring off the eastern most mini tower to create a negative corner on the Admirals façade in an attempt to mitigate the impact of the front façade
- Setting back the lobby at the northeast corner to relieve pressure on the sidewalk
- Add a grove of trees at the northeast corner
- Terracing the southeast mini tower towards Admirals in order to create a greater setback

- Update to the walkways
- Amended lobby design resulting in a substantially increased setback from Admirals Road at grade
- Amended massing of the building towards Admirals Road

Comments from the Design Review Committee [Second Review]

This rezoning application was considered at the regular meeting of the DRC held on December 13, 2017.

Members' comments included the following:

- The changes improved the project significantly.
- Concerns that the design does not comply with the Official Community Plan policy stating that buildings with shallow setbacks must step down to no more than three storeys at street level in order to provide an appropriate human scale along the sidewalk
- Concerns about the fit of the development for the current community in that the proposal is not responding to the character of the existing neighbourhood
- Concerns were raised regarding the building wall on Admirals Road as the building appears to turn its back on the community
- Suggestion that the building be reoriented to face the other way to embrace the community. If the building was reoriented, it would change the height profile by having the highest component at the low end of the slope and the shorter component at the high end of the slope
- Endorsement of the current design as appropriate as the building was designed as a gateway element
- Concern the building seems adult oriented as there is nothing there for small children
- Concerns regarding the size of the parking spaces and their functionality
- Statement that 'Market affordability' is an oxymoron, as there is no such thing as market affordable housing; rather, this is market housing for Esquimalt. The applicant clarified that they are targeting people who earn \$68,000.00 to \$72,000.00 per year.
- Concerns expressed with the south elevation, particularly the large staircase and the exposed walkways including a statement that this 12 storey building will look extremely hard and uncomfortable in terms of its fit and design aesthetics
- Questioned the feasibility of the project as a 6 storey building instead of the proposed 12 storey building

The DRC forwarded the application to Council for consideration with the understanding that the Design Review Committee wants to bring to Council's attention that the project does not comply with the Official Community Plan step back guidelines.

The Reason: The design as presented has a street wall on Admirals Road that is too high.

ALTERNATIVES:

1. Forward the application for Development Permit to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Development Permit to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Development Permit to Council with a **recommendation of denial including reasons for the recommendation.**



Woodway Rd

Constance Ave

Admirals Rd

1265

667

665

663

659

669

665

665

656

1312

1300

Subject Property Map:
669 Constance Avenue



Naden Way

Woodway Rd

Constance Ave

Admirals Rd

Astle St





GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services at 250.414.7108** for clarification.

**New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

1	Are you building to a recognized green building standard? If yes, to what program and level? <u>We will be constructing to achieve the Passive Home Standard.</u>	Yes ✓	No
2	If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? <u>We are constructing to a Passive Home standard and have brought RDH Building Science to ensure we are achieving it.</u>	Yes	No
3	Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them. <u>Rainscreen, High Insulation, Triple Glazing</u>	Yes ✓	No
4	What percentage of the existing building[s], if any, will be incorporated into the new building?	<u>0</u>	%
5	Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. <u>Prefabricated Mass-timber Construction sourced primarily in BC.</u>		
6	Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? <u>We will be using modular construction techniques in order to reduce waste and utilize recycled products where possible</u>	Yes ✓	No
7	Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? <u>We will be using an engineered wood product.</u> For which parts of the building (e.g. framing, roof, sheathing etc.)? <u>Framing and Roofing.</u>		
8	Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. _____	Yes	No ✓
9	List any products you are proposing that are produced using lower energy levels in manufacturing. <u>Wood</u>		
10	Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? <u>Our project will be utilize recycled materials where we can.</u>	Yes ✓	No
11	Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?	Yes	No ✓

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? N/A	Yes	No
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements? N/A	Yes	No
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements? Toilets will exceed the BC BC requirements.	Yes ✓	No
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? Faucets will exceed the BC BC requirements.	Yes ✓	No
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?	Yes ✓	No

Storm Water

17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	No	N/A ✓
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?	Yes ✓	No	N/A
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____	Yes ✓	No	N/A
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	Yes ✓	No	N/A
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____	Yes ✓	No	N/A
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes ✓	No	N/A
23	What percentage of the site will be maintained as naturally permeable surfaces? Please refer to the Landscape Arhitectural plans			_____%

Waste water

24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____	Yes ✓	No	N/A
----	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------	----	-----

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species? Please refer to the Landscape Arhitectural plans	Yes	No	N/A
	Could your site design be altered to save these trees?	✓		
	Have you consulted with our Parks Department regarding their removal?			

26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? <u>Please refer to the Landscape Architectural plans</u>	Yes	No	N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds?	Yes	No	N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. <u>Please refer to the Landscape Architectural plans</u>	Yes	No	N/A
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island?	Yes	No	N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	Yes	No	N/A
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	Yes	No	N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property?	Yes	No	N/A
33	Will topsoil will be protected and reused on the site? <u>Please refer to the Landscape Architectural plans</u>	Yes	No	N/A

Energy Efficiency

Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.

34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? <u>Passive House Certification.</u>	Yes	No	N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting?	Yes	No	N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? <u>100%</u> <small>100% of living and bedroom spaces will be illuminated by sunlight.</small>	Yes	No	N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. <u>We are certainly exploring these options.</u> If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____	Yes	No	N/A
38	Has the building been designed to be solar ready?	Yes	No	N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	Yes	No	N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards? <u>Triple glazed in order to achieve Passive Home standards.</u>	Yes	No	N/A
41	Are energy efficient appliances being installed in this project? If so, please describe.	Yes	No	N/A
42	Will high efficiency light fixtures be used in this project? If so, please describe.	Yes	No	N/A
43	Will building occupants have control over thermal, ventilation and light levels?	Yes	No	N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	Yes	No	N/A
45	Will underground parking areas have automatic lighting?	Yes	No	N/A

Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	Yes ✓	No	N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. _____	Yes	No	N/A
48	Will the building have windows that occupants can open?	Yes ✓	No	N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	Yes ✓	No	N/A
50	Will fresh air intakes be located away from air pollution sources?	Yes ✓	No	N/A

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>Please refer to the HazMat Building report in the drop box.</u>	Yes ✓	No	N/A
52	Will materials be recycled during the construction phase? If so, please describe. <u>This project will be built using advanced offsite construction systems and techniques which will ultimately reduce waste.</u>	Yes	No ✓	N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	Yes ✓	No	N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes	No	N/A ✓

Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	Yes ✓	No	N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes	No	N/A ✓
57	Is access provided for those with assisted mobility devices?	Yes ✓	No	N/A
58	Are accessible bike racks provided for visitors?	Yes ✓	No	N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	Yes ✓	No	N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input checked="" type="checkbox"/> plug-ins for electric vehicles			

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.

A0 GENERAL	A1 PLANS	A3 SECTIONS	A4 ELEVATIONS	A5 ENLARGED PLANS		
A00.00 COVER PAGE + DRAWING LIST	A01.01 P3 PARKING	A03.01 WEST EAST SECTION THRU RAMP	A04.01 EAST ELEVATION	A05.03 L1 WEST	A05.20 L10 EAST	
0364-V-2 SURVEY	A01.02 P2 PARKING	A03.02 NORTH SOUTH SECTION	A04.02 NORTH ELEVATION	A05.04 L2 WEST	A05.21 L11 EAST	
P1 LANDSCAPE	A01.03 P1 PARKING		A04.03 WEST ELEVATION	A05.05 L2 EAST	A05.22 L12 EAST	
P2 LANDSCAPE	A01.04 MEZZANINE FLOOR PLAN		A04.04 SOUTH ELEVATION	A05.06 L3 EAST		
P3 LANDSCAPE	A01.05 L1 FLOOR PLAN			A05.07 L3 WEST		
A00.01.1 VISUALIZATIONS	A01.06 L2 FLOOR PLAN			A05.08 L4 WEST		
A00.01.2 VISUALIZATIONS	A01.07 L3 FLOOR PLAN			A05.09 L4 EAST		
A00.01.3 VISUALIZATIONS	A01.08 L4 FLOOR PLAN			A05.10 L5 WEST		
A00.01.4 VISUALIZATIONS	A01.09 L5 FLOOR PLAN			A05.11 L5 EAST		
A00.02 PROJECT DATA + RATIONALE	A01.10 L6 FLOOR PLAN			A05.12 L6 WEST		
A00.05 CONTEXT MAP	A01.11 L7 FLOOR PLAN			A05.13 L6 EAST		
A00.06 GRIDLINES	A01.12 L8 FLOOR PLAN			A05.14 L7 WEST		
A00.08 SITE PLAN	A01.13 L9 FLOOR PLAN			A05.15 L7 EAST		
	A01.14 L10 FLOOR PLAN			A05.16 L8 WEST		
	A01.15 L11 FLOOR PLAN			A05.17 L8 EAST		
	A01.16 L12 FLOOR PLAN			A05.18 L9 WEST		
	A01.16 ROOF PLAN			A05.19 L9 EAST		

July 24, 2018
 THE CONCEPTS, DESIGNS AND DRAWINGS ARE THE EXCLUSIVE PROPERTY OF LANG WILSON PRACTICE IN ARCHITECTURE CULTURE INC. AND HAVE BEEN PRODUCED SOLELY FOR THE PURPOSE OF THE DEVELOPMENT PERMIT APPLICATION FOR CORVETTE LANDING. THEY CANNOT BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



Client:
Standing Stone Developments Ltd.
 1000 10th Ave NW
 Edmonton AB, T5J 0S2
 Email: standingstone@standingstone.com
 Phone: 780.333.8337 (Tty)l

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect ABC
 1111 West 3rd Avenue
 Vancouver, BC V6K 4M6, Canada
 Email: oliver@lwpac.net
 Phone: 604.272.7000

Structural
 Equilibrium Consulting Inc.
 Robert MacKay
 202-388 West 45th Avenue
 Vancouver, BC V5K 5Y2
 Email: rmac@equilibrium.ca
 Phone: +1 604 250 1422

Building Envelope/PH
 4DM Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V5K 1K5
 Email: gfinch@4dm.com
 Phone: 604 675 1181 x 251

Building Code
 SNC CONSULTANTS LTD
 Andrew Harnsworth
 408 Granville Street, Suite 1000
 Vancouver, BC V6C 1T2
 Email: andrew@snc.ca
 Phone: 604.681.8443

Civil Engineer
 McElroy Consulting Services Ltd.
 Nathan Durrup
 Suite 500, 1160 Quadra Street
 Victoria BC V8W 4G3
 Email: n.durrup@mcelroy.com
 Phone: 250 745 7477

Landscape Architect
 Lombard North Group (L.N.G.) Inc.
 James Fackler
 828 Glenholme Street
 Victoria, B.C. V8W 1R1
 Email: james@lombard.ca
 Phone: 250 388 3336

Geotechnical Engineer
 Geopacific Consultants
 Matt Wilson
 1776 W 75th Avenue
 Vancouver, BC V6K 4R2
 Email: matt@geopacific.ca
 Phone: 604-439-0422 ext. 225

Traffic
 Burn & Associates
 Simon Burn
 Suite 401, 605 Fort Street
 Victoria, BC V8W 1G2
 Email: sburn@burneng.com
 Phone: 250 392 8122

Electrical
 ASD
 Brad Gu-Ping
 1330 Granville St.
 Vancouver, BC V6Z 1M7
 Phone: 604 695 2714
 Email: brad@asdgene.com

Mechanical
 AVE Group
 Kevin Lee
 1020 8th Street West
 Vancouver, BC V6P 2V4
 Email: kevin@avegroup.ca
 Phone: 604 684 3295



Not for Construction
 All dimensions to be verified on site

10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	RESPONDING APPLICATION
8	Dec 22, 2017	RESPONDING APPLICATION
7		ADDITIONAL MATERIAL
6		ADDITIONAL MATERIAL
5		ADDITIONAL MATERIAL
4		ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or for any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between the drawing and the field. Corrected documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 699 Constance Avenue, Constance Avenue,
 218, 401-413 Ardmore Road,
 Haysman BC, V1A 4A9
 4840 Lot Description:
 P.J.S. 0042465
 Lot 1
 2018 07 15 003

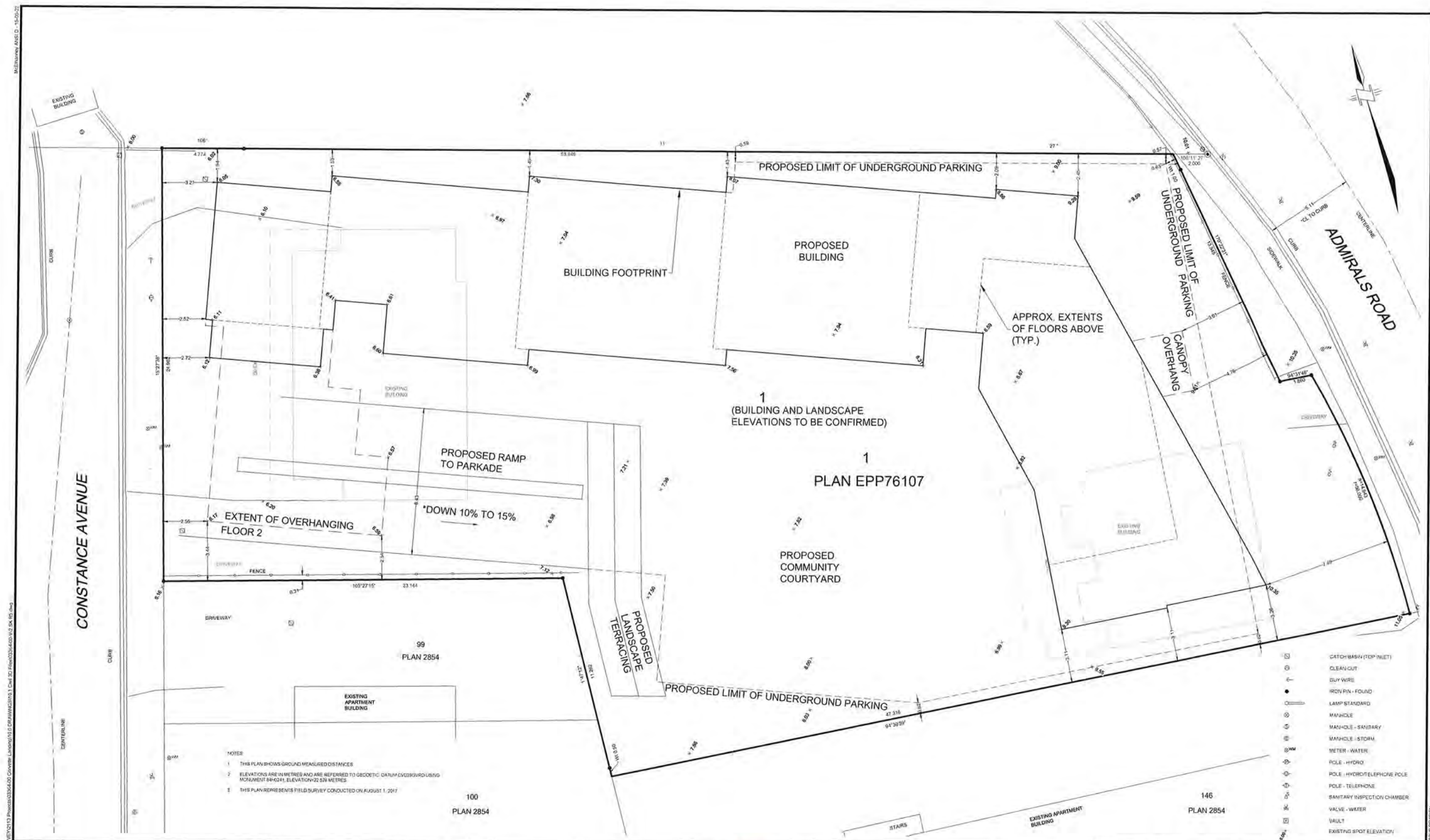


A00.00

Title:
 Cover Page

Scale: File: CL_00

Date: 2018 07 24 DWG:
 Drawn: Author Revision:
 Reviewed: CL Revision:



- CATCH BASIN (TOP INLET)
- CLEAN-OUT
- GUY WIRE
- IRON PIN - FOUND
- LAMP STANDARD
- MANHOLE
- MANHOLE - SANITARY
- MANHOLE - STORM
- METER - WATER
- POLE - HYDRO
- POLE - HYDRO/TELEPHONE POLE
- POLE - TELEPHONE
- SANITARY INSPECTION CHAMBER
- VALVE - WATER
- VAULT
- EXISTING SPOT ELEVATION

NOTES
 1 THIS PLAN SHOWS GROUND MEASURED DISTANCES
 2 ELEVATIONS ARE IN METRES AND ARE REFERRED TO GEODETIC DATUM CANADIAN 1987
 3 THIS PLAN REPRESENTS FIELD SURVEY CONDUCTED ON AUGUST 1, 2017

Rev	Date	Description	Surf	Drawn	App'd
5	2018-07-23	FOR DP APPLICATION, BLDG REVISIONS		VE	QO
4	2018-01-12	SETBACK REVISIONS		VE	QO
3	2017-12-21	BUILDING DESIGN REVISIONS		VE	QO
2	2017-10-27	GENERAL TEXT REVISIONS		VE	QO
1	2017-10-26	FOR REVIEW		JC	VE
0	2017-09-15	ORIGINAL ISSUE		JC	LM

THIS DRAWING AND DESIGN IS THE PROPERTY OF McElhanney Consulting Services Ltd. (McElhanney) AND SHALL NOT BE USED, REPRODUCED OR REPRODUCED WITHOUT THE CONSENT OF McElhanney. McElhanney WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNEXPECTED USE OF THIS DRAWING AND DESIGN. THIS DRAWING AND DESIGN HAS BEEN PREPARED FOR THE CLIENT ENTITLED, TO MEET THE STANDARDS AND REQUIREMENTS OF THE APPLICABLE PUBLIC AGENCIES AT THE TIME OF PREPARATION. McElhanney, ITS EMPLOYEES, SUBCONSULTANTS AND AGENTS WILL NOT BE LIABLE FOR ANY LOSSES OR OTHER CONSEQUENCES RESULTING FROM THE USE OR RELIANCE UPON, OR ANY CHANGES MADE TO, THIS DRAWING BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS AND TRADESMEN OR THEIR EMPLOYEES OR AGENTS, WITHOUT McElhanney's PRIOR WRITTEN CONSENT. INFORMATION ON EXISTING UNDERGROUND FACILITIES MAY NOT BE COMPLETE OR ACCURATE. McElhanney, ITS EMPLOYEES AND DIRECTORS ARE NOT RESPONSIBLE NOR LIABLE FOR THE LOCATION OF ANY UNDERGROUND CONDUITS, PIPES, CABLES OR OTHER FACILITIES WHETHER SHOWN OR OMITTED FROM THIS PLAN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING FACILITIES BY HAND DIGGING OR HYDROVAC AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

ORIGINAL DWG SIZE A3R (0.75 x 1.07)
 ALL DIMENSIONS ARE IN METRES



McElhanney
 McElhanney Consulting Services Ltd.

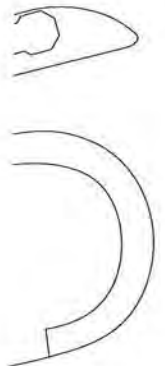
Suite 500
 3900 Quadra Street
 Victoria BC
 Canada V8B 4A3
 Tel 250 370 9221

Approved Sealed

STANDING STONE DEVELOPMENTS INC.
 CORVETTE LANDING
 SITE PLAN TO ACCOMPANY
 JULY 24, 2018 DP APPLICATION
 662 Admirals Rd
 VICTORIA, BC

Drawing No.
03364-V-2
 Project Number
 2/13-03364-00





LEGEND

- MEDIUM DECIDUOUS TREE TO BE A SELECTION OF: RED MAPLE, SWEET SHADOW MAPLE, HEDGE MAPLE, SILK TREE, LEAF LINDEN. SIZE 7.0 CH CAL.; APPROXIMATE NO. - 8
- SPECIMEN DECIDUOUS TREE TO BE A SELECTION OF: SILK TREE, MT. FUJI FLOWERING CHERRY, JAPANESE MAPLE. SIZE 6.0 CH CAL.; APPROXIMATE NO. - 1
- COLUMNAR DECIDUOUS TREE TO BE A SELECTION OF: COLUMNAR RED MAPLE, COLUMNAR BOLD MAPLE. SIZE 6.0 CH CAL.; APPROXIMATE NO. - 24
- MULTI-STEM TO BE A SELECTION OF: STAR MAGNOLIA (DEC), STRAWBERRY TREE (BL), CALIFORNIA LILAC (BL), PINK/WHITE FLOWERING CURRANT (DEC), LILAC (DEC). SIZE 1.2 M HT; APPROXIMATE NO. - 16
- LARGE SHRUB TO BE A SELECTION OF: WOOD'S ROSE (DEC), NOOTKA ROSE (DEC), BLOSSY ADELIA (BL), MEXICAN ORANGE (BL), DECIDUOUS AZALEA (DEC), COTONEASTER (BL), PORTUGUESE LAUREL (BL), OAK LEAF HYDRANGEA (DEC). SIZE 27 CH POT; APPROXIMATE NO. - 21
- MEDIUM SHRUB TO BE A SELECTION OF: OREGON GRAPE (BL), JAPANESE AZALEA (BL), PINK ESCALONIA (BL), JAPANESE HOLLY (BL), WESTERN SWORD FERN (BL). SIZE 21 CH POT; APPROXIMATE NO. - 834
- SMALL SHRUB TO BE A SELECTION OF: OREGON BOX (BL), EDWARD BOUCHER ADELIA (BL), CREEPING OREGON GRAPE (BL), GOLDFLAME SPIREA (DEC), DWARF JAPANESE AZALEA (BL). SIZE 21 CH POT; APPROXIMATE NO. - 89
- VINES TO BE A SELECTION OF: CLIMBING HYDRANGEA (DEC), TRUMPET VINE (DEC), WISTERIA (DEC). SIZE 27 CH POT; APPROXIMATE NO. - 28
- GROUNDCOVER TO BE A SELECTION OF: KINKIKINICK (BL), WINTERGREEN (BL), LILOPE (BL), GRASSES (DEC). SIZE 15 CH POT; PLANT 45 CH O.C.

NOTES

- LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THIS DRAWING IS CONCEPTUAL ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES.



SITE PLAN
SCALE: 1:200

PROPOSED PUBLIC PARKING IMPROV.

- CONCRETE SIDEWALK 2.0 M WIDTH (TYP.)
- STREET PARKING (TYP.)
- CONCRETE SIDEWALK 1.5 M WIDTH (TYP.)
- METAL FENCE 1.2 M HT. AS REQUESTED BY DND. (TYP.)

CLIENT PROPOSED VEGETATION REPLACEMENT/ UPGRADE PLAN 3.0 M WIDTH OF DND PROPERTY AT CLIENT'S EXPENSE. WORK IS SUBJECT TO DND APPROVAL.

EXISTING TREE TO BE REMOVED. (TYP.)
METAL FENCE 1.2 M HT. AS REQUESTED BY DND. (TYP.)

CLIENT PROPOSED UPGRADE/ IMPROVEMENTS TO ESQUIMALT R.O.W. & DND LANDS AT CLIENT'S EXPENSE. WORKS ARE SUBJECT TO RESPECTIVE OWNERS' APPROVAL.

ISSUED FOR DEVELOPMENT PERMIT JULY 24, 2018.

NO.	DATE	BY	REVISION
1	S.P.	J.P.	
2	J.P.		
3	JULY 24, 2018		
4	CL-P11R1R		
5	441 17 01		

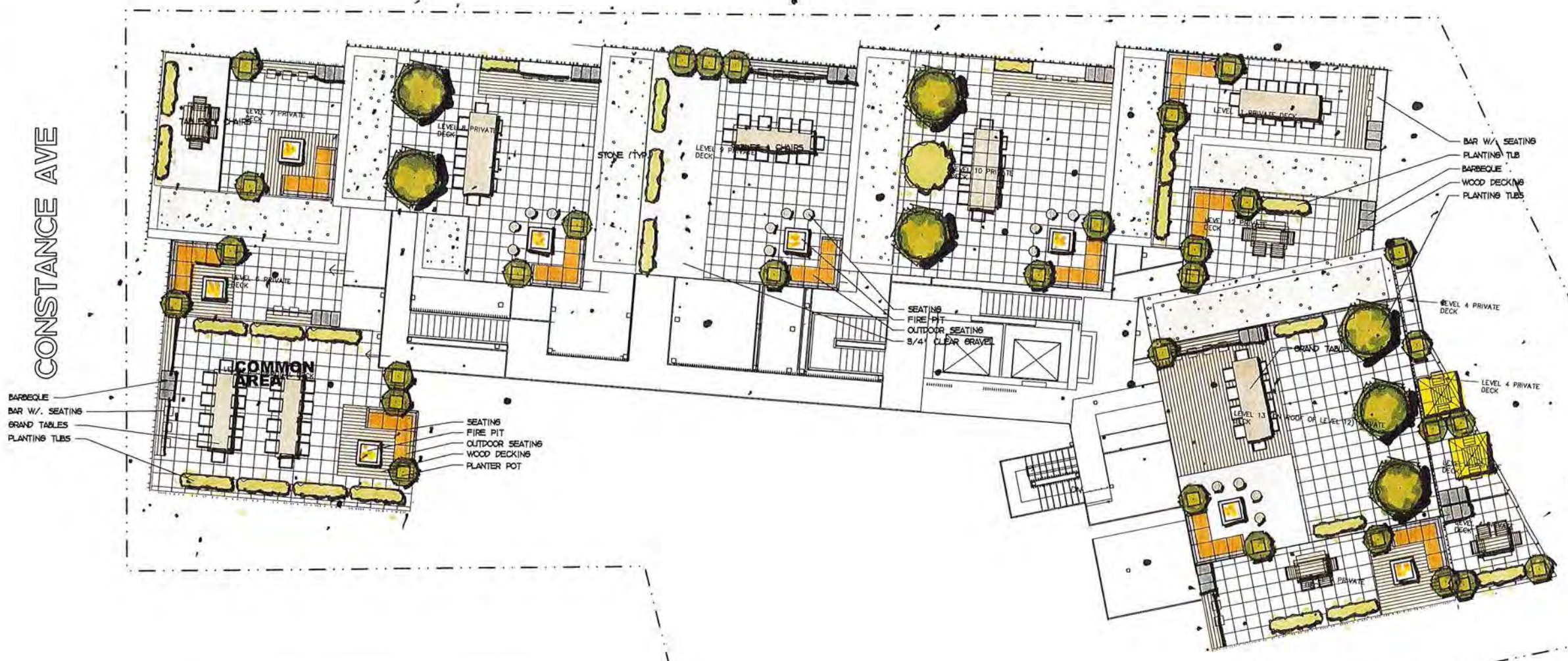


CORVETTE LANDING
VICTORIA, B.C.



CONSTANCE AVE

ADMIRALS ROAD



BARBEQUE
 BAR W/ SEATING
 GRAND TABLES
 PLANTING TUBS

SEATING
 FIRE PIT
 OUTDOOR SEATING
 WOOD DECKING
 PLANTER POT

SEATING
 FIRE PIT
 OUTDOOR SEATING
 8/4"
 CLEAR GRAVEL

BAR W/ SEATING
 PLANTING TUB
 BARBEQUE
 WOOD DECKING
 PLANTING TUBS

LEVEL 4 PRIVATE DECK

LEVEL 4 PRIVATE DECK

ROOF DECK PLAN
SCALE: 1/100

RECEIVED
 JUL 24 2018
 CORP OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

ISSUED FOR DEVELOPMENT PERMIT JULY 24, 2018.

NO.	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



CORVETTE LANDING

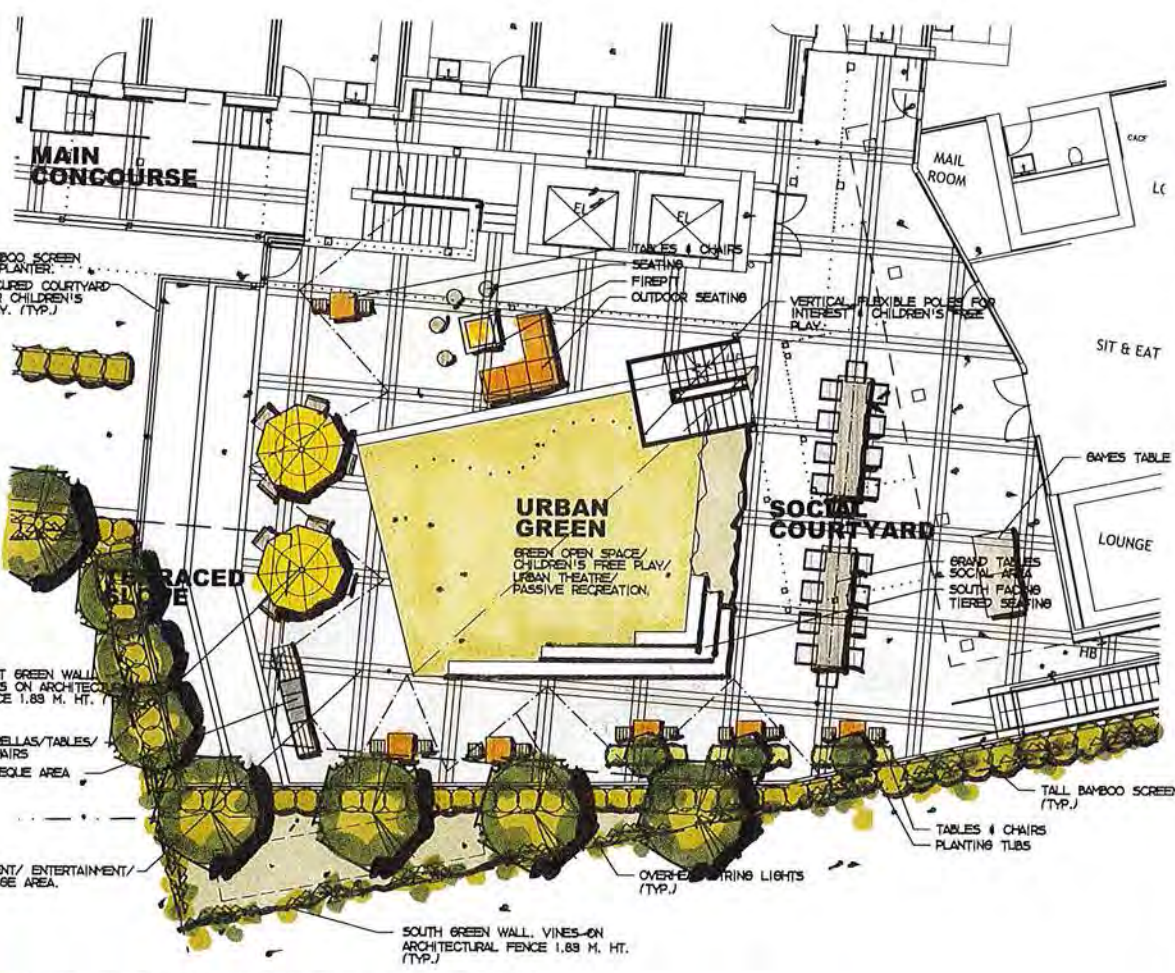
VICTORIA, B.C.



CLIENT PROPOSED VEGETATION REPLACEMENT/UPGRADE PLAN 8.0 M WIDTH OF DND PROPERTY AT CLIENT'S EXPENSE. WORK IS SUBJECT TO DND APPROVAL.



STREET PLAN
SCALE: 1:5000



AMENITY AREA PLAN
SCALE: 1:100



ENTRY PLAZA PLAN
SCALE: 1:100

RECEIVED
JUL 24 2018
CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

ISSUED FOR DEVELOPMENT PERMIT JULY 24, 2018.

NO.	DATE	BY	REVISION

Lombard North Group
LOWBARD NORTH GROUP (BC) INC.
838 CONROBERT STREET
VICTORIA, BRITISH COLUMBIA, V8W 1R1
TEL: (250) 384-1544
FAX: (250) 384-1132
EMAIL: lombard@lombard.ca

CORVETTE LANDING
VICTORIA, B.C.

DATE: JULY 24, 2018
DRAWN BY: CL-PIRIR
SCALE: 1:100

AMENITIES PLAN | P3



Client:
Standing Stone Developments Ltd.
 Carey O'Brien, Troy Grant
 1002 1014 Ave W
 Edmonton, AB T6E 2E2
 Email: carey@standingstone.ca
 troy@standingstone.ca
 Phone: 780.415.4337 (Troy)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 1335 West 7th Avenue
 Vancouver, BC V6H 1M6, Canada
 Email: oliver@lwpac.com
 Phone: 604.737.7000

Structural:
 Equilibrium Consulting Inc.
 Robert MacKay
 222-158 Ave. 80 Avenue
 Vancouver, BC V5R 3V2
 Email: rmac@equilibrium.com
 Phone: +1 604 730 1422

Building Envelope/PH:
 43rd Building Science Inc.
 Graham Potts
 224 W 8th Avenue
 Vancouver, BC V5T 1A6
 Email: g.potts@43rd.com
 Phone: 604 675 1187 x 251

Building Code:
 GMI CONSULTANTS LTD.
 2400-100 Avenue
 409 Granville Street, Suite 500
 Vancouver, BC V6C 1T2
 Email: gmi@gmiconsultants.com
 Phone: 604 683 4444

Civil Engineer:
 McLennan Consulting Services Ltd.
 Nathan Burdick
 Suite 500, 3960 Quays Street
 Vancouver, BC V6R 4G3
 Email: nburdick@mcclennan.com
 Phone: 604 266 7817

Landscape Architect:
 Lombard North Group Inc. C.A. Inc.
 James Barlow
 858 Commercial Street
 Victoria, BC V8W 2Y3
 Email: james@lombardna.com
 Phone: 250 380 3330

Geotechnical Engineer:
 Geo Pacific Consultants
 Mark Kishin
 1770 W 75th Avenue
 Vancouver, BC V6P 2P2
 Email: mark@geopacific.ca
 Phone: 604 263 0022 ext. 223

Traffic:
 Burn & Associates
 Simon Burton
 Suite 421, 445 Park Street
 Victoria, BC V8W 2G2
 Email: simon@burngroup.com
 Phone: 250 360 8332

Electrical:
 435
 Brad Coyle
 1330 Granville St.
 Vancouver, BC V6H 1W2
 Phone: 604 685 2719
 Email: brad@bradcoyle.com

Mechanical:
 AME Group
 Kevin Shea
 1100 B West Hastings Street
 Vancouver, BC V6E 2A8
 Email: kevin@amegroup.com
 Phone: 604 683 5905



Not for Construction
 All dimensions to be verified on site

Date	Issued / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REZONING APPLICATION
8 Dec 22, 2017	REZONING APPLICATION & ADDITIONAL MATERIALS

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, as well as any discrepancy between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for certification.

Project:
CORVETTE LANDING
 438 Commercial Avenue, Commerce Avenue
 458, 465, 472 Avenue Road
 Esquimalt, BC, V8A 6N9
 Project No: 20180101
 Date: 10/1/2018

A00.01
Title:
 Visualizations
Scale: 1/8" = 1'-0"
Date: 10/1/2018
Drawn: Author
Reviewed: QL



1 Aerial Axo - North East



Client:
Standing Stone Developments Ltd.
 Casey Brown, Project Manager
 1000 101st Ave W
 Edmonton, AB T6E 2E2
 Email: casey@standingstone.com
 Phone: 780.353.8877 (Toll-free)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect #BC
 2753 West 10th Avenue
 Vancouver, BC V6P 1N6, Canada
 Email: oliver@lwpac.ca
 Phone: 604.271.7360

Structural:
 Equilibrium Consulting Inc.
 Robert Mica
 222-288 West 4th Avenue
 Vancouver, BC V5K 3V6
 Email: robert@equilibrium.ca
 Phone: +1 604 775 1422

Building Envelope/PH:
 RDM Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V5K 1N6
 Email: gfinch@rdm.com
 Phone: 604.673.1181 x 251

Building Code:
 GNL CONSULTANTS LTD
 Andrew Hammetts
 407 Granville Street, Suite 950
 Vancouver, BC V6C 1T2
 Email: andy@gnl.ca
 Phone: 604.681.4443

Civil Engineer:
 McChamney Consulting Services Ltd.
 Nathan Dudgeon
 Suite 500, 3960 Quince Street
 Richmond, BC V6X 4K1
 Email: n.dudgeon@mcchamney.com
 Phone: 778 246 2417

Landscape Architect:
 Lombard North Group P.C. Inc.
 James Patten
 836 Commercial Street
 Victoria, B.C. V8N 1P1
 Email: james@lombardnw.ca
 Phone: 250.365.9376

Geotechnical Engineer:
 GeoPacific Consultants
 Mark Foster
 1779 W 73rd Avenue
 Vancouver, BC V6M 2R2
 Email: mark@geopacific.ca
 Phone: 604.428-0222 ext. 226

Traffic:
 Burt & Associates
 Simon Burt
 Suite 421, 645 Pine Street
 Victoria, B.C. V8W 2G2
 Email: sburt@burtandco.com
 Phone: 250.362.4100

Electrical:
 AES
 Brad Gu-Feng
 1310 Green St. S.
 Vancouver, BC V6Z 1K7
 Phone: 604.695.2719
 Email: brad@aesengineering.com

Mechanical:
 K&E Group
 Kevin Keady
 1000 B & West Hastings Street
 Vancouver, BC V6C 2A8
 Email: kevin@keadysgroup.ca
 Phone: 604.684.3905



Not for Construction
 All Dimensions to be verified on-site

#	Date	Issued / Revision
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	REVISION APPLICATION 7 - ADDITIONAL MATERIAL
8	Dec 14, 2017	REVISION APPLICATION 8 - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or for any other purpose by the architect. Prior to commencement of the work, the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, and any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 899 GARDINER AVENUE, GASTROUX AVENUE,
 104, 105, 102 ADDRESS ROAD
 EQUIPMENT (B.C.), V6E 6N5
 Legal Lot Description:
 P.L.S. 004354931
 Lot 1
 Plan V18-11563

A00.01.1

Title:
 Visualization 2

Scale:
 1:500 (21' x 11')

Date:
 1/26/21 AM

Drawn: Author

Reviewed: OL

File: OL_00

Drawn:

Reviewed:



1 Aerial Axo - North West



1 Aerial Axo - South East

Client:
Standing Stone Developments Ltd.
 Carey O'Brien, Tony Grant
 1000 101st Ave W
 Edmonton AB, T5J 1S2
 Email: carey@standingstone.ca, tonys@standingstone.ca
 Phone: 780.483.8337 (Troy)

Architect:
LWPAC
 Long Willam Practice in Architecture Culture
 Oliver Long, Architect AIBC
 2331 West 10th Avenue
 Vancouver, BC V6K 1M6, Canada
 Email: office@lwpac.ca
 Phone: 604.673.7600

Structural:
 Equilibrium Consulting Inc.
 Robert Wozny
 250-188 West 4th Avenue
 Vancouver, BC V5T 1K7
 Email: rwozny@equilibrium.ca
 Phone: +1 604 752 1432

Building Envelope/PH:
 BOM Building Science Inc.
 Graham Ford
 224 W 6th Avenue
 Vancouver, BC V5T 1K7
 Email: gford@bom.com
 Phone: 604.673.7181 x 251

Building Code:
 CIVIL CONSULTANTS LTD.
 Andrew Hammett
 400 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: ahammett@ccs.ca
 Phone: 604.583.4449

Civil Engineer:
 McWhinney Consulting Services Ltd.
 Nathan Goring
 Suite 300, 1940 Quadra Street
 Victoria, B.C. V8M 4A1
 Email: n.goring@mcwhinney.com
 Phone: 778 765 7417

Landscape Architect:
 Joffard North Group B.C. Inc.
 James Parfitt
 434 Glenhurst Street
 Victoria, B.C. V8M 1A6
 Email: james@joffard.ca
 Phone: 250.366.3333

Geotechnical Engineer:
 GeoPac/PC Consultants
 Mark Soren
 1778 W 25th Avenue
 Vancouver, BC V6M 2P2
 Email: mark@geopacpk.ca
 Phone: 604-618-0922 ext. 226

Traffic:
 Sun & Associates
 Simon Sutton
 Suite 401, 445 Park Street
 Victoria, BC V8W 1G2
 Email: s.sutton@suneng.com
 Phone: 250.592.6122

Electrical:
 415
 Brad Gu Ying
 1330 Granville St.
 Vancouver, BC V6H 1P7
 Phone: 604-555-3719
 Email: brad@bradguying.com

Mechanical:
 HMC Group
 Keith Stone
 1000-8 West Hastings Street
 Vancouver, BC V6C 2J4
 Email: keith@hmcgroup.ca
 Phone: 604.584.5000



All dimensions to be verified on-site

#	Date	Issue / Revision
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	REVISION APPLICATION & ADDITIONAL MATERIAL
8	Dec 22, 2017	REVISION APPLICATION & ADDITIONAL MATERIAL
7		Issue / Revision

Copyright reserved. This design and the drawings are the exclusive property of Long Willam Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or otherwise without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions; acceptability any discrepancies between this drawing and the full Contract Documents; and immediately bring these items to the attention of the architect for clarification.

Author:
CORVETTE LANDING
 599 Granville Avenue, Courtenay Avenue,
 408, 402, 402 Admiralty Road
 Esquimalt BC, V8L 4V7
 Legal Land Services
 P.O. Box 2447
 Esquimalt BC
 P8L 1V8 1S6

A00.01.2

Title:
Visualization 3

Scale:	File:
2018.07.24	CL_00
Date: 2018.07.24	Drawn:
Drawn: Author	Reviewed:
Reviewed: CL	



Client:
Standing Stone Developments Ltd.
 Corey O'Brien, Project Lead
 1000-1014 Ave Road
 Vancouver, BC V6J 3G2
 Email: corey@standingstone.ca
 standingstone.com
 Phone: 780.243.8377 (Troy)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 3303 West 20th Avenue
 Vancouver, BC V6R 1M6, Canada
 Email: ol@lwpac.com
 Phone: 604.737.7600

Structural:
 Equilibrium Consulting Inc.
 Robert Hoggan
 210-288 West 8th Avenue
 Vancouver, BC V5Z 3J6
 Email: mhoggan@equilibrium.com
 Phone: +1 604 780 1433

Building Envelope/PH:
 BSA Building Science Inc.
 Graham Price
 224 W 8th Avenue
 Vancouver, BC V5Z 1R5
 Email: gprice@bsa.com
 Phone: 1-604-675-1151 x 231

Building Code:
 GSI CONSULTANTS LTD.
 Andrew Hutchinson
 400 Granville Street, Suite 500
 Vancouver, BC V6C 1E1
 Email: ahutch@gsi.ca
 Phone: 1-604-683-8881

Civil Engineer:
 McLachlan Consulting Services Ltd.
 Norman Doolan
 Suite 300, 2860 Capital Street
 Victoria BC V8X 4L3
 Email: norm@mcslachlan.com
 Phone: 778 546 1817

Landscape Architect:
 Landform North Group Inc.
 James Fenton
 836 Commercial Street
 Vancouver, BC V6J 1K1
 Email: james@landform.ca
 Phone: 1-202-586-3108

Geotechnical Engineer:
 Geotechnical Consulting
 Matt Kolan
 1775 W 72nd Avenue
 Vancouver, BC V6P 0P3
 Email: matt@geotech.ca
 Phone: 604-430-0242 ext. 215

Traffic:
 Burt & Associates
 Simon Burt
 Suite 410, 445 Spur Street
 Victoria, BC V8W 1G2
 Email: simon@burtandco.com
 Phone: 250 546 5122

Electrical:
 JES
 Brad GuYang
 1330 Granville St.
 Vancouver, BC V6Z 1W7
 Phone: 604 616 3119
 Email: brad@jesengineering.com

Mechanical:
 JES Group
 Kevin Sosa
 1500 B West Hastings Street
 Vancouver, BC V6Z 2A6
 Email: kevin@jesengineering.com
 Phone: 604 684 1500



Not for Construction
 All dimensions to be verified on site

NO.	DATE	DESCRIPTION
10	JUL 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	JAN 31, 2018	REZONING APPLICATION 7 - ADDITIONAL MATERIALS
8	DEC 22, 2017	REZONING APPLICATION 6 - ADDITIONAL MATERIALS
7	DATE	ISSUED / REVISION

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, duplication, or alteration without the prior written consent of the architect. Upon commencement of the work the contractor shall verify all quantities, dimensions, datum and levels to identify any errors and omissions. Acknowledge any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 608 Glenview Avenue, Coquitlam, British Columbia, Canada
 436, 440, 422 Ardara Road
 Coquitlam, BC, V3K 4H6
 Legal Lot Description:
 215, 104574481
 S.I.
 215-VIII-15563

Title:
A00.01.3
Visualization 4

Scale:	File:
2018 07 24	CL_01
Date: 1:36:42 AM	DATE:
Drawn: Author	Revised:
Reviewed: OL	Revised:



1 Aerial Axo - South West

Executive Summary

The proposed Corvette Landing project is located within the Township of Esquimalt. Within the Esquimalt Harbour neighbourhood in immediate proximity to the Naval Base and the Dockyards the future Corvette Landing is situated at the corner of Admirals Road and Naden Way. We believe that it is a very significant urban development site. The site spans the length of the block of Naden Way along a green space towards Constance Avenue. The proposed building is, in accordance with the municipal land use zoning, planned to be a high-density residential construction. As the plan is today, it will offer 83 market affordable homes consisting of a broad range of types and floor plans ranging from 316sf 1BR/studios to 1281sf 3BR family homes. Designed as a high-quality building, it will serve as an urban development catalyst for the community of Esquimalt. The new building will advance the creation of a vibrant, diverse and prosperous community, as a new paradigm, through its unique combination of affordability, livability and sustainability.

The building will be a certified Passiv Haus standard, one of the globally leading standards for sustainability and energy efficiency. The project is proposed to be built using engineered BC produced mass-timber technology, providing a low carbon footprint and highly durable construction. Built through off-site prefabrication, utilizing the most modern technologies, the project will not only minimize site construction-related noise, and traffic, it will ultimately reduce construction waste while substantially reducing the length of the construction time itself.

The location provides excellent connectivity to public transit and shopping in walkable distance. It is expected that some future tenants will work in close proximity, being able to walk to work. The site is also located on both the commuter and recreational bicycle pathways, facilitating biking as a viable alternative to automotive transport.

Please refer to the Architects Letter to Mayor and Council for the detailed project rationale.

For Development Permit – Corvette Landing
ALL DIMENSIONS ARE IN SQM (unless otherwise specified)
CORVETTE LANDING – 669 Constance Ave
(all dimension in sqm unless otherwise noted)

Storeys	FSR AREA	GROSS RESIDENTIAL AREA	WALKWAY AREA
12	119.01	137.87	31.68
11	162.58	185.99	47.10
10	216.28	247.12	41.99
9	310.39	351.82	47.75
8	454.30	509.39	85.10
7	547.48	614.18	105.26
6	594.30	668.72	109.35
5	698.82	784.75	120.96
4	709.22	796.18	128.48
3	483.47	546.83	105.07
(Ground) 2	451.51	509.67	49.42
1	247.49	276.11	0.00
Total	4,995	5,629	872

Parking Area and Count (sqm)			
(parking) -1	1,442	Regular	34
(parking) -2	1,609	HC	2
(parking) -3	1,223	Small	47
		Total (incl. Vis.)	83
		Visitors	4
Total	4,274	Grand Total	83

Lockers and Bike Storage	
Unit Storage	83
Bike Stalls	125
Plaza Bike Stalls	6

Site Area	
Site Area	1,936
FSR	2.58

Lot Coverage area (enclosed)	
Lot Coverage area (enclosed)	880

Lot Coverage (not including walkways and stairs)%	
Lot Coverage (not including walkways and stairs)%	45.4%

Walkways and Stairs Lot Coverage	
Walkways and Stairs Lot Coverage	8.0%

Building Height (above Admirals) (m)	
Building Height (above Admirals) (m)	33.76

Building Height (above Grade) (m)	
Building Height (above Grade) (m)	35.94

Vertical Circulation			
	per floor	# of floors	total
front	28	10	283
back	10	6	62
Overall total			345

Wall Area		
	full wall	half wall
total	634	317

Sellable Area (to mid wall)	
Sellable Area (to mid wall)	5,312

Amenity	
Amenity	218

Mezzanine	
Mezzanine	1,007

Above Ground Gross Area	
Above Ground Gross Area	7,064

Total Gross Area	
Total Gross Area	10,115

MIX	Type of Home	Number of Homes
	studio	7
	1 BR	19
	1 BR + tech	8
	2 BR	43
	3BR	6
Total		83



Client:
Standing Stone Developments Ltd.
Cathy Blake, Troy Gray
1020 10th Ave W
Esquimalt BC, V1B 2J2
Email: cathy@standingstone.com
troy@standingstone.com
Phone: 250.253.8337 (T709)

Architect:
LWPAC
Lang Wilson Practice in Architecture Culture
Oliver Lang, Architect BSC
1033 West 5th Street
Vancouver, BC V6P 1M6, Canada
Email: olw@lwpac.com
Phone: 604.733.7000

Structural:
Equilibrium Consulting Inc.
Robert Muzyk
202 West 2nd Avenue
Vancouver, BC V6P 1A2
Email: rmuzyk@equilibrium.ca
Phone: +1 404 770 1442

Building Envelope/PH:
BNI Building Science Inc.
Charles Frost
214 West 8th Avenue
Vancouver, BC V6P 1M6
Email: cfrost@bni.com
Phone: 604.675.1181 x 231

Building Code:
GHL CONSULTANTS LTD
Andrew Macintosh
400 Constance Street, Suite 100
Vancouver, BC V6C 1T2
Email: a.macintosh@ghl.com
Phone: 604.683.4447

Civil Engineer:
McLennan Consulting Services Ltd.
Nathan Dudgeon
Suite 500, 1540 Quatre Street
Vancouver, BC V6J 1K3
Email: n.dudgeon@mcsl.com
Phone: 778.765.7617

Landscape Architect:
Lombard North Group Inc.
Janis Fenton
835 Commercial Street
Victoria, B.C. V8B 1B1
Email: janis@lombard.ca
Phone: 250.385.3335

Geotechnical Engineer:
GeoPAC Consultants
Wes Wilson
1770 W 75th Avenue
Vancouver, BC V6P 1B3
Email: w.wilson@geopac.ca
Phone: 604.433-2022 ext. 220

Traffic:
Burn & Associates
Sharon Batters
Suite 411, 645 First Street
Victoria, BC V8W 0Z2
Email: sbatters@burn.com
Phone: 1-250-510-8332

Electrical:
AES
Eric Su 7818
1330 Granville St
Vancouver, BC V6H 2M7
Phone: 604.695.2719
Email: eric@angestang.com

Mechanical:
AME Group
Paula Siro
1100 West Hastings Street
Vancouver, BC, V6E 2J4
Email: paula@angestang.com
Phone: 604.684.5900



Not for Construction
All dimensions to be verified on site

#	Date	Issued / Revision
1	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
2	Jan 31, 2019	PERMISSION APPLICATION
3	Dec 28, 2018	PERMISSION APPLICATION
4	Dec 28, 2018	PERMISSION APPLICATION

Copyright retained. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or any other purpose by the architect, or any other person or organization, without the written consent of the architect. It is the responsibility of the contractor to verify all assemblies, dimensions, details and levels to identify any errors and omissions, coordinate any discrepancies between drawings and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
669 Constance Avenue, Constance Avenue
604, 602, 601 Admirals Road,
Esquimalt BC, V1B 2W9
High Lot Description:
P.L.D. 00574451
2017
25th SEP 2018

A00.02

Title:
Project Data + Rationale

Scale:	File:
Scale: 1:500 (2x)	File: CL_02
Date: 2018-07-24	Sheet: 1
Drawn: ALW/PH	Revised:
Reviewed: OL	Revised:

Client:
Standing Stone Developments Ltd.
 Casey Dwyne, Troy Grant
 1000 29th Ave #10
 Esquimalt, BC, V1B 3J2
 Email: casey@standingstone.ca
 troy@standingstone.ca
 Phone: 250 253 8337 (T704)

Architect
LWPAC
 Lang Whittin-Fricker Architecture Culture
 Oliver Lang, Architect AIBC
 3555 West 5th Avenue
 Vancouver, BC V6M 1A6, Canada
 Email: oliver@lwpac.ca
 Phone: 604 275 7600

Structural
 Equilibrium Consulting Inc.
 Robert Wozniak
 212 280 West 8th Avenue
 Vancouver, BC V5Z 1S2
 Email: rwozniak@equilibria.com
 Phone: +1 604 251 1422

Building Envelope/PH
 ESR Building Science Inc.
 Graham Frost
 224 W 8th Avenue
 Vancouver, BC V5Z 1A5
 Email: g.frost@esr.com
 Phone: 604 475 1141 x 210

Building Code
 GRC CONSULTANTS LTD
 Andrew Hamer
 409 Granville Street, Suite 190
 Vancouver, BC V6C 1T7
 Email: andy@grc.ca
 Phone: 604 683 4444

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Durling
 Suite 100, 1600 Quadra Street
 Victoria BC V8R 4R1
 Email: n.durling@mcsl.ca
 Phone: 1 779 761 5427

Landscape Architect
 Lumbard North Group (A.L.C.) Inc.
 Janna Fawcett
 818 Garmont Street
 Victoria, B.C. V8R 1R1
 Email: janna@lumbard.ca
 Phone: 250 386 1330

Geotechnical Engineer
 Geomatics Consultants
 Matt Kahan
 1079 W 72nd Avenue
 Vancouver, BC V6P 1P2
 Email: matt@geomatics.ca
 Phone: 604 433 0922 ext. 418

Traffic
 Burn & Associates
 Simon Burns
 5-106 451 4th Street
 Victoria, BC V8W 1G2
 Email: simon@burneng.com
 Phone: 250 399 8112

Electrical
 JES
 1845 Oak Yang
 1332 Denison St.
 Vancouver, BC V6Z 1W7
 Phone: 604 435 2719
 Email: jdes@jessengroup.com

Mechanical
 A&E Group
 Kevin Diaz
 1100-B West Hastings Street
 Vancouver, BC V6E 2P4
 Email: kevin@aesengroup.ca
 Phone: 604 684 5900



Not for Construction	
All dimensions to be verified on-site	
10	JUL 24, 2018 - DEVELOPMENT PERMIT APPLICATION
9	JAN 31, 2018 - RESPONSE APPLICATION
8	DEC 22, 2017 - RESPONSE APPLICATION
7	ADDITIONAL MATERIAL
6	ADDITIONAL MATERIAL
5	ADDITIONAL MATERIAL
4	DATE ISSUED / REVISED

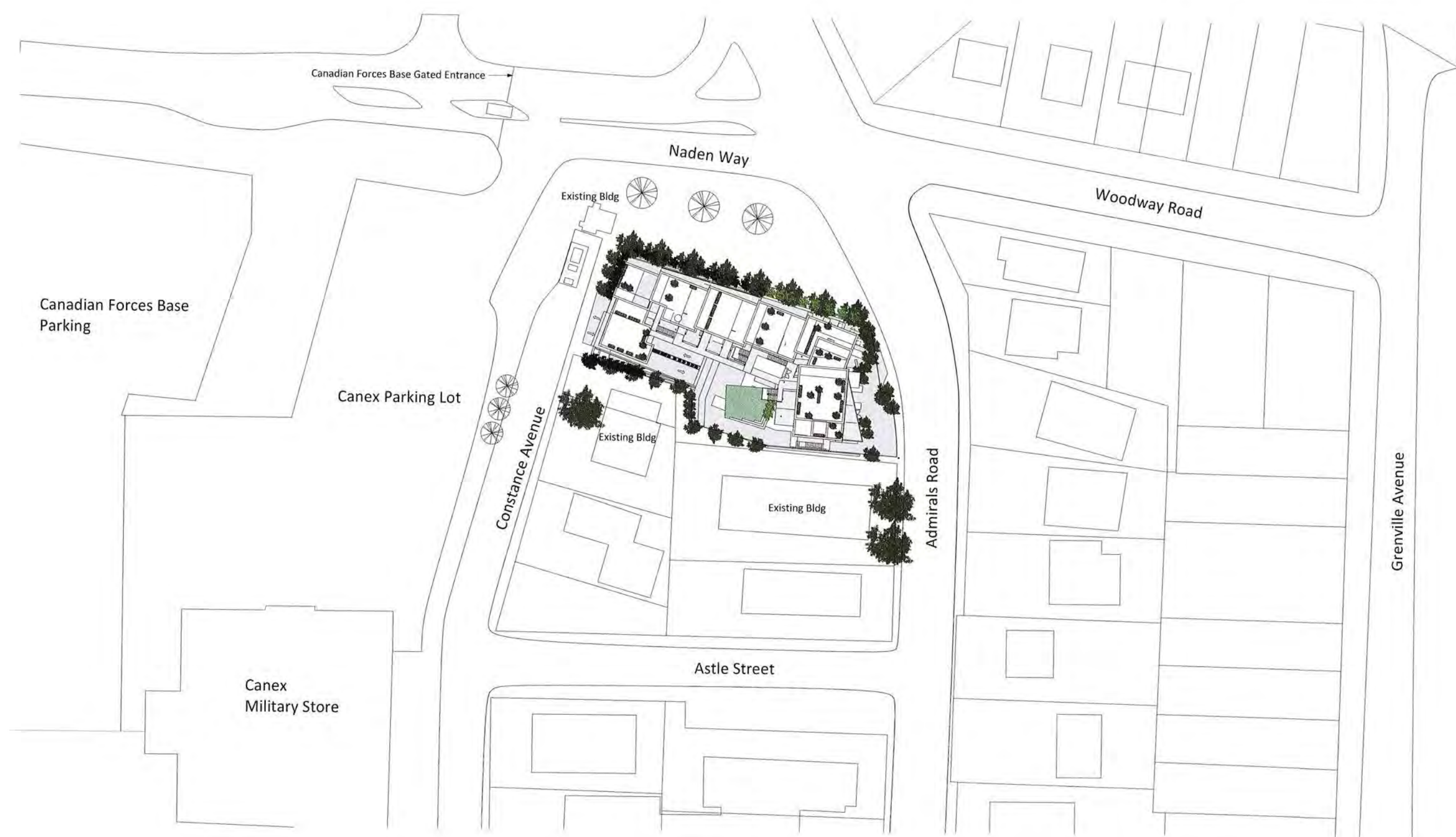
Copyright reserved. This design and the drawings are the exclusive property of Lang Whittin-Fricker Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or other purposes without the written consent of the architect. Upon commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, separate any discrepancies between this drawing and the full contract documents, and immediately bring these items to the attention of the architect for clarification.

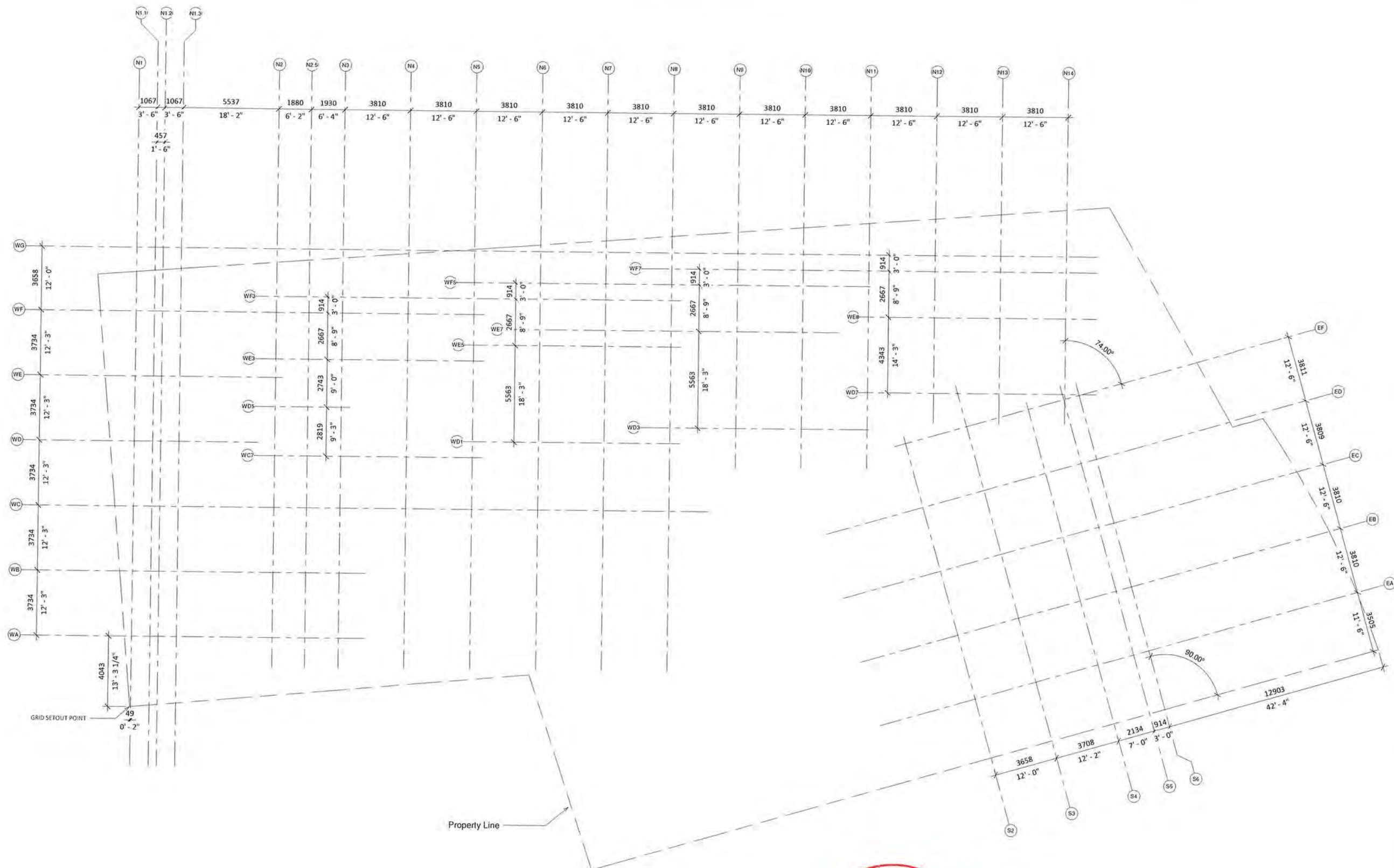
Site:
CORVETTE LANDING
 409 Constance Avenue, Constance Avenue,
 454, 456, 452 Admirals Road,
 Esquimalt, BC, V1B 3S5
 Legal Lot Description:
 S.L.P. 10457401
 S.L.P. 1
 2006V10102

A00.05

Title:
Context Map

Scale: 1:400	File: CL_05
Date: 2013-07-24	Drawn: CL
Drawn: Author	Revised:
Reviewed: CL	Revised:





Client:
Standing Stone Developments Ltd.
 Cindy Blake, Project Director
 10225 154th Ave #100
 Richmond, BC, V7A 2G2
 Email: cblake@standingstone.ca
 Phone: 604-273-8177 (Toll Free)

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 1973 West 20th Avenue
 Vancouver, BC V6R 1M6, Canada
 Email: oliver@lwpac.com
 Phone: 604-751-7500

Structural
 Equilibrium Consulting Inc.
 Robert MacKay
 2020 West 10th Avenue
 Vancouver, BC V6P 3J2
 Email: rmac@equilibrium.com
 Phone: +1 604 752 1433

Building Envelope/PH
 HSA Building Science Inc.
 Graham Frost
 224 West 6th Avenue
 Vancouver, BC V6B 1M5
 Email: g.frost@hsa.com
 Phone: 604 673 1187 x 251

Building Code
 GHS CONSULTANTS LTD
 Andrew Harpwood
 400 Granville Street, Suite 950
 Vancouver, BC V6C 1T2
 Email: aharpwood@ghs.ca
 Phone: 604 583 4445

Civil Engineer
 ACE Planning Consulting Services Ltd.
 Andrew B. Cook
 Suite 500, 3760 Quadra Street
 Victoria, BC V8N 4B3
 Email: andrew@aceplanning.com
 Phone: 779 746 7417

Landscape Architect
 Lombard North Group (LNG) Inc.
 James Randall
 828 Commercial Street
 Victoria, B.C. V8W 1H1
 Email: james.randall@lombardna.com
 Phone: 250 366 3026

Geotechnical Engineer
 GeoPacific Consultants
 Brett Fisher
 1770 West 7th Avenue
 Vancouver, BC V6J 1S3
 Email: bfisher@geopacific.ca
 Phone: 604 439 2022 ext. 226

Traffic
 B&B Associates
 Thomas Sutton
 Suite 411, 441 First Street
 Victoria, BC V8W 1G2
 Email: thos@suttonbeng.com
 Phone: 250 591 8153

Electrical
 ACE
 Brad Co'Yang
 1200 Granville St.
 Vancouver, BC V6H 1W7
 Phone: 604 663 3719
 Email: brad@aceengineering.com

Mechanical
 AWE Group
 Kevin Shea
 1500-B West Hastings Street
 Vancouver, BC V6R 2K6
 Email: kevin@aweinc.com
 Phone: 604 436 5565



Not for Construction
 All Dimensions to be verified on-site

10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	RECORDING APPLICATION
7		ADDITIONAL MATERIAL
6	Dec 22, 2017	RECORDING APPLICATION
5		ADDITIONAL MATERIAL
4	Site	Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all dimensions, elevations, details and levels to identify any errors and omissions, and shall file corrected documents and immediately bring these items to the attention of the architect for verification.

Project:
CORVETTE LANDING
 888 Constance Avenue, Constance Avenue,
 25A, 25B, 25C, 25D, 25E, 25F, 25G, 25H, 25I, 25J, 25K, 25L, 25M, 25N, 25O, 25P, 25Q, 25R, 25S, 25T, 25U, 25V, 25W, 25X, 25Y, 25Z
 P.O. 804574451
 2017
 2017-VIP191263

Title:
A00.06
 Gridlines

Scale: 1:100	File: CL_02
Date: 2018-07-24	Drawn:
Drawn: Author	Reviewed:
Reviewed: CL	Revise:



Gridlines
 1 : 100



Client:
Standing Stone Developments Ltd.
 1000 Burrard Street
 Vancouver, BC V6C 1A7
 Phone: 604 681 1111

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect BCC
 1000 West 25th Avenue
 Vancouver, BC V6K 1M6, Canada
 Email: ol@lwpac.net
 Phone: 604 671 7000

Structural:
 Equilibrium Consulting Inc.
 Robert Malczuk
 200-188 West 4th Avenue
 Vancouver, BC V5C 1P2
 Email: rmalczuk@equilibrium.ca
 Phone: +1 604 250 1422

Building Envelope/PH:
 SDE Building Science
 Graham Price
 204 West 4th Avenue
 Vancouver, BC V6C 1K5
 Email: gprice@sde.com
 Phone: 604 671 1181 x 151

Building Code:
 GHL CONSULTANTS LTD
 Andrew Harwood
 400 Columbia Street, Suite 100
 Vancouver, BC V6C 1T2
 Email: andrew@ghl.ca
 Phone: 604 681 8449

Civil Engineer:
 WetTrinity Consulting Services Ltd.
 Nathan Gump
 Suite 100, 1560 Quadra Street
 Victoria, BC V8M 4K3
 Email: n.gump@wettrinity.com
 Phone: 1 779 745 7417

Landscape Architect:
 Lombard North Group Inc. C.P. Inc.
 James Parfitt
 216 Commercial Street
 Victoria, B.C. V8B 1H1
 Email: james@lombard.ca
 Phone: 250 365 5335

Geotechnical Engineer:
 GeoPacific Consultants
 Brent Nelson
 1770 W 75th Avenue
 Vancouver, BC V6P 1Z2
 Email: bnelson@geopacific.ca
 Phone: 604 439 0162 ext. 226

Traffic:
 Bent & Associates
 Simon Bent
 Suite 42, 645 First Street
 Victoria, BC V8W 1G2
 Email: sbent@bentgroup.com
 Phone: 250 579 8122

Electrical:
 AEG
 Brad Curran
 1330 Columbia St.
 Vancouver, BC V6C 1K7
 Phone: 604 681 2116
 Email: brad@ayeglassing.com

Mechanical:
 AME Group
 Kevin Shea
 1100 S West Hastings Street
 Vancouver, BC V6E 2E6
 Email: kevin@amegroup.ca
 Phone: 604 684 5195



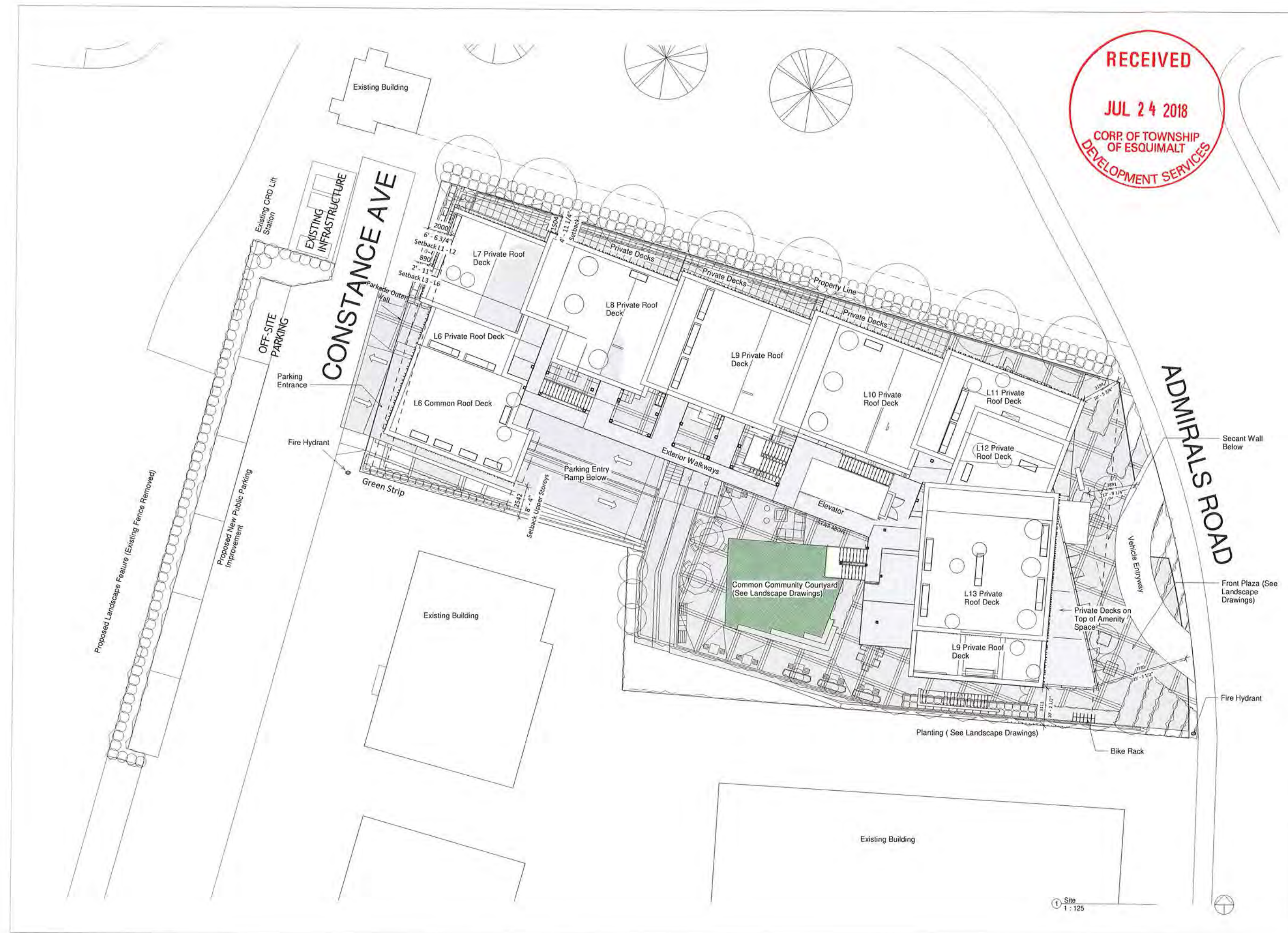
Not for Construction
 All dimensions to be verified on-site

No.	Date	REVISION
1	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
2	Jul 24, 2018	RESPONDING APPLICATION
3	Jul 24, 2018	ADDITIONAL MATERIAL
4	Jul 24, 2018	ADDITIONAL MATERIAL
5	Jul 24, 2018	ADDITIONAL MATERIAL
6	Jul 24, 2018	ADDITIONAL MATERIAL
7	Jul 24, 2018	ADDITIONAL MATERIAL
8	Jul 24, 2018	ADDITIONAL MATERIAL
9	Jul 24, 2018	ADDITIONAL MATERIAL
10	Jul 24, 2018	ADDITIONAL MATERIAL

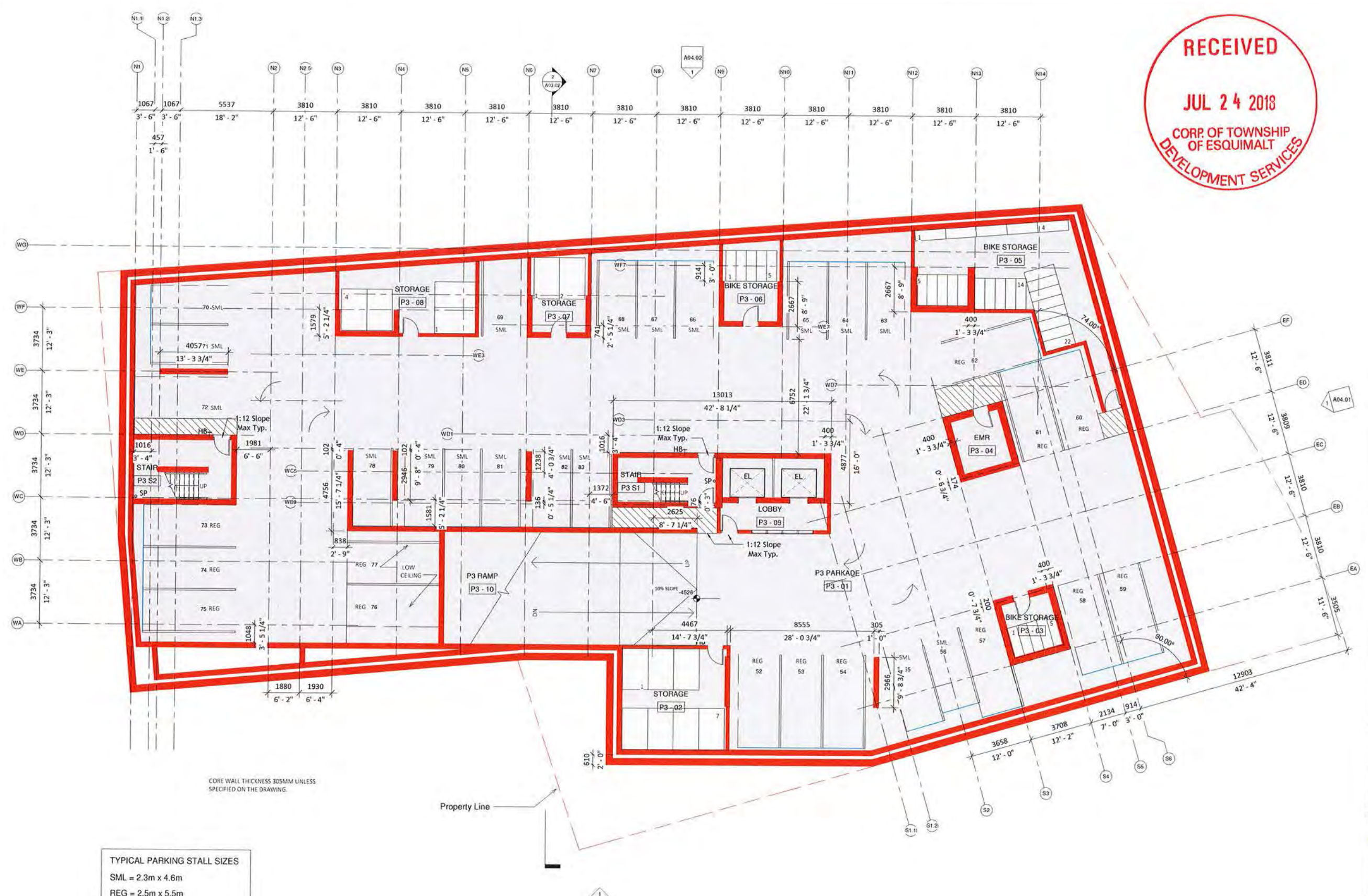
Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or any other purpose by the architect. Any use in connection with the work of the contractor shall be at the contractor's risk. The contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, especially any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 500 Constance Avenue, Constance Avenue,
 Esquimalt, BC V8K 4K9
 Esquimalt (BC), V8K 4K9
 Project No. 2018-07-01
 Date: 2018-07-24
 Scale: 1:125

A00.08
 Site Plan
 Scale: 1:125
 Date: 2018-07-24
 Drawn: A.John
 Reviewed: G.L.



1 Site
 1 : 125



TYPICAL PARKING STALL SIZES
 SML = 2.3m x 4.6m
 REG = 2.5m x 5.5m
 HC = 4.0m x 5.5m

CORE WALL THICKNESS 305MM UNLESS SPECIFIED ON THE DRAWING.

Property Line



Client:
Standing Stone Developments Ltd.
 Corey Flynn, Title Grant
 1002 12a Ave SW
 Edmonton, AB, T6A 1A2
 Email: corey@standingstone.ca
 Phone: 780.463.8177 (Tty)

Architect
LWPAC
 Lang Wilson Practise in Architecture Culture
 Oliver Lang, Architect #BC
 2355 West 5th Avenue
 Vancouver, BC, V6K 1M6, Canada
 Email: oliver@lwpac.net
 Phone: 604.673.7002

Structural
 Equilibrium Consulting Inc.
 Robert Walzky
 202-388 West 8th Avenue
 Vancouver, BC, V7V 1A2
 Email: rwalzky@equilibrium.ca
 Phone: +1 604 753 1422

Building Envelope/PH
 R&B Building Science Inc.
 Graham Finch
 215 W 5th Avenue
 Vancouver, BC V7V 1A5
 Email: gfinch@rbbs.com
 Phone: 604.673.7187 x 251

Building Code
 GNL CONSULTANTS LTD
 Andrew Harnsworth
 405 Granville Street, Suite 500
 Vancouver, BC V6C 1T2
 Email: a.harnsworth@gnl.ca
 Phone: 604.686.4443

Civil Engineer
 McWhinney Consulting Services Ltd.
 Norman Durling
 Suite 500, 3900 Quilley Street
 Victoria, BC V8L 4A3
 Email: n.durling@mcwhinney.com
 Phone: 778 746 2417

Landscape Architect
 Lombard North Group (L.N.G.) Inc.
 James Peltier
 474 Gormont Street
 Kelowna, B.C. V1Y 1K1
 Email: james@lombardna.com
 Phone: 250.866.3324

Geotechnical Engineer
 GeoPacific Consultants
 Mark Sabin
 1770 St John Avenue
 Vancouver, BC, V6P 1R3
 Email: msabin@geopacific.ca
 Phone: 604-673-0222 ext. 224

Traffic
 Burns & Associates
 Simon Burton
 Suite 421, 445 Fort Street
 Victoria, BC, V8C 5G2
 Email: simon@burnseng.com
 Phone: 250.552.9332

Electrical
 B&S
 Brad Du Yang
 1370 Granville St.
 Vancouver, BC V6C 1A7
 Phone: 604.693.2719
 Email: brad.du@burnseng.com

Mechanical
 AME Group
 Kevin Chen
 1000-A West Hastings Street
 Vancouver, BC, V6C 2M4
 Email: kevin@amegroup.ca
 Phone: 604.684.9999



Not for Construction
 All dimensions to be verified on-site

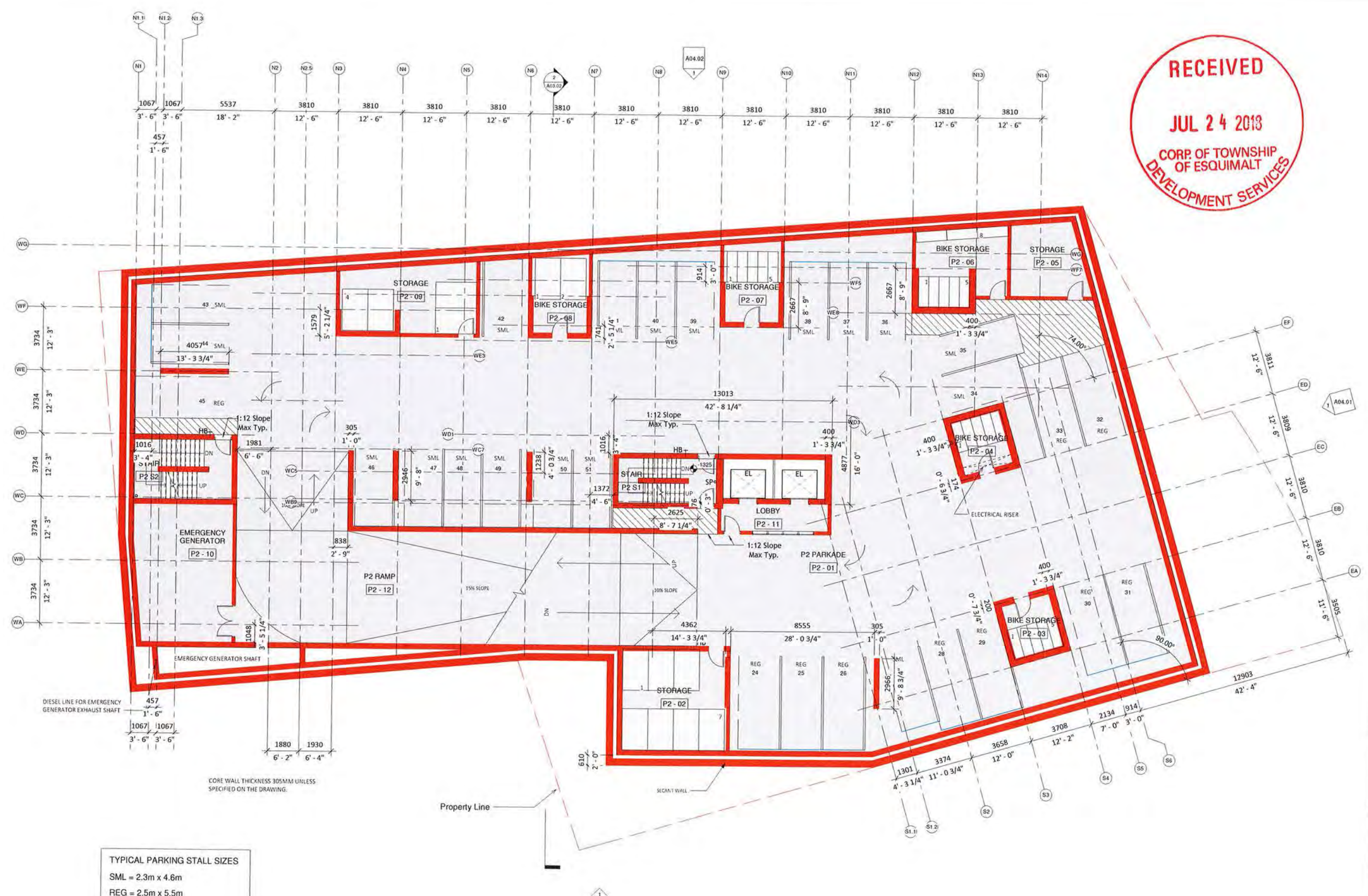
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jul 31, 2018	REVISION APPLICATION
8	Dec 12, 2017	REVISION APPLICATION & ADDITIONAL MATERIAL
4	Date	Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practise in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or use for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, dates and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 698 Quince Avenue, Coquitlam, BC
 V3K 4G2, British Columbia
 Equipment: EC, V14 600
 Legal Lot Description:
 F.I.D. 00574431
 Lot 1
 P3a V191563

A01.01
 Title:
P3 Parking
 Scale: 1:100
 Date: 2018-07-24
 Drawn: Author
 Checked: DL
 Pinned: DL

1 P3
 1:100



TYPICAL PARKING STALL SIZES
 SML = 2.3m x 4.6m
 REG = 2.5m x 5.5m
 HC = 4.0m x 5.5m

CORE WALL THICKNESS 305MM UNLESS SPECIFIED ON THE DRAWING.



Client:
Standing Stone Developments Ltd.
 Casey O'Brien, Project Manager
 10225 37th Ave SW
 Edmonton AB, T5A 1J2
 Email: casey@standingstone.ca
 standingstone.com
 Phone: 780.363.8577 (Toll Free)

Architect:
LWPAC
 Lang Wilson Practice Architecture Culture
 Oliver Lang, Architect AIBC
 3333 West 73rd Avenue
 Vancouver, BC V6P 1Y6, Canada
 Email: office@lwpac.net
 Phone: 604.273.2500

Structural:
 Equilibrium Consulting Inc.
 Robert Marczak
 2033 West 85th Avenue
 Vancouver, BC V6P 1S2
 Email: rmarczak@equilibrium.com
 Phone: +1 604 272 1402

Building Envelope/PH:
 B2H Building Science Inc.
 Graham Finch
 238 W 8th Avenue
 Vancouver, BC V6P 1R5
 Email: gfinch@b2h.com
 Phone: 604 673 1151 x 231

Building Code:
 GSI CONSULTANTS LTD
 Andrew Hammond
 400 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: andrew@gsiconsultants.com
 Phone: 604 683 4843

Civil Engineer:
 WEDBERRY CONSULTING SERVICES LTD
 Nathan Duroso
 Suite 200, 3760 Quays Street
 Victoria BC V8K 4K2
 Email: nathan@wedberry.com
 Phone: 778 763 3117

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 James Patton
 818 Commercial Street
 Victoria, B.C. V8W 1R1
 Email: james@lombardna.com
 Phone: 250 381 3336

Geotechnical Engineer:
 GeoPAC Consultants
 Wael Kaban
 1770 West 20th Avenue
 Vancouver, BC V6M 2K4
 Email: w.kaban@geopac.ca
 Phone: 604 407 0022 ext. 229

Traffic:
 Burt & Associates
 Simon Burt
 Suite 421, 645 Fort Street
 Victoria, BC V8W 2G2
 Email: simon@burtandco.com
 Phone: 250 942 8122

Electrical:
 Brad Ouyang
 1100 West Hastings Street
 Vancouver, BC V6E 1M7
 Phone: 604 683 2719
 Email: brad@ouyangengineering.com

Mechanical:
 AME Group
 Robin Shaw
 1100 West Hastings Street
 Vancouver, BC V6E 2K4
 Email: robin@amegroup.com
 Phone: 604 684 5905



Not for Construction
 All dimensions to be verified on site

10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 11, 2018	REGIONAL APPLICATION 7 - ADDITIONAL MATERIAL
8	Dec 22, 2017	REGIONAL APPLICATION 1A - ADDITIONAL MATERIAL
7	Site	Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, work based for other purposes by the architect. Prior to commencement of the work the contractor shall verify all assumptions, dimensions, details and needs to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 699 Granville Avenue, Coquitlam Avenue,
 955, 602 Admirals Road,
 Esquimalt, BC, V8K 6W7
 Legal Description:
 P-2-0, 0005441
 Lot 1
 Plan V813563

A01.02

Title:
P2 Parking

Scale: 1:100	File: CL_02
Date: 01/24/2018	Drawn:
Drawn: Author	Checked:
Reviewed: OL	Published:

1 P2
 1:100

RECEIVED

JUL 24 2018

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**

Client:
Standing Stone
Developments Ltd.

1000 12th Ave SW
Edmonton, AB, T6A 2G2
Email: standingstone@cs.com
Phone: 780.453.8377 (T50)

Architect:
LWPAC
Lang Wilson Practice In Architecture Culture

3333 West 5th Avenue
Vancouver, BC, V6R 1N6, Canada
Email: office@lwpac.net
Phone: 604.673.7000

Structural:
Equilibrium Consulting Inc.
Robert Wulczyn
200 West 4th Avenue
Vancouver, BC, V6B 1A9
Email: r.wulczyn@equilibrium.com
Phone: +1 604 752 1432

Building Envelope/PH:
KOH Building Science Inc.
Graham Frost
224 W 4th Avenue
Vancouver, BC, V6B 1A3
Email: g.frost@koi.com
Phone: 604.673.1811 x 221

Building Code:
GML CONSULTANTS LTD
Andrew Hammett
405 Granville Street, Suite 950
Vancouver, BC, V6C 1T2
Email: a.hammett@gml.ca
Phone: 604.683.4443

Civil Engineer:
McKinstry Consulting Services Ltd.
Nathan Gault
Suite 500, 3940 Quays Street
Victoria, BC, V8L 4A1
Email: n.gault@mcinstry.com
Phone: 779 765 7417

Landscape Architect:
Landscape North Group (L.N.G.) Inc.
James Parkin
836 Combs Street
Victoria, B.C. V8L 1R1
Email: james@landscapenorth.com
Phone: 250.381.3325

Geotechnical Engineer:
GeoPacific Consultants
Neil Bunn
1770 W 75th Avenue
Vancouver, BC, V6N 1R2
Email: n.bunn@geopacific.ca
Phone: 604.430-0222 ext. 224

Traffic:
Burt & Associates
Urbanization
Suite 421, 445 First Street
Victoria, BC, V8L 1G1
Email: i.tustin@burtandassociates.com
Phone: 250.933.9322

Electrical:
415
Brad Du Ping
1330 Granville St.
Vancouver, BC, V6H 1K7
Phone: 604.655.2719
Email: brad@bradysengineering.com

Mechanical:
AME Group
Kevin Dyer
1100 8th West Hastings Street
Vancouver, BC, V6C 2H4
Email: kevin@amegrp.com
Phone: 604.684.1900

REGISTERED ARCHITECT
OLIVER LANG
JUL 23 2018
BRITISH COLUMBIA

Not for Construction
All Dimensions to be verified on site

1	Jul 24, 2018	1 - DEVELOPMENT PERMIT APPLICATION
2	Jan 31, 2018	2 - PERMITS APPLICATION
3	Dec 22, 2017	3 - ADDITIONAL MATERIAL
4	Dec 22, 2017	4 - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or reuse for that purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels on site. Identify any errors and omissions, accept any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
489 Quinlan Avenue, Coquitlam, BC, V3R 5M2
456, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

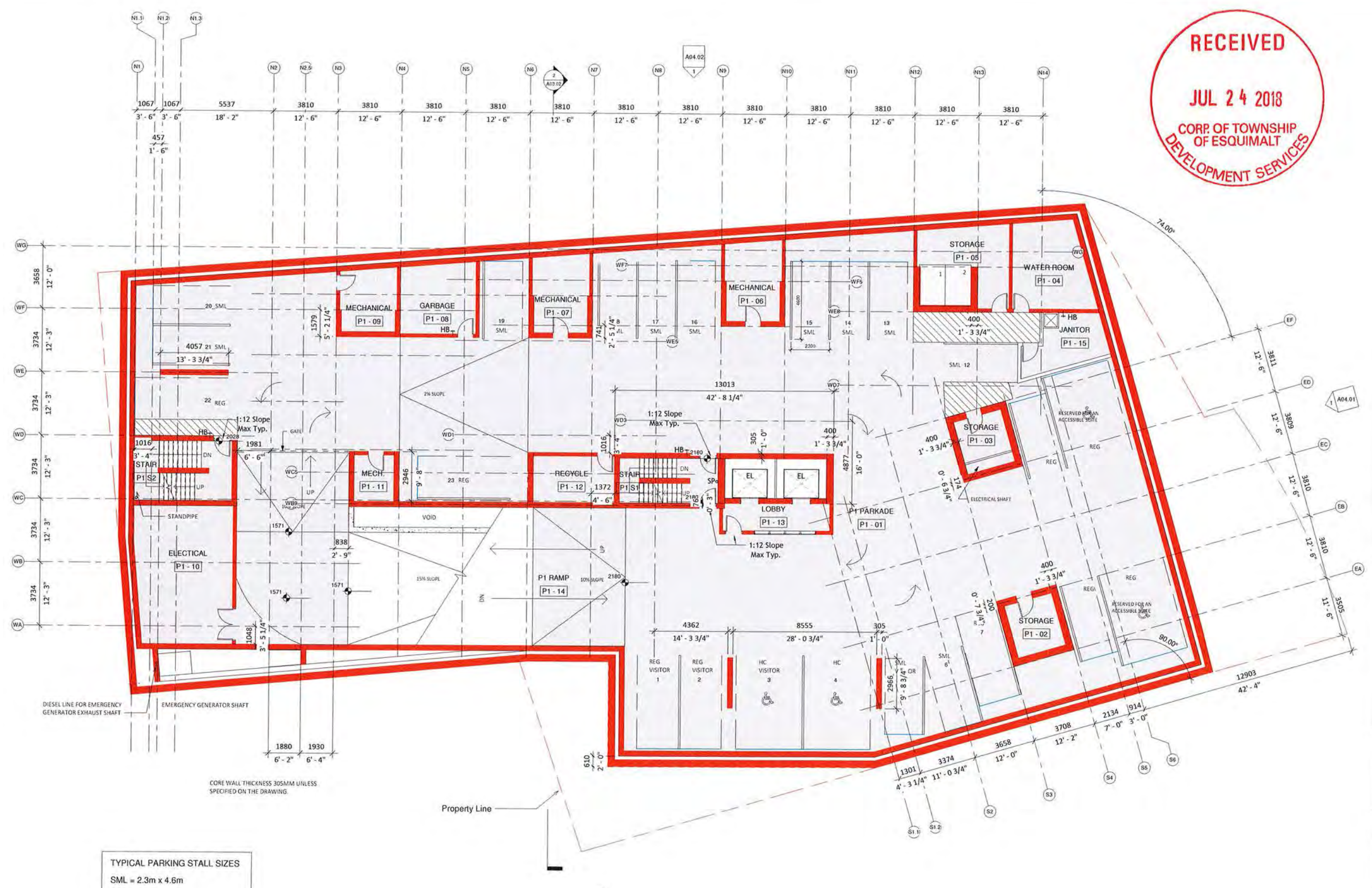
Project:
A01.03

Title:
P1 Parking

Scale: 1:100
Date: 2018.07.24
Drawn: Author
Checked: OL

File: CL_50
Sheet: P1-01

Author:
Checked:
Reviewed:



TYPICAL PARKING STALL SIZES

SML = 2.3m x 4.6m
REG = 2.5m x 5.5m
HC = 4.0m x 5.5m

CORE WALL THICKNESS 305MM UNLESS SPECIFIED ON THE DRAWING

1 P1
1:100



Client:
Standing Stone Developments Ltd.
 1000 10th Street
 Vancouver, BC V6Z 1K2
 Email: info@standingstone.com
 Phone: 604.275.8117 (Toll Free)

Architect:
LWPAC
 Lang Wai Architecture & Architecture Culture
 Oliver Lang, Architect AIBC
 3033 West 10th Avenue
 Vancouver, BC V6M 2M6, Canada
 Email: olu@lwpac.net
 Phone: 604.273.2000

Structural:
 Equilibrium Consulting Inc.
 Robert Malczuk
 233 388 West 8th Avenue
 Vancouver, BC, V5Y 1K2
 Email: rmalczuk@equilibrium.com
 Phone: +1 604 251 1422

Building Envelope/PH:
 B2M Building Science Inc.
 Graham Pugh
 224 W. 8th Avenue
 Vancouver, BC V5Y 1K2
 Email: g.pugh@b2m.com
 Phone: 1 604 675 1181 x 251

Building Code:
 GCL CONSULTANTS LTD
 Andrew Hamerstein
 430 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: andrew@gcl.ca
 Phone: 604.685 4849

Civil Engineer:
 AECOM Engineering Services Ltd.
 Nathan Dunlop
 Suite 505, 3360 Cadogan Street
 Victoria, BC V8K 4K3
 Email: nathan.dunlop@aecom.com
 Phone: 778 745 2817

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 James Parton
 818 Commercial Street
 Victoria, B.C. V8W 1K4
 Email: james@lombardna.com
 Phone: 250 386 3338

Geotechnical Engineer:
 GeoPac Consulting
 Matt Kahan
 1170 W. 72nd Avenue
 Vancouver, BC V5Y 2R2
 Email: matt@geopac.ca
 Phone: 604 439 0322 ext. 225

Traffic:
 Burt & Associates
 Brian Johnson
 Suite 421, 445 Ross Street
 Victoria, BC V8W 2J2
 Email: bjohnson@burtandco.com
 Phone: 250 542 8122

Electrical:
 AEG
 Brad Gu Yang
 1330 Granville St.
 Vancouver, BC V6Z 1K7
 Phone: 604.685 2719
 Email: brad.gu@aegelectrical.com

Mechanical:
 A&F Group
 Kevin Shea
 1105 B Street Hastings Street
 Vancouver, BC V6C 2K6
 Email: kevin@afgroup.com
 Phone: 604 684 5595



Not For Construction

Date	Description
10 Jul 24, 2018	1 - DEVELOPMENT PERMIT APPLICATION
9 Jan 11, 2018	2 - REVISION APPLICATION
8 Dec 23, 2017	3 - ADDITIONAL MATERIALS
7 Oct 23, 2017	4 - ADDITIONAL MATERIALS

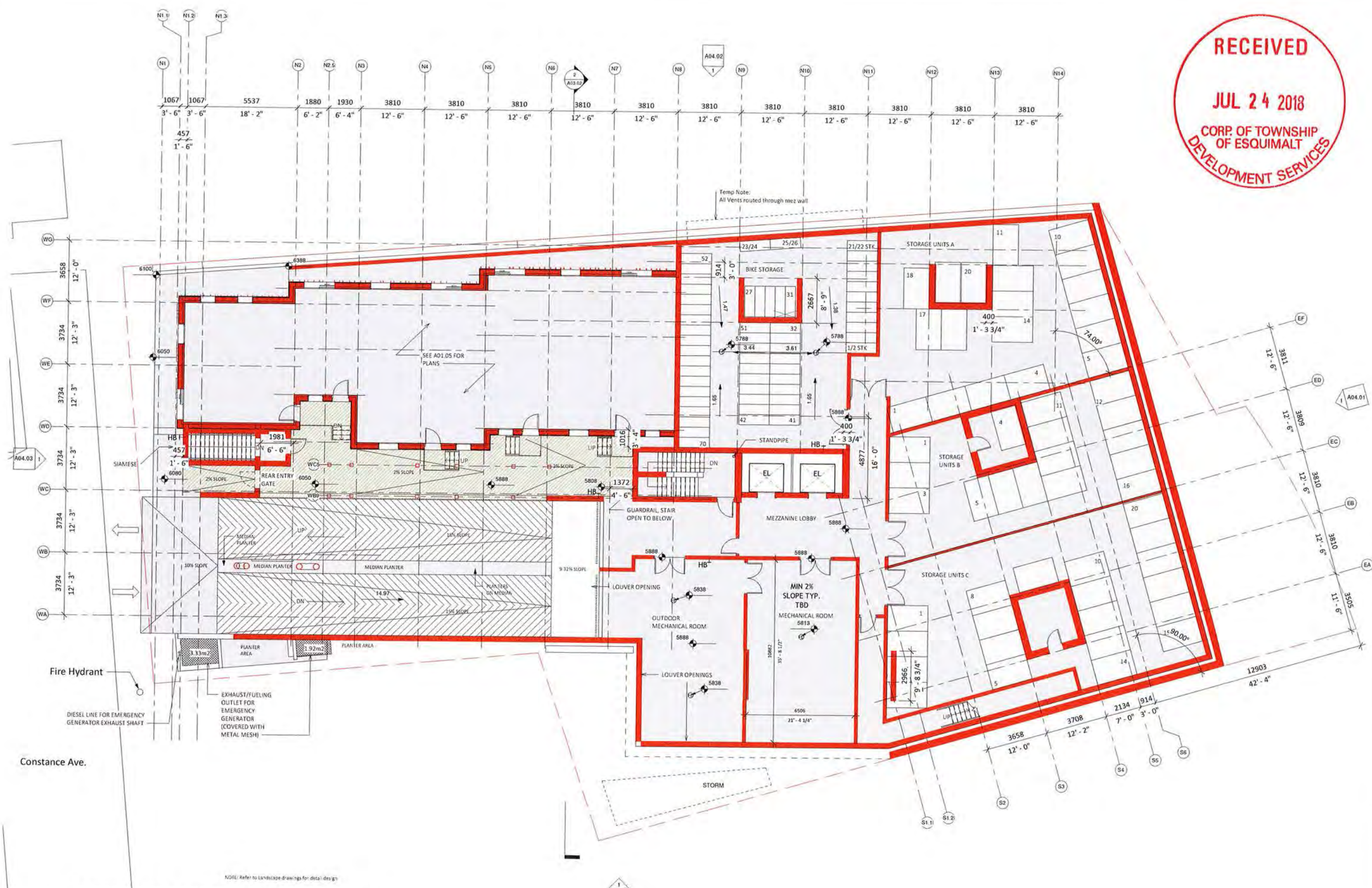
Copyright reserved. This design and the drawings are the exclusive property of Lang Wai Architecture & Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or for any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all dimensions, elevations, details and levels to identify any errors and omissions; ascertain any discrepancies; accept responsibility for the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 818 Granville Avenue, Constance Avenue
 100, 800, 822 Admirals Road
 Esquimalt, B.C. V8Y 6W7
 Lead Architect:
 P.O. BOX 4541
 801 V
 Phone: 250.353.5163

A01.04

Title:
Mezzanine Floor Plan

Scale: 1:100 File: CL_03
 Date: 20180724 DWG:
 Drawn: Author
 Reviewed: DS



NOTE: Refer to Landscape drawings for detail design
 FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

1 Mezzanine
 1:100



Client:
Standing Stone Developments Ltd.
Carey Gilman, Tony Grant
10025 104 Ave SW
Edmonton, AB, T2J 2G2
Email: carey@standingstone.ca, tonyg@standingstone.ca
Phone: 780.263.4537 (Toll Free)

Architect:
LWPAC
Lang Wilson Practice Inc. Architecture Culture
Oliver Lang, Architect #BC
1333 West 33rd Avenue
Vancouver, BC, V6R 1N4, Canada
Email: oliver@lwpac.com
Phone: 604.733.7000

Structural:
Equilibrium Consulting Inc.
Robert Walsky
250-360 Street 8th Avenue
Vancouver, BC, V5T 3K2
Email: rtw@equilibrium.ca
Phone: +1 604 752 1422

Building Envelope/PH:
KDA Building Science Inc.
Gordon Finch
224 W 8th Avenue
Vancouver, BC, V5R 1G6
Email: gfinch@kda.com
Phone: 604 875 1181 x1251

Building Code:
CML CONSULTANTS LTD
Andrew Flinn
405 Granville Street, Suite 900
Vancouver, BC, V6C 1T2
Email: andrew@cmlltd.com
Phone: 604 683 4443

Civil Engineer:
ACE Barney Consulting Services Ltd
Nathan Souty
Suite 500, 2900 Quilley Street
Vancouver, BC, V6K 4A3
Email: nathan@acebarney.com
Phone: 779 746 7617

Landscape Architect:
Lombard North Group (L.N.G.) Inc.
James Parkin
838 Commercial Street
Vancouver, B.C. V6P 1T1
Email: james@lombardng.ca
Phone: 202 366 3326

Geotechnical Engineer:
GeoPacific Consultants
Mark Smith
1759 W 7th Avenue
Vancouver, BC, V6P 2P2
Email: msmith@geopacific.ca
Phone: 604 439-0022 ext. 228

Traffic:
Sun & Associates
Simon Eaton
Suite 411, 645 Port Street
Vancouver, BC, V6C 2G2
Email: simon@sunandassociates.com
Phone: 604 683 8232

Electrical:
415
Brad Gu Yang
1370 Granville St.
Vancouver, BC, V6Z 1K7
Phone: 604.695.2710
Email: brad@415engineering.com

Mechanical:
AKG Group
Kevin Stone
1100-8 West Hastings Street
Vancouver, BC, V6E 2R4
Email: kstone@akggroup.ca
Phone: 604 684 5991

REGISTERED ARCHITECT
OLIVER LANG
JUL 23 2018
BRITISH COLUMBIA

Not for Construction:
All dimensions to be verified on site

10	JUL 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	JAN 31, 2018	RECORDING APPLICATION - ADDITIONAL MATERIAL
8	DEC 12, 2017	RECORDING APPLICATION - ADDITIONAL MATERIAL
7		
6		
5		
4		
3		
2		
1		

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all dimensions, dimensions, details and levels to identify any errors and omissions against the Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
899 Constance Avenue, Constance Avenue,
RMA 605, 021 Admin. Bldg.
Downtown (D.C.), V6B 6M9
Legal Lot Description:
P.L.S. 004574413
Lot 1
Plan V1P13563

A01.05

Title:
L1 Floor Plans

Scale: 1:100
Date: 02-23-18
Drawn: Author
Reviewed: CL



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 1
1:100



Client:
**Standing Stone
Developments Ltd.**

Client Office: 700 Grant
1000 8th Ave W
Esquimalt, BC, V1A 3G2
Email: cs@standingstone.ca
Phone: 780.253.8377 (Toll)

Architect
LWPAC
Lang Wilson Practice in Architecture Culture

Colin Lang, Architect BREC
3333 West 30th Avenue
Vancouver, BC, V6R 7M6, Canada
Email: colin@lwpac.com
Phone: 604.271.7000

Structural
Equilibrium Consulting Inc.
Robert MacKay
208-388 West 8th Avenue
Vancouver, BC, V6P 1Z3
Email: rm@equilibrium.ca
Phone: +1 604 702 1422

Building Envelope/PH
Graham Finch
224 W 8th Avenue
Vancouver, BC, V6P 1K5
Email: gfinch@gh.com
Phone: 604.671.1531 x 201

Building Code
GAL CONSULTANTS LTD.
Andrew Macneil
409 Granville Street, Suite 950
Vancouver, BC, V6C 1E2
Email: ahp@gal.ca
Phone: 604.683.4443

Civil Engineer
McKenney Consulting Services Ltd.
Nathan Dunlop
Suite 302, 760 Quadra Street
Victoria, BC, V8B 4L3
Email: n.dunlop@mcckenney.com
Phone: 778.760.7417

Landscape Architect
Landscape North Group (L.N.G.) Inc.
James Parkin
836 Commercial Street
Victoria, BC, V8P 1B1
Email: jparkin@lndscpr.ca
Phone: 250.360.3000

Geotechnical Engineer
Geotechnical Consultants
Wali Khan
1715 W 7th Avenue
Vancouver, BC, V6P 1J3
Email: w.khan@geotech.ca
Phone: 604.433-0222 ext. 222

Traffic
Burt & Associates
Shona Burt
Suite 415, 445 Ross Street
Victoria, BC, V8P 1G2
Email: shona@burtandassociates.com
Phone: 250.521.6322

Electrical
AES
Brad Gu Yang
1130 Granville St.
Vancouver, BC, V6C 1A7
Phone: 604.676.3719
Email: brad@aesengineering.com

Mechanical
M&L Group
Kevin Stok
1150-B West Hastings Street
Vancouver, BC, V6E 2K4
Email: kstok@mlgroup.ca
Phone: 604.684.7000



Not for Construction
All dimensions to be verified on site

Date	Revision / Action
10 Jul 24, 2013	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REVISION APPLICATION 1 - ADDITIONAL MATERIAL
8 Dec 22, 2017	REVISION APPLICATION 6 - ADDITIONAL MATERIAL
1 Date	Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or to be used for that purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, accuracy and discrepancies between this drawing and the full Contract Documents and immediately bring same items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
598 Constance Avenue, Constance Avenue,
Esquimalt, BC, V1A 4R9
Legal Lot Description:
P.L.S. 20457451
SIT 1
Plan V191552

A01.06

Title:
L2 Floor Plans

Scale	File
Scale: 1/100	File: CL20
Date: 2018-07-24	DWG:
Drawn: 4/22/18 aw	Author:
Drawn: Author	Reviewed: CL



NOTE: 1. Refer to Landscape drawings for detail design
2. Final location of Water Vault and Storm Tanks to be determined during detail development

FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 2
1:100



Client:
Standing Stone
 Developments Ltd.
 Casey Gibson, Troy Grant
 1805 101a Ave W
 Edmonton, AB T5J 2G2
 Email: casey@standingstone.ca
 troy@standingstone.ca
 Phone: 780.363.8537 (Fax)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect +BC
 1313 West 20th Avenue
 Vancouver, BC V6P 1M6, Canada
 Email: oliver@lwpac.com
 Phone: 604.737.5500

Structural:
 Equilibrium Consulting Inc.
 Robert Macaulay
 222 188 West 8th Avenue
 Vancouver, BC V5P 1A2
 Email: rmacaulay@equilibrium.com
 Phone: +1 604 755 1422

Building Envelope/PH:
 RDM Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V5P 1A2
 Email: gfinch@rdm.com
 Phone: 604 675 1161 x 251

Building Code:
 ONE CONSULTANTS LTD.
 Andrew Hornum
 408 Granville Street, Suite 950
 Vancouver, BC V6C 1T2
 Email: andy@oneconsultants.com
 Phone: 604 683 4443

Civil Engineer:
 McChamney Consulting Services Ltd.
 Nathan Dunlop
 Suite 500, 3905 Quatre Street
 Victoria, BC V8M 4A3
 Email: n.dunlop@mcchamney.com
 Phone: 778 746 7437

Landscape Architect:
 Lombard North Group (L.N.G.) Inc.
 Jason Kallow
 836 Commercial Street
 Victoria, BC V8M 1A1
 Email: j.lombard@lombardna.com
 Phone: 250 388 3335

Geotechnical Engineer:
 GeoPacific Consultants
 Neil Fagan
 1776 W 20th Avenue
 Vancouver, BC V6P 1R2
 Email: n.fagan@geopacific.ca
 Phone: 604 683 2022 ext. 226

Traffic:
 Bart & Associates
 Simon Bart
 Suite 411, 441 Burr Street
 Victoria, BC V8W 1S2
 Email: simon@bartandassociates.com
 Phone: 250 384 8102

Electrical:
 Brad Durang
 1030 Granville St.
 Vancouver, BC V6H 1A7
 Phone: 604 695 2719
 Email: brad@braddurang.com

Mechanical:
 AEC Group
 Kevin Gray
 1700-B West Hastings Street
 Vancouver, BC V6P 1A4
 Email: kevin@aecgroup.com
 Phone: 604 684 3900



Not for Construction
 All Dimensions to be verified on site

Date	Revised / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REZONING APPLICATION & ADDITIONAL MATERIAL
2 Sep 22, 2017	REZONING APPLICATION & ADDITIONAL MATERIAL
4	

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or other purposes without the written consent of the architect. Prior to commencement of the work, the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, coordinate any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 899 Gloucester Avenue, Gloucester Avenue,
 656, 658, 622 Admirals Road,
 Esquimalt, BC, V8B 6W9
 Legal lot Description:
 P.I.D. 004574451
 Lot:
 Plans V1P11563

Title:
A01.07

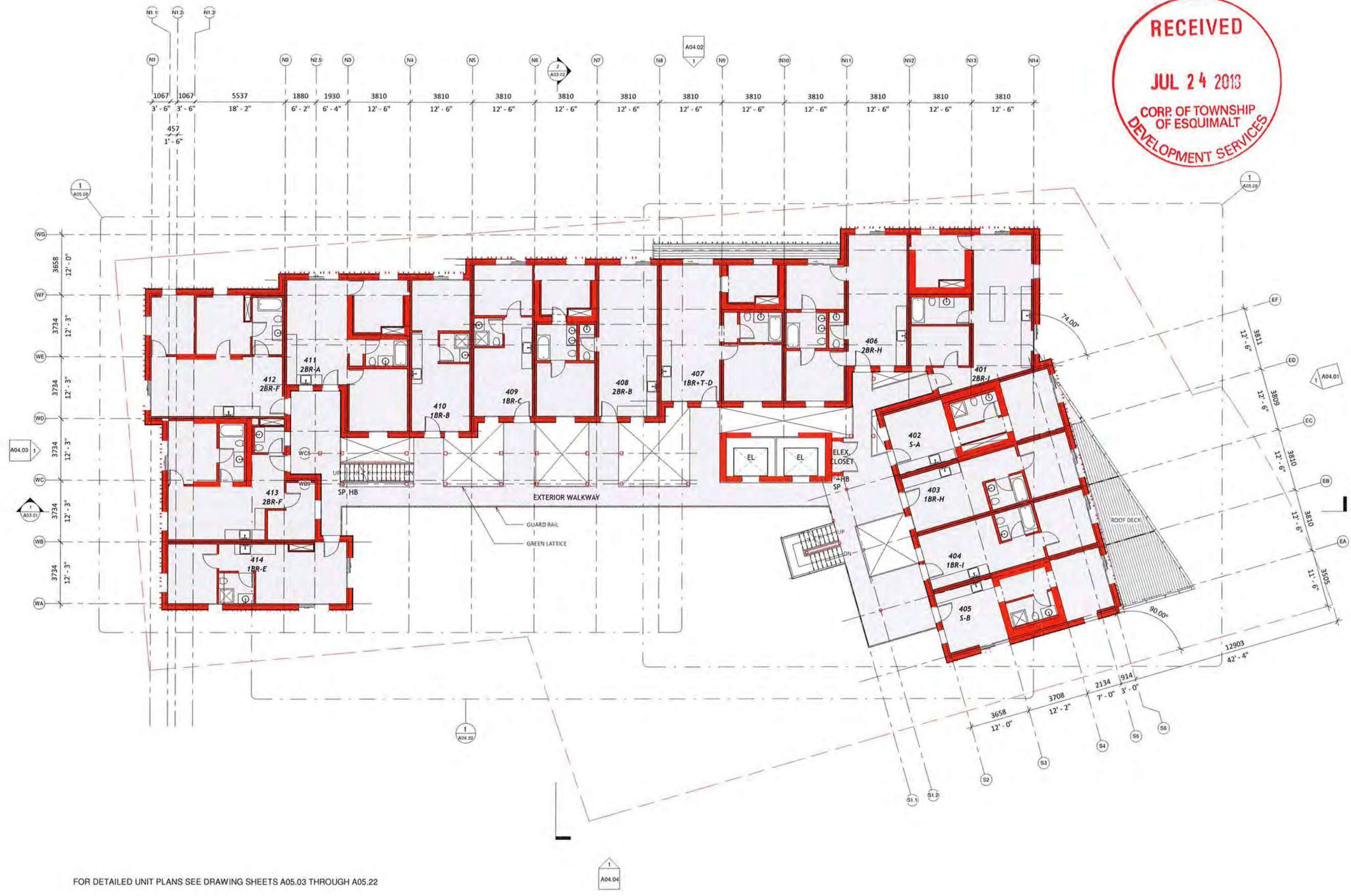
Level:
L3 Floor Plans

Scale:	File:
Scale: 1:100	File: CL_03
Drawn: Author	Design: CL_03
Reviewed: CL	Revision:



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 3
 1:100



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Client:
Standing Stone Developments Ltd.
Cathy Byrne, Proj. Mgr.
10025 174th Ave. S.E.
Edmonton, AB, T5C 1G2
Email: cbyrne@standingstone.com
standingstone.com
Phone: 780.253.8317 (Toll)

Architect:
LWPAC
Lang Wilson Practice in Architecture Culture
Glenys Lang, Architect ABC
1035 West 20th Avenue
Vancouver, BC, V6M 1W6, Canada
Email: office@lwpac.net
Phone: 604.251.7000

Structural:
Equilibrium Consulting Inc.
Robert Watzyn
202 188 West 85th Avenue
Vancouver, BC, V5T 1Q2
Email: r.watzyn@equilibrium.com
Phone: +1 604 251 1022

Building Envelope/PH:
EPM Building Science
Cristian Focsa
224 West 8th Avenue
Vancouver, BC, V5T 1W5
Email: cfocsa@epm.com
Phone: 604 675 1181 x 251

Building Code:
GHC CONSULTANTS LTD.
Andrew Hammel
407 Columbia Street, Suite 900
Vancouver, BC, V6C 1T2
Email: andrew@ghc.ca
Phone: 604.683.4443

Civil Engineer:
McCauley Consulting Services Ltd.
Noelhan Durgin
Suite 300, 1900 Quatre Street
Vancouver, BC, V6H 4A5
Email: noelhan@mc.ca
Phone: 778 746 7417

Landscape Architect:
Landscape North Group (L.N.G.) Inc.
James Fawcett
288 Commercial Street
Vancouver, BC, V6B 1K7
Email: james@lndscpr.com
Phone: 253 386 3335

Geotechnical Engineer:
GeoPac/IC Consultants
Walt Moran
1779 West 75th Avenue
Vancouver, BC, V6P 0J2
Email: w.moran@geopac.com
Phone: 604 432 0922 ext. 226

Traffic:
Burt & Associates
Sharon Burt
Suite 401, 445 Fort Street
Vancouver, BC, V6B 1G2
Email: sburt@burtandassociates.com
Phone: 255 542 6122

Electrical:
JES
Riad Ouyang
1310 West 41st Street
Vancouver, BC, V6M 1V7
Phone: 604 619 7715
Email: riad@ouyangengineering.com

Mechanical:
APE Group
Kevin Shea
1700 West 41st Street
Vancouver, BC, V6M 1V7
Email: kevin@apegroup.com
Phone: 604 684 5495



Not for Construction
All dimensions to be verified on-site

Date	Revision
Jul 24, 2013	DEVELOPMENT PERMIT APPLICATION
Nov 21, 2013	REVISION APPLICATION
Dec 21, 2017	REVISION APPLICATION
	ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, void issued for that purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents; and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
699 Constance Avenue, Constance Avenue,
106, 600, 602 Alvinna Road,
Edmonton, AB, T5A 0W7
Legal Lot Description:
P.L.S. 00424545
Lot 1
EPA 10115663

A01.08

Title:
L4 Floor Plans

Scale	Date	Drawn	Checked
1:100	20130724	Author	GL
1:100			

Level 4
1:100



Client: Standing Stone Developments Ltd.
Clare Elburn, Tony Grant
10025 151a Ave SW
Edmonton, AB, T5J 1J2
Email: clare@standingstone.ca, tony@standingstone.ca
Phone: 903.213.1735

Architect: LWPAC
Lang Wilson Practice in Architecture Culture
Oliver Lang, Architect AIBC
1333 West 105 Avenue
Vancouver, BC, V6R 1M6, Canada
Email: oliver@lwpac.net
Phone: 604.752.7000

Structural: Equilibrium Consulting Inc.
Robert Maczuga
202-288 West 83rd Avenue
Vancouver, BC, V3P 3A2
Email: rmaczuga@equilibrium.ca
Phone: +1 604 752 1432

Building Envelope/PH: ADE Building Science Inc.
Gordon Mack
224 W 4th Avenue
Vancouver, BC V6B 1R3
Email: gmack@ade.com
Phone: 1 604 675 1181 x 251

Building Code: CML CONSULTANTS LTD.
Andrew MacIsaac
408 Granville Street, Suite 500
Vancouver, BC V6C 1T3
Email: amac@cmlltd.com
Phone: 1 604 682 8849

Civil Engineer: McElroy Consulting Services Ltd.
Michael Doherty
Suite 500, 2160 Quays Street
Vancouver, BC V6K 4K7
Email: michael@mcelroy.com
Phone: 1 779 746 7417

Landscape Architect: Lombard North Group (L.N.G.) Inc.
James Parlow
435 Commercial Street
Vancouver, BC V6B 1H1
Email: james@lombardnpg.com
Phone: 1 202 366 3416

Geotechnical Engineer: GeoPacific Consultants
Wes Egan
1779 W 70th Avenue
Vancouver, BC V6P 1P2
Email: wes@geopacific.ca
Phone: 1 604 437-2622 ext. 226

Traffic: Burt & Associates
Steven Burt
Suite 421, 640 Park Street
Vancouver, BC V6B 6G2
Email: sburt@burtandassociates.com
Phone: 1 202 512 4182

Electrical: Brad Ouyang
1310 Granville St.
Vancouver, BC V6C 1S7
Phone: 604 655 3719
Email: brad@oyangengineering.com

Mechanical: AMT Group
Adam Shih
1100-8 West Hastings Street
Vancouver, BC, V6E 2J6
Email: adam@amtgroup.ca
Phone: 604 684 5900



Not for Construction
All Dimensions to be verified on-site

NO	DATE	DESCRIPTION
1	AUG 24, 2018	DEVELOPMENT PERMIT APPLICATION
2	JUN 15, 2018	FEEDING APPLICATION
3		ADDITIONAL MATERIAL
4	DEC 22, 2017	ADDITIONAL MATERIAL
5		ADDITIONAL MATERIAL
6		ADDITIONAL MATERIAL
7		ADDITIONAL MATERIAL
8		ADDITIONAL MATERIAL
9		ADDITIONAL MATERIAL
10		ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project: CORVETTE LANDING
610 Comstance Avenue, Comstance Avenue,
616, 616, 616, 616, 616, 616, 616, 616,
Esquimalt, BC, V8A 6N9
Project Description:
P.O. BOX 5481
Box 1
P.O. BOX 5481

Title: A01.09
Level 5
L5 Floor Plans
Scale: 1:100
Date: 2018.07.24
Author: CL/SD
Reviewer: CL/SD



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 5
1 : 100



Client:
Standing Stone Developments Ltd.
 Caryn Byrne, Troy Grant
 1925 18th Ave SW
 Edmonton, AB, T6J 3J2
 Email: cbyrne@standingstone.ca
 tgrant@standingstone.ca
 Phone: 781 251 8517 (troy)

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect ABC
 3333 West 53rd Avenue
 Vancouver, BC, V6R 1M6, Canada
 Email: oliver@lwpac.com
 Phone: 604 278 7000

Structural
 Equilibrium Consulting Inc.
 Robert Middel
 202 West 8th Avenue
 Vancouver, BC, V6P 1J2
 Email: rmiddle@equilib.com
 Phone: +1 604 753 1432

Building Envelope/PH
 ESH Building Science Inc.
 Graham Finch
 224 West 8th Avenue
 Vancouver, BC, V6P 1G5
 Email: gfinch@esh.com
 Phone: 604 679 1181 x.251

Building Code
 GHL CONSULTANTS LTD
 Andrew Hornum
 407 Granville Street, Suite 900
 Vancouver, BC, V6C 1E2
 Email: andrew@ghl.ca
 Phone: 604 685 4849

Civil Engineer
 MCH Energy Consulting Services Ltd.
 Nathan Durbin
 Suite 300, 3960 Quilley Street
 Victoria, BC, V8M 1G2
 Email: n.durbin@mchenergy.com
 Phone: 250 766 7617

Landscape Architect
 Lombard North Group (L.N.G.) Inc.
 James Parkes
 816 Compend Street
 Victoria, BC, V8M 1G2
 Email: james@lombard.ca
 Phone: 250 366 3330

Geotechnical Engineer
 Geo Pacific Geotechnics
 West Egan
 1779 W 75th Avenue
 Vancouver, BC, V6P 2P2
 Email: kwan@geopacific.ca
 Phone: 604 470 0022 ext. 210

Traffic
 Burn & Associates
 Simon Burn
 Suite #1, 445 Park Street
 Victoria, BC, V8W 2G2
 Email: simon@burnengr.com
 Phone: 250 528 8122

Electrical
 AEG
 Brad DuYang
 1330 Granville St.
 Vancouver, BC, V6Z 1M7
 Phone: 604 675 3719
 Email: brad.duylang@aeg.ca

Mechanical
 AEG Group
 Kevin Shea
 1100 B.W. Hastings Street
 Vancouver, BC, V6C 2E4
 Email: kevin@aeagroup.ca
 Phone: 604 686 3900

REGISTERED ARCHITECT
 JUL 23 2018
 BRITISH COLUMBIA

Project:
CORVETTE LANDING
 608 Constance Avenue, Constance Avenue,
 105, 602, 602, 602, 602, 602, 602, 602,
 Equipment (BC), V6A 6N9
 Legal Use Description:
 F.S. 004374651
 UOI
 Plans V011003

Title:
L6 Floor Plans
 Scale: 1:100 File: CL_00
 Date: 2018.07.24 DWG:
 Drawn: Author
 Reviewed: DC



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 6
 1:100



Client:
Standing Stone Developments Ltd.
 1000 15th Ave NW
 Edmonton AB, T5A 0A2
 Email: cory@standingstone.ca
 Phone: 780.453.8337 (T501)

Architect
L W P A C
 Lang Wilson Practice in Architecture Culture
 Oliver Ling, Architect, AIBC
 1338 West 24th Avenue
 Vancouver, BC V6K 1M6, Canada
 Email: oliver@lwpac.net
 Phone: 604.275.2020

Structural
 Equilibrium Consulting Inc.
 Robert MacKay
 222 Burrard St. 8th Floor
 Vancouver, BC V6C 1A2
 Email: rmac@equilibrium.ca
 Phone: +1 604 270 1442

Building Envelope/PH
 ADH Building Science Inc.
 Graham Pugh
 224 W 8th Avenue
 Vancouver, BC V6K 1K5
 Email: g.pugh@adh.com
 Phone: 604.673.1181 x251

Building Code
 CIVIL CONSULTANTS LTD
 Andrew Harmsworth
 408 Columbia Street, Suite 905
 Vancouver, BC V6C 1T2
 Email: aharms@cc.ca
 Phone: 604.684.4444

Civil Engineer
 McWhinney Consulting Services Ltd.
 Nelson Dalrymple
 Suite 200, 1945 Quays Street
 Victoria, BC V8M 1A3
 Email: n.dalrymple@mcwhinney.com
 Phone: 778.746.7417

Landscape Architect
 Lombard South Group (S.G.) Inc.
 James Parkin
 256 Compton Street
 Victoria, B.C. V8M 1A8
 Email: james@lombardsouth.ca
 Phone: 250.386.3336

Geotechnical Engineer
 GeoPacific Consultants
 West Island
 1979 W. 75th Avenue
 Vancouver, BC V6P 6J2
 Email: info@geopacific.ca
 Phone: 604.439.0922 ext. 225

Traffic
 Bure & Associates
 Simon Bure
 Suite 421, 445 First Street
 Vancouver, BC V6C 1S2
 Email: sb@bureandassociates.com
 Phone: 250.501.6122

Electrical
 AJS
 Fred Gu, Eng.
 1310 Crofton St.
 Vancouver, BC V6E 1M7
 Phone: 604.656.2719
 Email: fred.gu@ajselec.com

Mechanical
 AMI Group
 Kevin Shep
 1100-B West Hastings Street
 Vancouver, BC, V6E 2W4
 Email: kevin@amiengineering.com
 Phone: 604.684.1505



Not for Construction
 All dimensions to be verified on-site

#	Date	Issued / Revision
1	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
2	Jan 31, 2018	REGIONAL APPLICATION
3	Dec 28, 2017	REGIONAL APPLICATION - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, datum and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 408 Columbia Avenue, Coquitlam Avenue,
 204, 404, 402 Anthony Road,
 Esquimalt BC, V8W 2W9
 Project Director:
 P.J.D. 10451445
 Date:
 2018-07-24

A01.11

Title:
L7 Floor Plans

Scale:	File:
1:100	CL_20
Date: 2018-07-24	DSG1
Drawn: Author	Revised:
Reviewed: DL	



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 7
 1:100



Client
Standing Stone Developments Ltd.

Casey Gilman, Title Grant
 1800 104 Ave SW
 Edmonton AB, T6J 3G2
 Email: casey@standingstone.ca
 standingstone.com
 Phone: 780.552.8571 (Toll Free)

Architect
LWPAC

Langdon Practice in Architecture Culture
 Other Lang. Architect ABC
 3300 West 7th Avenue
 Vancouver, BC V6R 1K5, Canada
 Email: office@lwpac.net
 Phone: 604.272.7000

Structural
 Equilibrium Consulting Inc.
 Robert Wallace
 202-188 West 4th Avenue
 Vancouver, BC V6P 3G2
 Email: rwallace@equilib.com
 Phone: +1 604 752 1423

Building Envelope/PH
 80N Building Science Inc.
 Graham Finch
 224 W 6th Avenue
 Vancouver, BC V6P 1K5
 Email: gfinch@80n.com
 Phone: 604 673 1881 x 211

Building Code
 GHL CONSULTANTS LTD
 Andrew Hammond
 401 Granville Street, Suite 500
 Vancouver, BC V6C 1T2
 Email: andrew@ghl.ca
 Phone: 604 684 4449

Civil Engineer
 McLarney Consulting Services Ltd.
 Nathan Smith
 Suite 300, 3300 Quays Street
 Victoria, BC V8R 4K1
 Email: nsmith@mcclarney.com
 Phone: 779 745 7417

Landscape Architect
 Lombard North Group (L.N.G.) Inc.
 James Pattison
 838 Glenora Street
 Victoria, B.C. V8W 1R4
 Email: james@lombard.ca
 Phone: 250 361 3335

Geotechnical Engineer
 GeoPacific Consultants
 Mark Bolen
 1770 W 72nd Avenue
 Vancouver, BC V6M 2K2
 Email: mark@geopacific.ca
 Phone: 604 439-0022 ext. 225

Traffic
 Burns & Associates
 Simon Dalton
 Suite 471, 445 Fort Street
 Victoria, BC V8R 1G3
 Email: simon@burnsinc.com
 Phone: 250 952 4322

Electrical
 AJS
 Brad Gu Tang
 1530 Granville St.
 Vancouver, BC V6Z 1A7
 Phone: 604 683 2719
 Email: brad@ajsgang.com

Mechanical
 AVE Group
 Kevin Shaw
 1100-B West Hastings Street
 Vancouver, BC V6E 2A4
 Email: kevin@avegroup.ca
 Phone: 604 684 5905

Professional Engineer
PRESTON OLIVER LANG
 JUL 23 2018
 BRITISH COLUMBIA

Not for Construction
 All Dimensions to be verified on site

10 Jul 24, 2018 DEVELOPMENT PERMIT APPLICATION
 6 Jan 31, 2018 REGIONAL APPLICATION
 7 Jan 31, 2018 REGIONAL WATERLAW
 8 Dec 22, 2017 REGIONAL APPLICATION
 9 REGIONAL WATERLAW
 10 Date Issued / Revision

Copyright reserved. This design and the drawing are the exclusive property of Langdon Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or any other purpose without the written consent of the architect. Prior to commencement of the work, the contractor shall verify all assemblies, dimensions, elevations and levels to identify any errors and omissions, especially any discrepancies between this drawing and the General Documents and immediately bring those items to the attention of the architect for clarification.

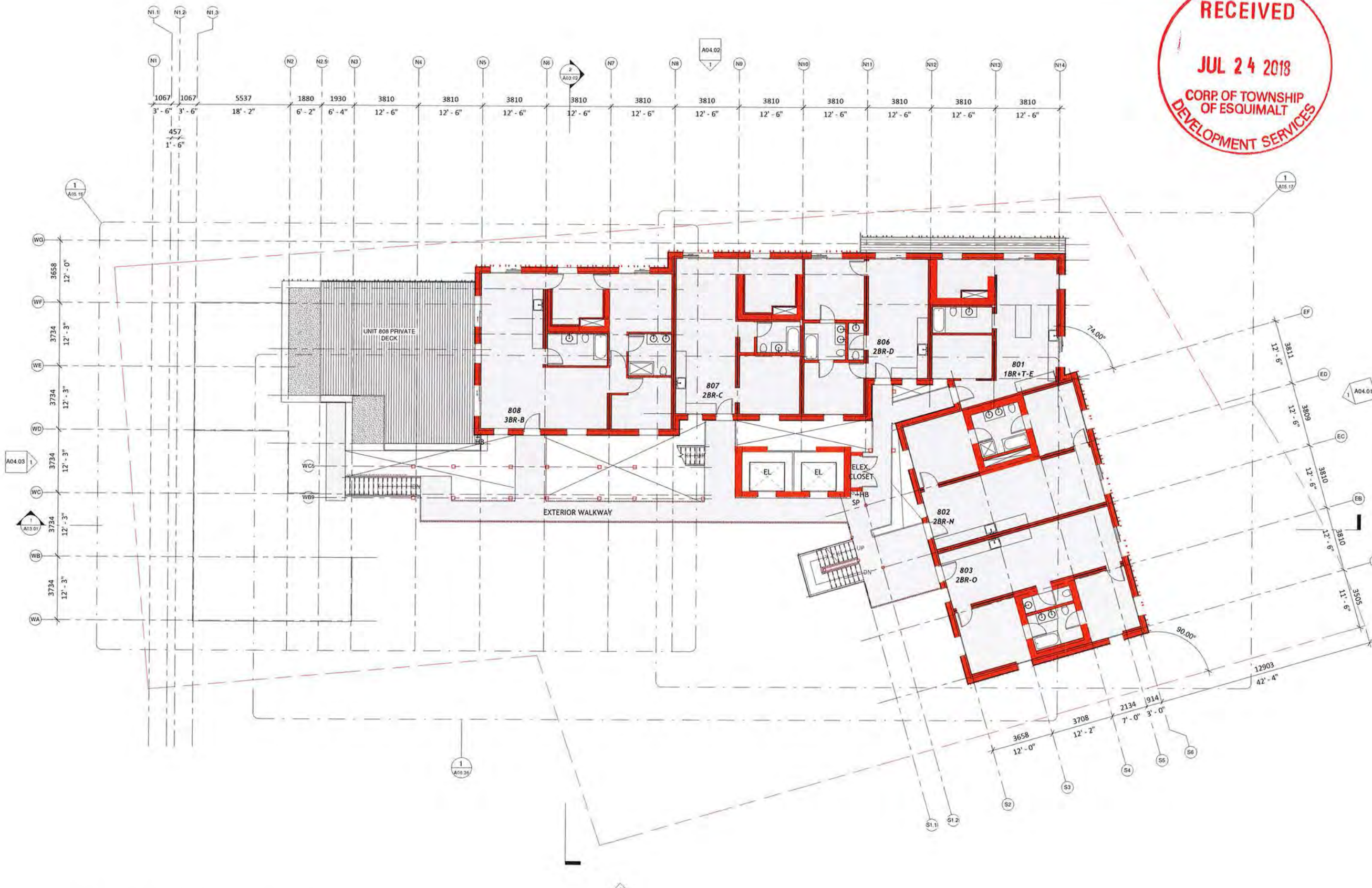
Project
CORVETTE LANDING

800 Cordova Avenue, Cordova Avenue,
 888, 880, 870 Cordova Road,
 Esquimalt BC, V1A 6N9
 Legal lot description:
 P.L.S. 0047451
 Lot 1
 Plan V15P1503

A01.12

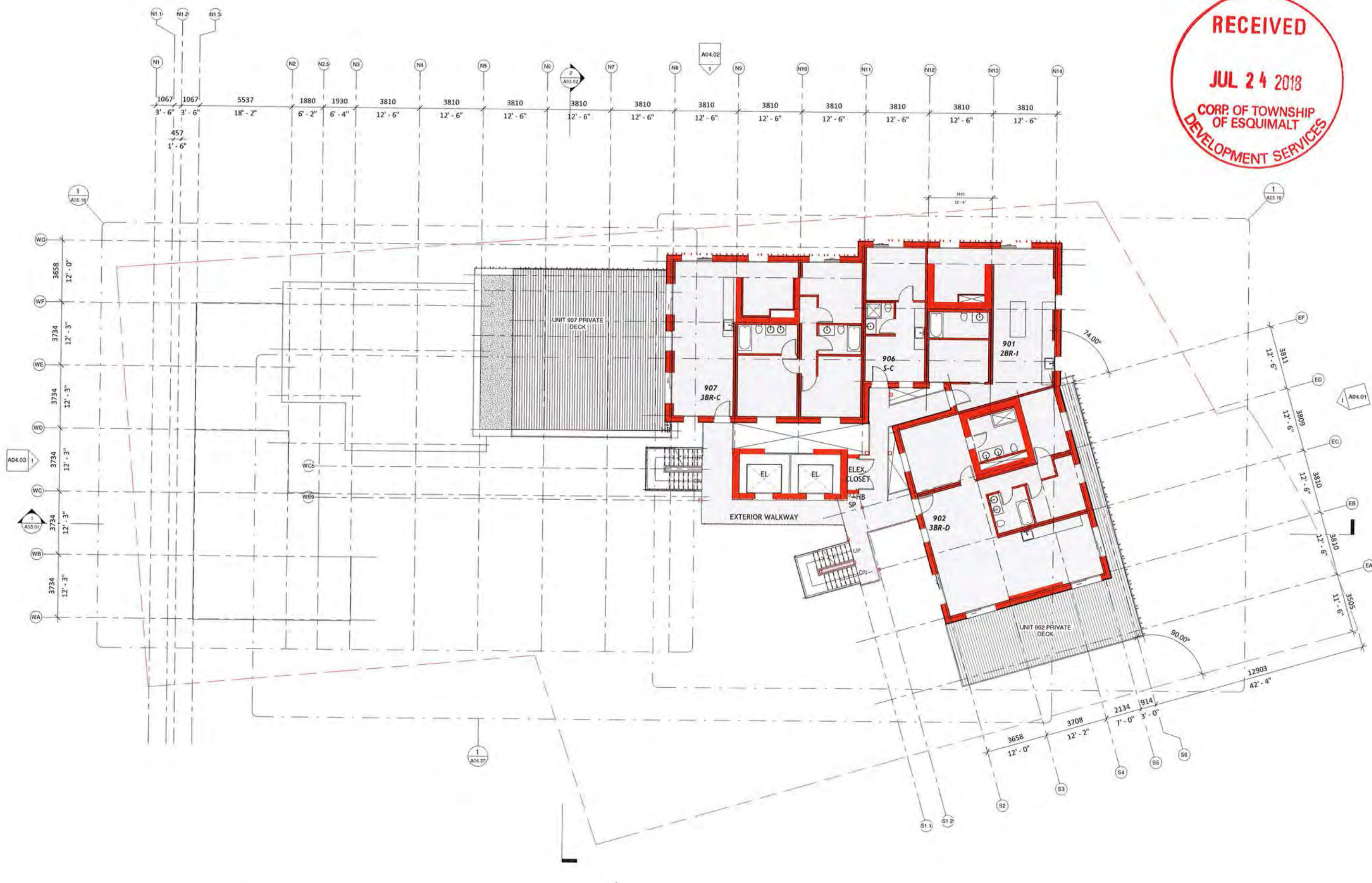
Title
L8 Floor Plans

Scale: 1:100 File: CL_20
 Date: A01.12.18 DWG:
 Drawn: JLM/ML
 Checked: CL



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 8
 1:100



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Client:
Standing Stone Developments Ltd.
 1020 1014 Ave NW
 Vancouver, BC, V5L 1G2
 Email: cove@standingstone.ca
 Phone: 783.33.8371 (10x)

Architect
LWPAC
 Long Willus Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 1033 West 5th Avenue
 Vancouver, BC, V6B 1K6, Canada
 Email: office@lwpac.net
 Phone: 604.753.7000

Structural
 Equilibrium Consulting Inc.
 Robert Wulczyn
 200 West 4th Avenue
 Vancouver, BC, V5T 1Z2
 Email: r.wulczyn@equilibrium.ca
 Phone: +1 604 703 1422

Building Envelope/PH
 ADM Building Science Inc.
 Graham Finch
 224 W 4th Avenue
 Vancouver, BC V5T 1K5
 Email: gfinch@adm.com
 Phone: 604 875 1181 v 2151

Building Code
 GBC CONSULTANTS LTD
 Andrew Thompson
 400 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: andy@gbc.ca
 Phone: 604 583 4449

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Dunlop
 Suite 200, 2900 Quadra Street
 Victoria, BC V8M 4A2
 Email: n.dunlop@mcclennan.com
 Phone: 778 765 7617

Landscape Architect
 Lombard North Group (B.C.) Inc.
 James Furbush
 438 Commercial Street
 Victoria, B.C. V8W 1K4
 Email: james@lombardna.com
 Phone: 250 369 3336

Geotechnical Engineer
 GeoPacific Consultants
 Brent McLean
 1779 W 75th Avenue
 Vancouver, BC, V6P 2S2
 Email: bmclean@geopacific.ca
 Phone: 604 439 0922 ext. 226

Traffic
 Burns & Associates
 Simon Dutton
 Suite 421, 545 Burr Street
 Victoria, BC V8P 1G2
 Email: s.dutton@burns.com
 Phone: 250 362 6122

Electrical
 ASD
 Brad Coyle
 1330 Granville St.
 Vancouver, BC, V6Z 1P7
 Phone: 604 656 3719
 Email: brad@asdelectrical.com

Mechanical
 AMT Group
 Kevin Shee
 1100-8 West Hastings Street
 Vancouver, BC, V6C 3P4
 Email: kevin@amtgroup.ca
 Phone: 604 684 5303



Not for Construction
 All Dimensions to be verified on-site

10	Jul 24, 2018	1	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	7	REVISION APPLICATION
8	Dec 22, 2017	6	REVISION APPLICATION
7	Dec 22, 2017	5	REVISION APPLICATION

* Date Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Long Willus Practice in Architecture Culture Inc. and are not to be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, exhibition, or for any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, dates and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

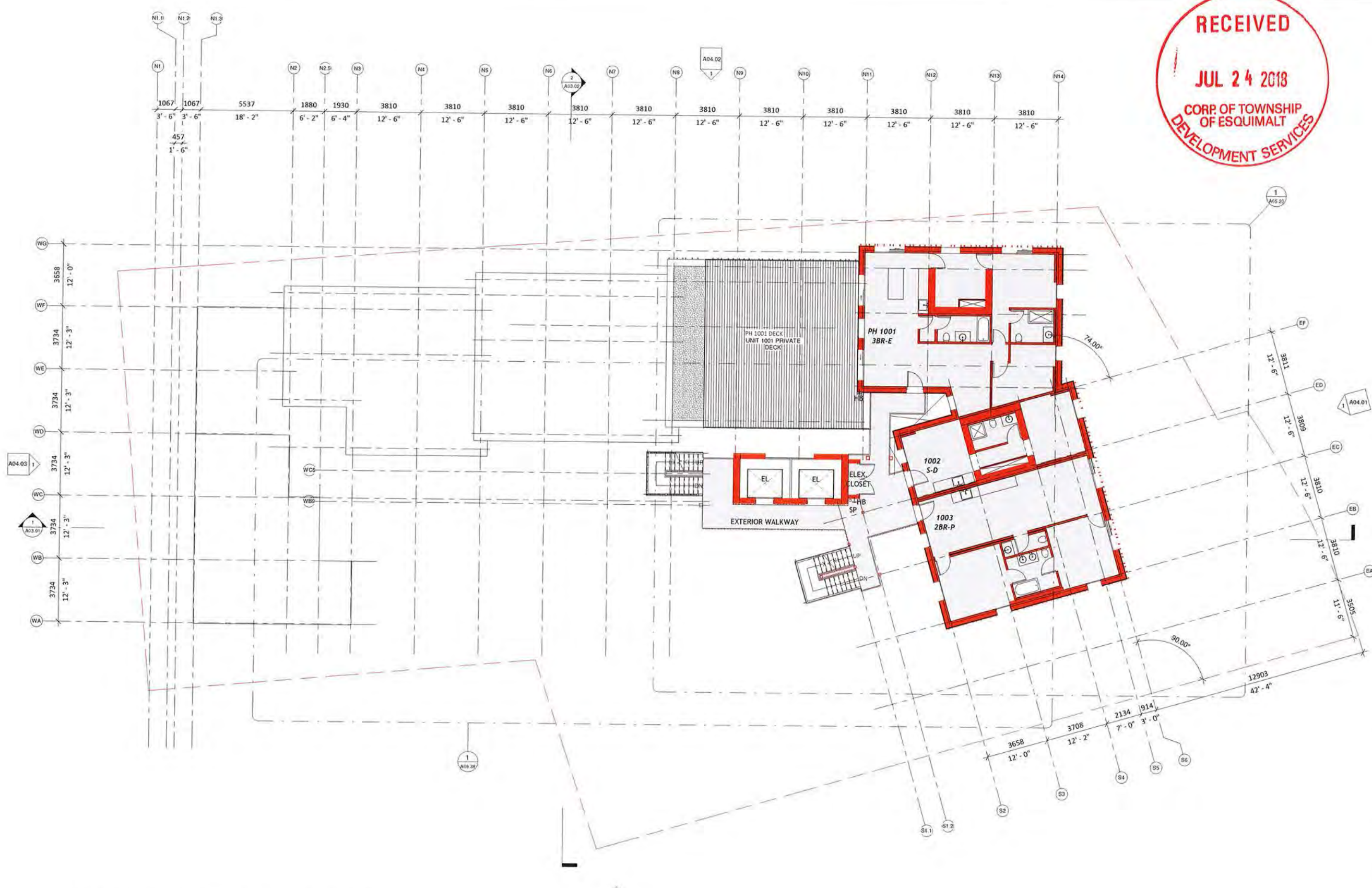
Project:
CORVETTE LANDING
 878 Constance Avenue, Constance Avenue,
 604, 605, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

A01.13

Title:
L9 Floor Plans

Scale: 1:100	File: CL_30
DATE: 2018-07-24	DWG:
Drawn: Author	Check:
Reviewed: CL	Revise:

Level 9
 1:100



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Client:
Standing Stone Developments Ltd.

Casey O'Brien, Troy Gray
1022 101st Ave NW
Edmonton, AB T5C 2J2
Email: casey@ststandingstone.com
troy@ststandingstone.com
Phone: 780.253.8317 (Toll Free)

Architect
LWPAC

Lang Wilson Practice Inc. Architecture Culture
Oliver Lang, Architect A.R.C.
1175 West 20th Avenue
Vancouver, BC V6M 1M6, Canada
Email: office@lwpac.net
Phone: 604.733.7600

Structural
Equilibrium Consulting Inc.
Robert Marzban
200 West 10th Avenue
Vancouver, BC V5T 1A2
Email: rmarzban@equilibrium.ca
Phone: +1 604 733 1422

Building Envelope/PH
3DR Building Science Inc.
Graeme Finch
224 West 8th Avenue
Vancouver, BC V5T 1K5
Email: gfinch@3dr.com
Phone: 604.675.1181 x351

Building Code
SRL CONSULTANTS LTD
Andrew Hurrensmith
400 Columbia Street, Suite 900
Vancouver, BC V5C 1T2
Email: ahurren@srl.ca
Phone: 604.683.8443

Civil Engineer
McElroy Consulting Services Ltd.
William Duggan
Suite 506, 1900 Quadra Street
Victoria, BC V8M 4A3
Email: w.duggan@mcelsrv.com
Phone: 778 745 7417

Landscape Architect
Lombard North Group (L.N.G.) Inc.
James Furlong
205 Commercial Street
Victoria, B.C. V8M 1H5
Email: james@lombardna.com
Phone: 250 336 3336

Geotechnical Engineer
Geo Pacific Consultants
Mark Wilson
1779 W 73rd Avenue
Vancouver, BC V6P 1Z2
Email: mark@geopacific.ca
Phone: 604 437 0122 ext. 226

Traffic
Burt & Associates
Simon Burt
Suite 401, 643 Park Street
Victoria, BC V8M 1S2
Email: sburt@burteng.com
Phone: 250 912 6122

Electrical
AES
Brent Ouyang
1330 Grand St.
Vancouver, BC V6C 1K7
Phone: 604 676 2274
Email: brent.ouyang@aengr.com

Mechanical
AME Group
Kevin Shea
1100-8 West Hastings Street
Vancouver, BC, V6C 2P6
Email: kevin@amegroup.ca
Phone: 604 684 5945



Not for Construction
All dimensions to be verified on-site

Rev	Date	Description
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	REVISION APPLICATION
8	Dec 22, 2017	REVISION APPLICATION & ADDITIONAL MATERIAL
7	Dec 22, 2017	REVISION APPLICATION & ADDITIONAL MATERIAL
6	Site	ASAP / Review

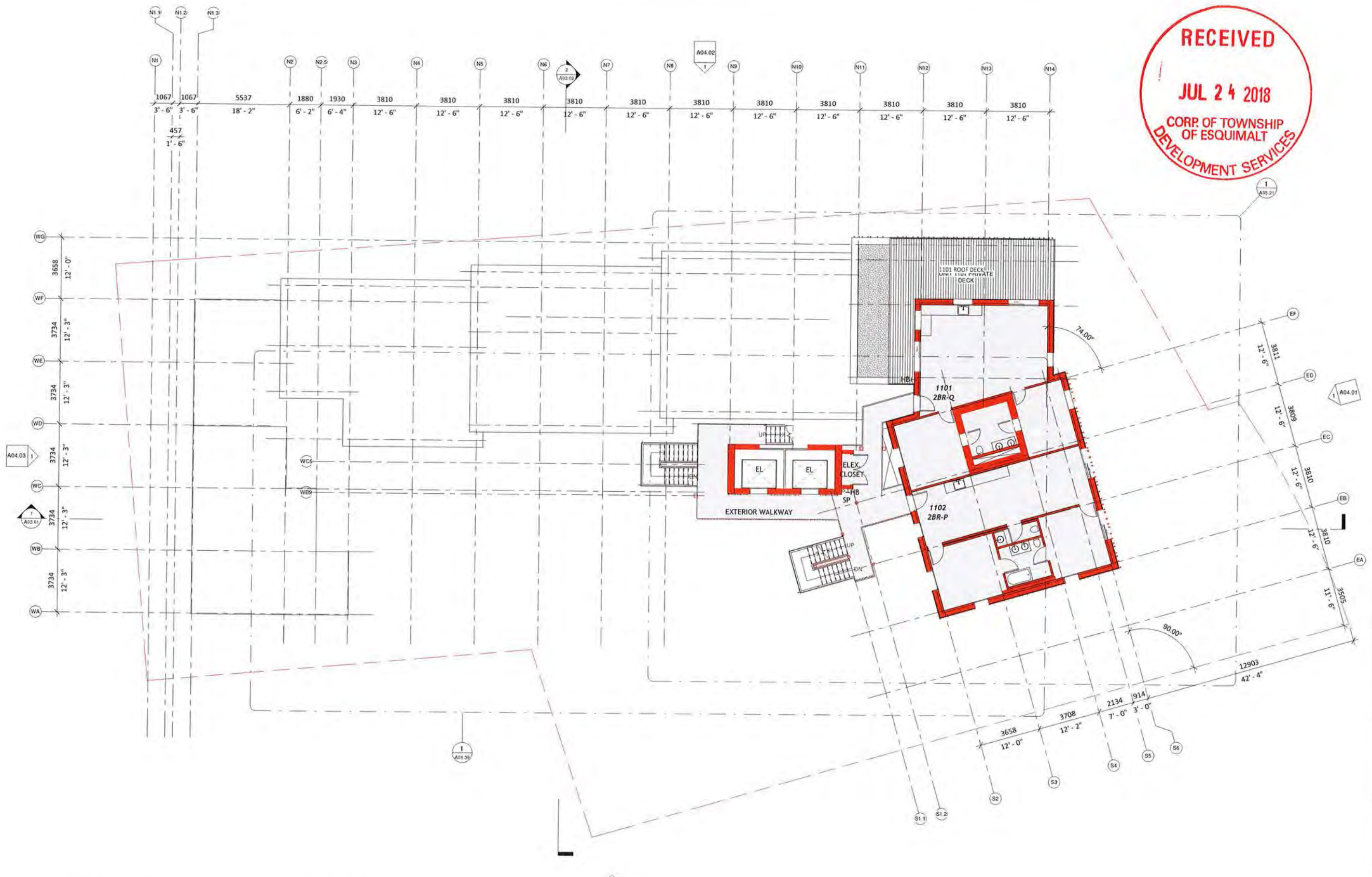
Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice Inc. Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or used for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details, and notes to identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents; and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
899 Cordova Avenue, Cordova Avenue,
894, 895, 892, 891, 890, 889, 888, 887, 886, 885, 884, 883, 882, 881, 880, 879, 878, 877, 876, 875, 874, 873, 872, 871, 870, 869, 868, 867, 866, 865, 864, 863, 862, 861, 860, 859, 858, 857, 856, 855, 854, 853, 852, 851, 850, 849, 848, 847, 846, 845, 844, 843, 842, 841, 840, 839, 838, 837, 836, 835, 834, 833, 832, 831, 830, 829, 828, 827, 826, 825, 824, 823, 822, 821, 820, 819, 818, 817, 816, 815, 814, 813, 812, 811, 810, 809, 808, 807, 806, 805, 804, 803, 802, 801, 800, 799, 798, 797, 796, 795, 794, 793, 792, 791, 790, 789, 788, 787, 786, 785, 784, 783, 782, 781, 780, 779, 778, 777, 776, 775, 774, 773, 772, 771, 770, 769, 768, 767, 766, 765, 764, 763, 762, 761, 760, 759, 758, 757, 756, 755, 754, 753, 752, 751, 750, 749, 748, 747, 746, 745, 744, 743, 742, 741, 740, 739, 738, 737, 736, 735, 734, 733, 732, 731, 730, 729, 728, 727, 726, 725, 724, 723, 722, 721, 720, 719, 718, 717, 716, 715, 714, 713, 712, 711, 710, 709, 708, 707, 706, 705, 704, 703, 702, 701, 700, 699, 698, 697, 696, 695, 694, 693, 692, 691, 690, 689, 688, 687, 686, 685, 684, 683, 682, 681, 680, 679, 678, 677, 676, 675, 674, 673, 672, 671, 670, 669, 668, 667, 666, 665, 664, 663, 662, 661, 660, 659, 658, 657, 656, 655, 654, 653, 652, 651, 650, 649, 648, 647, 646, 645, 644, 643, 642, 641, 640, 639, 638, 637, 636, 635, 634, 633, 632, 631, 630, 629, 628, 627, 626, 625, 624, 623, 622, 621, 620, 619, 618, 617, 616, 615, 614, 613, 612, 611, 610, 609, 608, 607, 606, 605, 604, 603, 602, 601, 600, 599, 598, 597, 596, 595, 594, 593, 592, 591, 590, 589, 588, 587, 586, 585, 584, 583, 582, 581, 580, 579, 578, 577, 576, 575, 574, 573, 572, 571, 570, 569, 568, 567, 566, 565, 564, 563, 562, 561, 560, 559, 558, 557, 556, 555, 554, 553, 552, 551, 550, 549, 548, 547, 546, 545, 544, 543, 542, 541, 540, 539, 538, 537, 536, 535, 534, 533, 532, 531, 530, 529, 528, 527, 526, 525, 524, 523, 522, 521, 520, 519, 518, 517, 516, 515, 514, 513, 512, 511, 510, 509, 508, 507, 506, 505, 504, 503, 502, 501, 500, 499, 498, 497, 496, 495, 494, 493, 492, 491, 490, 489, 488, 487, 486, 485, 484, 483, 482, 481, 480, 479, 478, 477, 476, 475, 474, 473, 472, 471, 470, 469, 468, 467, 466, 465, 464, 463, 462, 461, 460, 459, 458, 457, 456, 455, 454, 453, 452, 451, 450, 449, 448, 447, 446, 445, 444, 443, 442, 441, 440, 439, 438, 437, 436, 435, 434, 433, 432, 431, 430, 429, 428, 427, 426, 425, 424, 423, 422, 421, 420, 419, 418, 417, 416, 415, 414, 413, 412, 411, 410, 409, 408, 407, 406, 405, 404, 403, 402, 401, 400, 399, 398, 397, 396, 395, 394, 393, 392, 391, 390, 389, 388, 387, 386, 385, 384, 383, 382, 381, 380, 379, 378, 377, 376, 375, 374, 373, 372, 371, 370, 369, 368, 367, 366, 365, 364, 363, 362, 361, 360, 359, 358, 357, 356, 355, 354, 353, 352, 351, 350, 349, 348, 347, 346, 345, 344, 343, 342, 341, 340, 339, 338, 337, 336, 335, 334, 333, 332, 331, 330, 329, 328, 327, 326, 325, 324, 323, 322, 321, 320, 319, 318, 317, 316, 315, 314, 313, 312, 311, 310, 309, 308, 307, 306, 305, 304, 303, 302, 301, 300, 299, 298, 297, 296, 295, 294, 293, 292, 291, 290, 289, 288, 287, 286, 285, 284, 283, 282, 281, 280, 279, 278, 277, 276, 275, 274, 273, 272, 271, 270, 269, 268, 267, 266, 265, 264, 263, 262, 261, 260, 259, 258, 257, 256, 255, 254, 253, 252, 251, 250, 249, 248, 247, 246, 245, 244, 243, 242, 241, 240, 239, 238, 237, 236, 235, 234, 233, 232, 231, 230, 229, 228, 227, 226, 225, 224, 223, 222, 221, 220, 219, 218, 217, 216, 215, 214, 213, 212, 211, 210, 209, 208, 207, 206, 205, 204, 203, 202, 201, 200, 199, 198, 197, 196, 195, 194, 193, 192, 191, 190, 189, 188, 187, 186, 185, 184, 183, 182, 181, 180, 179, 178, 177, 176, 175, 174, 173, 172, 171, 170, 169, 168, 167, 166, 165, 164, 163, 162, 161, 160, 159, 158, 157, 156, 155, 154, 153, 152, 151, 150, 149, 148, 147, 146, 145, 144, 143, 142, 141, 140, 139, 138, 137, 136, 135, 134, 133, 132, 131, 130, 129, 128, 127, 126, 125, 124, 123, 122, 121, 120, 119, 118, 117, 116, 115, 114, 113, 112, 111, 110, 109, 108, 107, 106, 105, 104, 103, 102, 101, 100, 99, 98, 97, 96, 95, 94, 93, 92, 91, 90, 89, 88, 87, 86, 85, 84, 83, 82, 81, 80, 79, 78, 77, 76, 75, 74, 73, 72, 71, 70, 69, 68, 67, 66, 65, 64, 63, 62, 61, 60, 59, 58, 57, 56, 55, 54, 53, 52, 51, 50, 49, 48, 47, 46, 45, 44, 43, 42, 41, 40, 39, 38, 37, 36, 35, 34, 33, 32, 31, 30, 29, 28, 27, 26, 25, 24, 23, 22, 21, 20, 19, 18, 17, 16, 15, 14, 13, 12, 11, 10, 9, 8, 7, 6, 5, 4, 3, 2, 1

A01.14

Level 10
1:100

Scale:	File:
1:100	CL_20
Date: 2018-07-24	SWG:
Drawn: Author	Revised:
Reviewed: CL	



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Client: Standing Stone Developments Ltd.

Cony Flynn, Troy Grant
1022 101st Ave SW
Edmonton, AB, T5J 1S2
Email: conyflynn@lwpac.ca
troygrant@lwpac.ca
Phone: 780.253.8837 (Troy)

Architect: LWPAC
Lang Wilson Practice in Architecture Culture

Oliver Lang, Architect AISC
3333 West 34th Avenue
Vancouver, BC, V6R 1B6, Canada
Email: ol@lwpac.com
Phone: 604.253.7000

Structural: Equilibrium Consulting Inc.
Robert Kozlowski
210-288 West 35th Avenue
Vancouver, BC, V6R 1S2
Email: rkoz@equilibrium.com
Phone: +1 604 752 1423

Building Envelope/PH: R2E Building Science Inc.
Curtis Pines
224 W 8th Avenue
Vancouver, BC, V6P 1A5
Email: c@r2ebuilding.com
Phone: 604 679 1181 x 251

Building Code: G&L CONSULTANTS LTD.
Andrina Parnham
409 Granville Street, Suite 900
Vancouver, BC, V6C 1T3
Email: andrina@gl.ca
Phone: 604 569 4443

Civil Engineer: Multithree Consulting Services Ltd.
Nathan Dwyer
Suite 500, 3940 Quadra Street
Vancouver, BC, V6J 4K3
Email: nathan@multithree.com
Phone: 604 681 7817

Landscape Architect: Lombard North Group (L.N.G.) Inc.
Jesse Fackler
855 Commercial Street
Vancouver, B.C. V6B 1K8
Email: jesse@lombardna.ca
Phone: 250 560 3336

Geotechnical Engineer: GeoPacific Consultants
Wesley Brown
1779 W 75th Avenue
Vancouver, BC, V6P 1R2
Email: wesley@geopacific.ca
Phone: 604 439 2522 ext. 228

Traffic: Park & Associates
Strom Sultan
Suite 421, 445 East Street
Vancouver, BC, V6E 1S2
Email: strom@parkand.com
Phone: 604 681 6122

Electrical: R&S Consulting
Brad Ouyang
1330 Granville St.
Vancouver, BC, V6Z 1W7
Phone: 604 695 3719
Email: brad@rsconsulting.com

Mechanical: AME Group
Kevin Kline
1100-B West Hastings Street
Vancouver, BC, V6E 2A4
Email: kevin@amegroup.com
Phone: 604 684 5953



Not for Construction
All dimensions to be verified on-site

Rev	Date	Description
1	Jul 24, 2018	DEVELOPMENT REVIEW APPLICATION
2	Jan 31, 2018	RECORDING APPLICATION
3	Dec 22, 2017	RECORDING APPLICATION & ADDITIONAL MATERIAL
4	Date	Issued / Revision

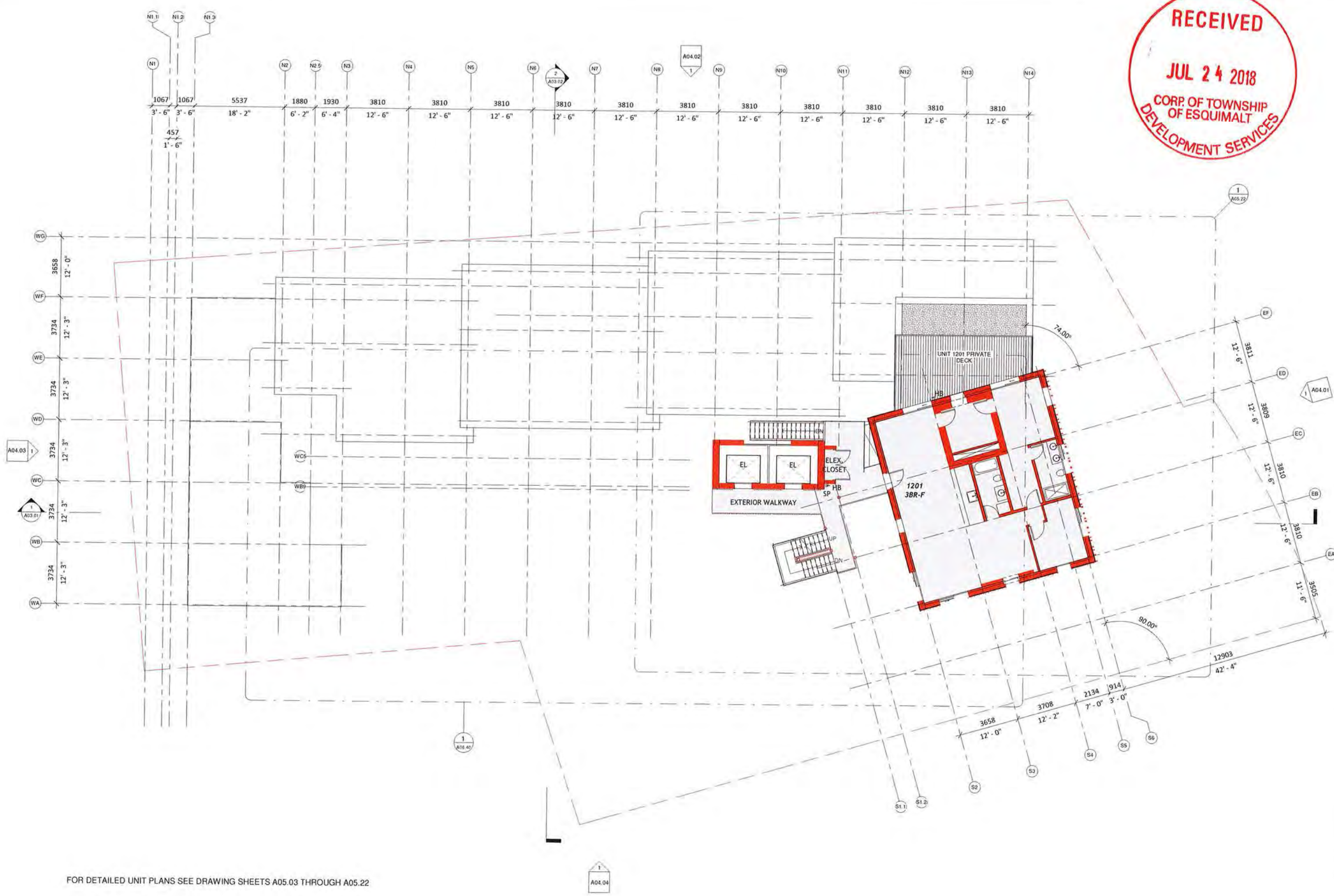
Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for operation, distribution, suspension, or any other purpose without the written consent of the architect. Prior to commencing of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions. In the event of any discrepancy between this drawing and the full Contract Documents, the Contractor shall bring these items to the attention of the architect for clarification.

Project: CORVETTE LANDING
591 Galloway Avenue, Coquitlam, BC, V3K 2A4
Equity BC, 118 9th
Legal lot description:
P.O. 00474451
Lot 1
321-VIP1253

Title: A01.15
L11 Floor Plans

Scale	File
Scale: 1:100	File: CL_03
Drawn: A.C. 02/04/18	Checked: JWS
Drawn: Author	Checked:
Reviewed: GL	Checked:

Level 11
1:100



FOR DETAILED UNIT PLANS SEE DRAWING SHEETS A05.03 THROUGH A05.22

Level 12
1:100

Client:
Standing Stone
Developments Ltd.
Cathy Blake, Proj. Mgr.
1022 15th Ave SW
Edmonton, AB, T6A 1C2
E-mail: cblake@standingstone.ca
cathy@standingstone.com
Phone: 780.453.3717 (Tty)

Architect:
LWPAC
Lang Wilson Practice in Architecture Culture
Oliver Lang, Architect ARBC
2223 West 20 Avenue
Vancouver, BC V6K 1N5, Canada
E-mail: oliver@lwpac.com
Phone: 604.757.7000

Structural:
Equilibrium Consulting Inc.
Robert Maczyn
622 West 4th Avenue
Vancouver, BC V6J 1Y2
E-mail: rmaczyn@equilibrium.com
Phone: +1 604 753 1433

Building Envelope/PH:
404 Building Science Inc.
Cristina Piro
224 W 8th Avenue
Vancouver, BC V6J 1N5
E-mail: cpiro@404.com
Phone: 604 675 1181 x 251

Building Code:
City of Vancouver
404 Building Science Inc.
224 W 8th Avenue
Vancouver, BC V6J 1N5
E-mail: cpiro@404.com
Phone: 604 675 1181 x 251

Civil Engineer:
McCarthy Consulting Services Ltd.
Michael Dwyer
Suite 500, 2400 Quays Street
Vancouver, BC V6J 4G3
E-mail: mcdwyer@mcchayney.com
Phone: 779 766 7677

Landscape Architect:
Lombard North Group (L.N.G.) Inc.
2010 Pacific
816 Commercial Street
Vancouver, B.C. V6B 1B8
E-mail: lombard@lmg.ca
Phone: 250 366 3756

Geotechnical Engineer:
GeoPacific Consultants
Michael Kwan
1770 W 75th Avenue
Vancouver, BC V6N 1S2
E-mail: mkwan@geopac.ca
Phone: 604 429-0522 ext. 226

Traffic:
Burt & Associates
Urban Motion
Suite 41, 645 Port Street
Vancouver, BC V6B 1G2
E-mail: burt@burtandassociates.com
Phone: 250 552 5322

Electrical:
AES
Basil Gu Yang
1510 Granville St.
Vancouver, BC V6Z 1A7
Phone: 604 605 2719
E-mail: basil@ayngengineering.com

Mechanical:
AME Group
Kevin Deak
1100-8 West Hastings Street
Vancouver, BC V6E 2K6
E-mail: kevin@ameengineering.ca
Phone: 604 684 5619



Not for Construction
All Dimensions to be verified on-site

No.	Date	Description
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	RECORDING APPLICATION - ADDITIONAL MATERIAL
8	Dec 22, 2017	RECORDING APPLICATION - ADDITIONAL MATERIAL
7	08/11	Issue of Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or any other purpose without the written consent of the architect. For the purpose of this drawing, the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions. As soon as any discrepancies between this drawing and the final Contract Documents are identified, bring them to the attention of the architect for clarification.

Project:
CORVETTE LANDING
899 Granville Avenue, Granville Avenue, 604, 604, 102 Northside Road, Esquimalt (BC), V8A 6V8
Project description:
P.L.D. 04574511
04/1
Plan VSP15081

A01.16

Title:
L12 Floor Plans

Scale:	File:
Scale: 1:100	File: CL_20
Drawn: 201511.06	Drawn:
Drawn: AulNoc	Revised:
Revised: CL	Revised:



Client:
Standing Stone Developments Ltd.
 6250 Highway 104
 Vancouver, BC V6X 3L4
 Phone: 604 271 8317 (toll free)

Architect:
LWPAC
 Lang Wilson Practice Inc. Architecture Culture
 3750 West 20th Avenue
 Vancouver, BC V6M 1Y8, Canada
 Email: office@lwpac.net
 Phone: 604 733 7500

Structural:
 Equilibrium Consulting Inc.
 202-208 West 28th Avenue
 Vancouver, BC V6M 1Y8
 Email: info@equilibrium.ca
 Phone: 604 273 2333

Building Envelope/PH:
 35th Building Science Inc.
 224 West 28th Avenue
 Vancouver, BC V6M 1Y8
 Email: gl@b3si.com
 Phone: 604 678 1181 x1181

Building Code:
 SNC CONSULTANTS LTD
 408 Granville Street, Suite 950
 Vancouver, BC V6C 1T2
 Email: info@sncc.ca
 Phone: 604 683 4843

Civil Engineer:
 McLennan Consulting Services Ltd.
 Nathan DuSoy
 Suite 308, 3080 Quadra Street
 Victoria BC V8X 4K3
 Email: n.dusoy@mcslennan.com
 Phone: 250 363 7617

Landscape Architect:
 403
 403 Commercial Street
 Victoria, B.C. V8W 1R7
 Email: info@landscapetw.ca
 Phone: 250 363 3558

Geotechnical Engineer:
 Geo Pacific Consultants
 Mark Kahan
 1700 West 28th Avenue
 Vancouver, BC V6M 1Y8
 Email: info@geopacific.ca
 Phone: 604 683 9252 ext. 215

Traffic:
 Ertl & Associates
 Simon Burton
 Suite 410, 445 Fort Street
 Victoria, BC V8W 1Z2
 Email: simon@ertlassociates.com
 Phone: 250 552 8122

Electrical:
 Brad Ou Yang
 1138 Granville St.
 Vancouver, BC V6H 1M7
 Phone: 604 685 2719
 Email: brad@ouyangengineering.com

Mechanical:
 Kevin Gray
 1105 B Street Hastings Street
 Vancouver, BC V6C 2H4
 Email: kevin@kevingraygroup.ca
 Phone: 604 684 5065



Not for Construction	
All dimensions to be verified on site	
10	Jul 26, 2018 - DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018 - ZONING APPLICATION (7-ADDITIONAL MATERIAL)
8	Dec 20, 2017 - ZONING APPLICATION (7-ADDITIONAL MATERIAL)
7	Jan 1, 2017 - ZONING APPLICATION (7-ADDITIONAL MATERIAL)
6	Date Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice Inc. and shall not be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, duplication, which issued for that purpose by the architect. Upon commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions. Accuracy and discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for confirmation.

Project:
CORVETTE LANDING
 601 Constance Avenue, Constance Avenue
 Esquimalt, BC, V8A 4S9
 Legal Lot Description:
 2.0. 10474451
 S.I. 1
 Part of 1563

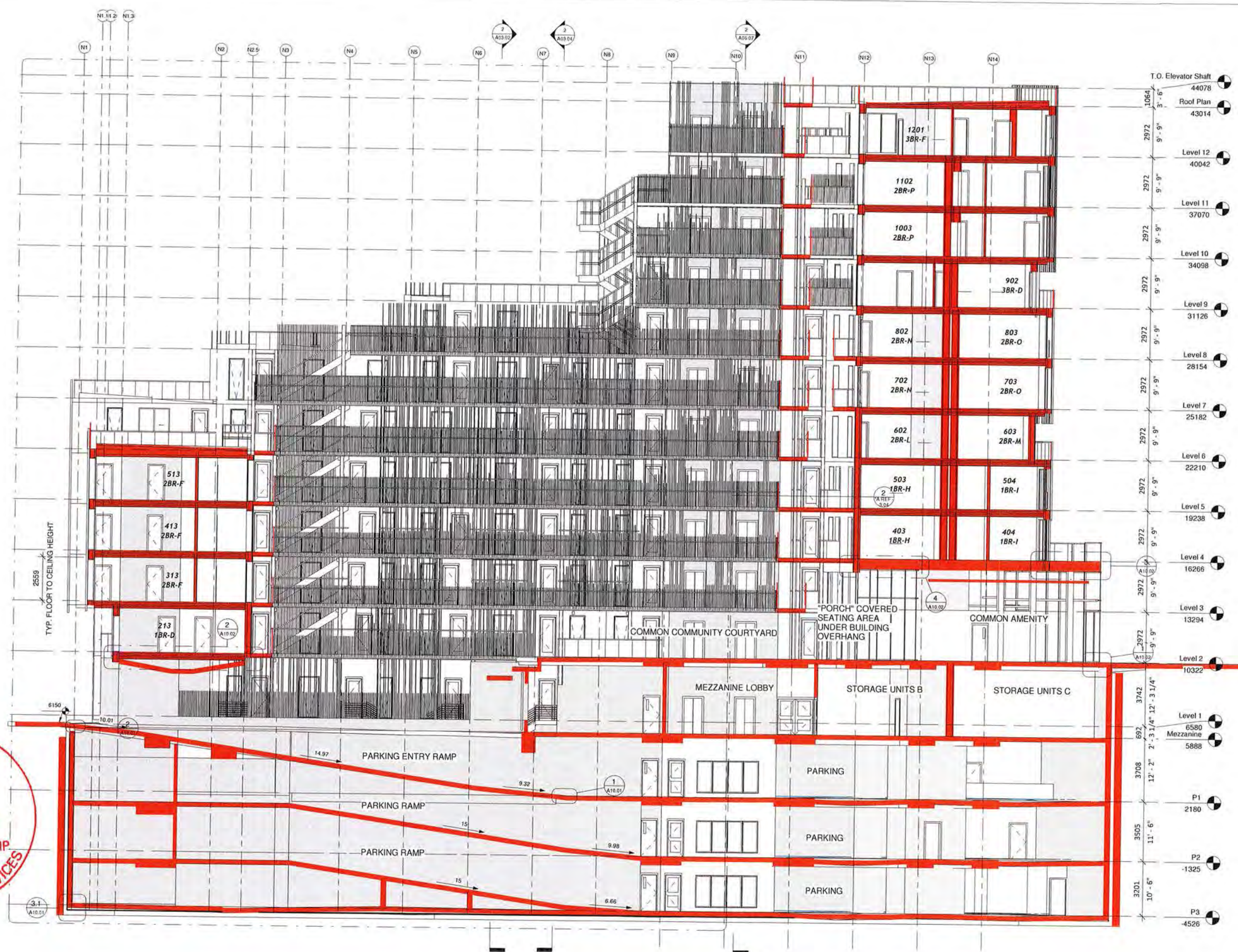
A01.17

Sheet:
Roof Plan
 Scale: 1:100
 Date: 2018-07-24
 Drawn: Author
 Reviewed: DL

File: CL_2D
 Date: 2018-07-24
 Drawn: Author
 Reviewed: DL



1 Roof Plan
 1:100



Client:
Standing Stone Developments Ltd.
 10225 151st Ave SW
 Edmonton, AB T5E 1G2
 Email: cory@standingstone.ca
 Phone: 780.213.8537 (Toll Free)

Architect
LWPAC
 Long Wilson Prackley Architecture Culture
 Oliver Long, Architect AIBC
 3333 West 33rd Avenue
 Vancouver, BC V6R 1Y6, Canada
 Email: oliver@lwpac.com
 Phone: 604.753.7000

Structural
 Equilibrium Consulting Inc.
 Robert MacKay
 202-158 West 8th Avenue
 Vancouver, BC V6P 1B2
 Email: rmac@equilibrium.ca
 Phone: +1 604 753 1422

Building Envelope/PH
 KBR Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V6P 1M6
 Email: gfinch@kbr.com
 Phone: 604.671.1181 x251

Building Code
 GHL CONSULTANTS LTD.
 Andrew Thompson
 401 Granville Street, Suite 500
 Vancouver, BC V6C 1T2
 Email: andrew@ghl.ca
 Phone: 604.681.4669

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Purdy
 Suite 300, 3903 Quays Street
 Victoria, BC V8N 4L3
 Email: n.purdy@mcslens.com
 Phone: 250.766.7637

Landscape Architect
 Tombarth North Group (B.C.) Inc.
 James Parkin
 836 Garmont Street
 Victoria, BC V8N 1R1
 Email: james@tombarth.com
 Phone: 250.389.3358

Geotechnical Engineer
 Geotechnic Consultants
 Mark Kinn
 1770 W 73rd Avenue
 Vancouver, BC V6P 2P2
 Email: mark@geotechnic.ca
 Phone: 604.683-0022 ext. 120

Traffic
 SRT & Associates
 Simon Batten
 Suite 401, 445 Burr Street
 Victoria, BC V8N 1G2
 Email: simon@batten.ca
 Phone: 250.389.8112

Electrical
 AEG
 Eric Gu Yang
 1310 Granville St.
 Vancouver, BC V6Z 1K7
 Phone: 604.683.2719
 Email: eric@aegelectrical.com

Mechanical
 AKG Group
 Keith Gray
 1100 B West Hastings Street
 Vancouver, BC V6E 2J4
 Email: keith@akggroup.ca
 Phone: 604.683.5500



Not for Construction
 All Dimensions to be verified on site

Date	Revised / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jun 11, 2018	REZONING APPLICATION & ADDITIONAL MATERIALS
8 Dec 20, 2017	REZONING APPLICATION & ADDITIONAL MATERIALS
1	Date / Issue / Revision

Copyright reserved. This design and the drawings are the exclusive property of Long Wilson Prackley Architecture Culture Inc. and should be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or any other purpose without the written consent of the architect. Prior to commencing of the work the contractor shall verify all assemblies, dimensions, drawings and levels to identify any errors and coordinate any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 488 Concession Avenue, Coquitlam, BC
 V3K 6G6, 422 Ardmore Road
 Port Moody, BC V3H 4S9
 Legal Lot Description:
 P.L.S. 00457403
 Lot 1
 File: VP12343

A03.01
 Title:
West East Section Thru Ramp
 Scale: 1:100
 Date: 05/22/18
 Drawn: Author
 Checked: GL

1 Overall Building Section - West East Through Ramp
 1:100



Client:
Standing Stone Developments Ltd.
 Casey Flynn, Troy Grant
 1820 124 Ave W
 Edmonton, AB, T5J 3S2
 Email: casey@standingstone.ca
 troy@standingstone.ca
 Phone: 780.253.8137 (T555)

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 333 West 5th Avenue
 Vancouver, BC, V6B 1S6, Canada
 Email: office@lwpac.net
 Phone: 604.737.7500

Structural
 Equilibrium Consulting Inc.
 Robert Hoggan
 202-108 West 8th Avenue
 Vancouver, BC, V6B 1S6
 Email: r.hoggan@equilibrium.ca
 Phone: +1 604 253 1422

Building Envelope/PH
 424 Building Science Inc.
 Graham Finch
 324 W 8th Avenue
 Vancouver, BC, V6B 1S6
 Email: gfinch@bsi.com
 Phone: 604 673 9181 x 211

Building Code
 GRI, CONSULTANTS LTD.
 Andrew Hornsby
 408 Granville Street, Suite 300
 Vancouver, BC, V6C 1T2
 Email: a.hornsby@gricons.com
 Phone: 604 683 6543

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Dudgey
 Suite 300, 300 Quadra Street
 Victoria, BC, V8B 4K3
 Email: n.dudgey@mcclennan.com
 Phone: 250 363 3427

Landscape Architect
 Lombard North Group (B.C.) Inc.
 James Parkley
 338 Gormerley Street
 Victoria, B.C. V8P 1R1
 Email: j.parkley@lombardna.com
 Phone: 250 358 3338

Geotechnical Engineer
 Geotechnic Consultants
 Nigel Eskin
 1779 W 7th Avenue
 Vancouver, BC, V6P 2P2
 Email: nigel@geotechnic.ca
 Phone: 604 683 9822 ext. 124

Traffic
 Road & Analytics
 Simon Balan
 Suite 401, 445 Fern Street
 Victoria, BC V8P 1G2
 Email: s.balan@roadandanalytics.com
 Phone: 250 358 8222

Electrical
 453
 Brad Gu Yang
 1330 Granville St.
 Vancouver, BC, V6Z 1W7
 Phone: 604 685 2719
 Email: brad@bradguyang.com

Mechanical
 AME Group
 Kevin Shea
 1150-B West Hastings Street
 Vancouver, BC, V6E 2K4
 Email: kshea@amegroup.ca
 Phone: 604 684 5605

REGISTERED ARCHITECT
 OLIVER LANG
 JUL 23 2018
 BRITISH COLUMBIA

Not for Construction
 All dimensions to be verified on site

10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jun 11, 2018	REZONING APPLICATION / ADDITIONAL MATERIAL
8	Dec 22, 2017	REZONING APPLICATION / ADDITIONAL MATERIAL
7	Dec 22, 2017	REZONING APPLICATION / ADDITIONAL MATERIAL

* Date Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all materials, dimensions, details and levels as shown on this drawing and the full set of Contract Documents and immediately bring these items to the attention of the architect for clarification.

Client:
CORVETTE LANDING
 898 Columbia Avenue, Courtenay Avenue
 556, 560, 522 Acadia Road
 Esquimalt, BC, V8B 4W9
 Legal lot description
 P.A.D. 004574611
 Lot 1
 Plan 0213563

A03.02

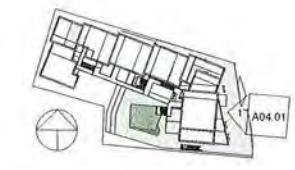
Title:
North South Section

Scale: 1:100
 Date: 4/23/2018
 Drawn: Aujal
 Checked: DL

File: CL_02
 Sheet:
 Revision:

2 Overall Building Section - North South
 1:100

FACADE MATERIAL LEGEND	
(1.1) STANDING SEAM METAL CLADDING - DARK GREY	(7.4) ANODIZED ALUMINUM PICKET SLATS BY VERTICAL PLANING
(1.2) STANDING SEAM METAL CLADDING - LIGHT GREY	(8.1) BOARD FORM CONCRETE
(1.3) STANDING SEAM METAL CLADDING - CHARCOAL	(4.1) GALVANIZED STEEL
(2.1) WOOD SLATS	(5.1) GLASS (ALUMINUM CLAD WINDOWS AND ALUMINUM FRAMED GUARDRAILS)
(2.2) ANODIZED ALUMINUM SLATS	(5.2) OPAQUE GLASS GUARDRAIL
(2.3) ANODIZED ALUMINUM PICKET GUARDRAILS	(6.3) ANODIZED ALUMINUM LOUVERS



2 Site Keyplan - East
1 : 1000



Client:
Standing Stone Developments Ltd.
Cody Gray, Troy Grant
2020 10th Ave SW
Victoria, BC V8V 1G2
Email: cgray@standingstone.ca
tgrant@standingstone.ca
Phone: 780 337 8337 (Troy)

Architect:
LWPAC
Lang Wilson Fricker in Architecture Culture
Oliver Lang, Architect AIBC
335 West 33rd Avenue
Victoria, BC V8V 1M6, Canada
Email: ol@lwpac.com
Phone: 855 737 2000

- Structural**
Equilibrium Consulting Inc.
Robert MacKay
202-158 West 8th Avenue
Victoria, BC V8V 1G2
Email: rmac@equilibrium.com
Phone: +1 855 732 1427
- Building Envelope/PH**
Klan Building Science Inc.
Graham Flock
224 W 6th Avenue
Victoria, BC V8V 1M5
Email: g.flock@kbi.com
Phone: 250 673 9131 x 221
- Building Code**
Gill Construction LTD
Andrew Matthews
439 Granville Street, Suite 505
Victoria, BC V8V 1T2
Email: a.matthews@gill.ca
Phone: 250 688 4449
- Civil Engineer**
McCarthy Consulting Services Ltd.
Nathan Dooling
Suite 202, 2160 Quadra Street
Victoria, BC V8M 4K2
Email: n.dooling@mcshay.com
Phone: 778 384 7417
- Landscape Architect**
Landscape North Group (B.C.) Inc.
Janice Farnon
855 Government Street
Victoria, BC V8W 1P1
Email: j.farnon@landscape.ca
Phone: 250 366 3336
- Geotechnical Engineer**
GeoPacific Consultants
Mark Kwan
1775 W 7th Avenue
Victoria, BC V8P 1P2
Email: kwan@geopacific.ca
Phone: 604 429 2922 ext. 225
- Traffic**
Burn & Associates
Simon Burn
Suite 401, 445 Fort Street
Victoria, BC V8W 1G2
Email: s.burn@burnandassociates.com
Phone: 250 553 8129
- Electrical**
JTS
Brad Ourling
1100 Granville St.
Victoria, BC V8M 1W7
Phone: 855 555 2747
Email: brad.ourling@jtsinc.com
- Mechanical**
AEC Group
Kevin Shea
1700 B Street Hastings Street
Victoria, BC V8W 1A4
Email: kevin@aecegroup.ca
Phone: 250 684 5955



Not For Construction	
All dimensions to be verified on site	
10	Jul 24, 2018 - DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018 - ZONING APPLICATION + ADDITIONAL MATERIAL
8	Dec 11, 2017 - ZONING APPLICATION + ADDITIONAL MATERIAL
#	Date / Issue / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Fricker in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, with respect for that proposed by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, as well as any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

Editor:
CORVETTE LANDING
300 Constance Avenue, Constance Avenue,
656, 655, 652 Admirals Road,
Esquimalt, BC, V8K 6K6
Legal Lot Description:
P.L.S. 004574451
Lot 1
Plan 00717563

A04.01

Title:
East Elevation

Scale As Indicated	Plan: 1:200
Date: 4/23/18	Drawn:
Drawn: Author	Revised: OL
Reviewed: OL	Revision:

1 East Elevation
1 : 100

Client:
**Standing Stone
 Developments Ltd.**
 4301 West 20th Street
 Vancouver, BC V6L 2A2
 Email: info@standingstone.com
 Phone: 780 263 8877 (Toll Free)

Architect:
LWPAC
 Long Wilson Practice in Architecture Culture
 Oliver Long, Architect PRC
 2150 West 20th Avenue
 Vancouver, BC V6L 2A2, Canada
 Email: office@lwpac.net
 Phone: 604 957 3000

Structural:
 Equilibrium Consulting Inc.
 Robert Walsby
 200 1360 West 41st Avenue
 Vancouver, BC V6L 1S2
 Email: robert@equilibrium.ca
 Phone: +1 604 275 4422

Building Envelope/PH:
 85th Building Science Inc.
 Graham Finch
 215 West 20th Avenue
 Vancouver, BC V6L 2A2
 Email: gfinch@85th.com
 Phone: 604 971 1011 x 211

Building Code:
 G&J CONSULTANTS LTD.
 Andrew Ryan
 400 Granville Street, Suite 500
 Vancouver, BC V6C 1T2
 Email: andy@gj.ca
 Phone: 604 683 4444

Civil Engineer:
 McEwan Engineering Services Ltd.
 Nathan Durrup
 Suite 300, 3000 Coalbrook Street
 Victoria, BC V8L 4K1
 Email: nathan@mcewaneng.com
 Phone: 778 245 5817

Landscape Architect:
 Lombard North Group B.C. Inc.
 James Parfitt
 818 Gormerley Street
 Victoria, B.C. V8L 1R1
 Email: james@lombardna.com
 Phone: 250 366 3336

Geotechnical Engineer:
 GeoPac Consulting
 Matt Street
 1770 West 20th Avenue
 Vancouver, BC V6L 2A2
 Email: matt@geopac.ca
 Phone: 604 433 0382 ext. 226

Traffic:
 Burt & Associates
 Simon Burt
 Suite 425, 445 Fort Street
 Victoria, BC V8W 1G2
 Email: simon@burteng.com
 Phone: 250 552 6122

Electrical:
 415
 Brad Du Yang
 1710 Granville St.
 Vancouver, BC V6Z 1W7
 Phone: 604 683 2719
 Email: brad@duyang.com

Mechanical:
 Aed Group
 Aedh Shee
 1100 West Hastings Street
 Vancouver, BC V6E 2A4
 Email: aed@aedgroup.com
 Phone: 604 684 5905



Not For Construction
 All dimensions to be verified on-site

Date	Description
10/24/2018	DEVELOPMENT PERMIT APPLICATION
9/26/2018	PERMISSION APPLICATION
8/22/2017	PERMISSION APPLICATION
8/22/2017	PERMISSION APPLICATION

Copyright reserved. This design and the drawings are the exclusive property of Long Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or any other purpose by the contractor without the written consent of the architect. Prior to commencement of the work the contractor shall verify all dimensions, elevations, details and levels to identify any errors and omissions against any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 888 Constance Avenue, Constance Avenue,
 105, 100, 102 Admirals Road
 Esquimalt, BC, V8L 0K6
 Legal Lot Description:
 P.C. 004254515
 104 1
 Plan N12593

Title:
North Elevation

Scale As Indicated	File: CL_00
Date: 2018-07-24	DRG:
Drawn: A. Rubin	Revision:
Reviewed: CL	

FACADE MATERIAL LEGEND

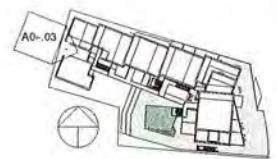
1.2	STANDING SEAM METAL CLADDING - DARK GREY	2.4	ANODIZED ALUMINUM PICKET SLATS W/ VERTICAL FINISH
1.7	STANDING SEAM METAL CLADDING - LIGHT GREY	3.1	BOARD FORM CONCRETE
1.8	STANDING SEAM METAL CLADDING - CHARCOAL	3.2	GALVANIZED STEEL
2.1	WOOD SLATS	3.3	GLASS (ALUMINUM CLAD WINDOWS AND ALUMINUM FRAMED GUARDRAILS)
2.2	ANODIZED ALUMINUM SLATS	4.1	DRAGLE GLASS GUARDRAIL
2.3	ANODIZED ALUMINUM PICKET GUARDRAILS	5.3	ANODIZED ALUMINUM LOUVERS



1 North Elevation
 1 : 100

FACADE MATERIAL LEGEND

1.1 STANDING SEAM METAL CLADDING - DARK GREY	2.4 ANODIZED ALUMINUM PICKET SLATS W/ VERTICAL PLANING
1.2 STANDING SEAM METAL CLADDING - LIGHT GREY	3.1 BOARD FORM CONCRETE
1.3 STANDING SEAM METAL CLADDING - CHARCOAL	4.1 GALVANIZED STEEL
2.1 WOOD SLATS	5.1 GLASS (ALUMINUM CLAD WINDOWS AND ALUMINUM FRAMED GUARDRAILS)
2.2 ANODIZED ALUMINUM SLATS	5.2 DRANGLE GLASS GUARDRAIL
2.3 ANODIZED ALUMINUM PICKET GUARDRAILS	5.3 ANODIZED ALUMINUM EDGERS



2 Site Keyplan - West
1 : 1000



1 West Elevation
1 : 100

Standing Stone Developments Ltd.
 Gary Flynn, Tony Grant
 1000 101a Ave NW
 Edmonton, AB T6E 6E4
 Email: g.flynn@standingstone.ca
 t.grant@standingstone.ca
 Phone: 780.261.8517 (Prog)

Architect
LWPAC
 Lang Waiwan FRACOR Architecture Culture
 Orlan Lang, Architect AIBC
 1333 West 25 Avenue
 Vancouver, BC V6P 1M6, Canada
 Email: orlan@lwpac.com
 Phone: 604.277.7000

Structural
 Equilibrium Consulting Inc.
 Robert MacKay
 202 155 West 6th Avenue
 Vancouver, BC V6P 2G6
 Email: rmac@equilibrium.ca
 Phone: +1 604 278 1422

Building Envelope/PH
 306 Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V6P 1A5
 Email: gfinch@306.com
 Phone: 604.675.1181 x 251

Building Code
 CHC CONSULTANTS LTD
 Andrew McMillan
 405 Granville Street, Suite 1900
 Vancouver, BC V6C 1K2
 Email: a.mcmillan@chc.ca
 Phone: 604.682.4444

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Gault
 Suite 300, 3902 Quince Street
 Victoria, BC V8N 4L5
 Email: n.mclennan@mcsls.com
 Phone: 250.766.5857

Landscape Architect
 Lombard North Group (R.C.) Inc.
 James Kellie
 838 Comstock Street
 Victoria, B.C. V8W 0A1
 Email: james@lombard.ca
 Phone: 250.386.3336

Geotechnical Engineer
 GeoPAC Consultants
 Matt Pickett
 1779 W 75th Avenue
 Vancouver, BC V6P 1R2
 Email: matt@geopac.com
 Phone: 604.428-0102 ext. 126

Traffic
 Park & Associates
 Simon Bardon
 Suite 411, 645 5th Street
 Victoria, BC V8W 1S3
 Email: sbardon@parkand.com
 Phone: 250.959.9127

Electrical
 415
 Brad Gu Yang
 1230 Granville St.
 Vancouver, BC V6Z 1A7
 Phone: 604.975.2719
 Email: brad@415engineering.com

Mechanical
 AMF Group
 Kevin Shook
 1100 B Street West
 Vancouver, BC V6C 1A6
 Email: kevin@amfgroup.ca
 Phone: 604.684.3905



Not for Construction
 All dimensions to be verified on-site

#	Date	Revised / Revision
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 11, 2018	RECORDING APPLICATION 7. ADDITIONAL MATERIAL
8	Dec 22, 2017	RECORDING APPLICATION 8. ADDITIONAL MATERIALS
4		

Copyright reserved. This design and the drawings are the exclusive property of Lang Waiwan FRACOR Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or reuse for any purpose by the architect. Prior to commencing of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions and any discrepancies between this drawing and the Full Contract Documents and immediately bring them to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 639 Concession Avenue, Constance Avenue,
 156, 600, 622 Adair's Road,
 Esquimalt, BC, V8K 6W7
 LWPAC Ltd. Designer:
 P.O. 004274491
 LWPAC
 Fax: 604.277.7000

A04.03

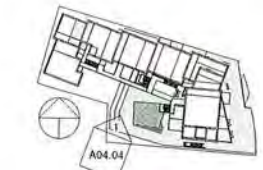
Title:
West Elevation

Scale: As Indicated	File: CL_03
Date: 05/22/2018	SW: SP
Drawn: Kujala	Revision:
Reviewed: CL	

NOTE:
NOT ALL COURTYARD ELEVATIONS
SHOWN, SEE PLANS

FACADE MATERIAL LEGEND

1.1 STANDING SEAM METAL CLADDING - DARK GREY	2.4 ANODIZED ALUMINUM PICKET SLATS W/ VERTICAL PLATING
1.2 STANDING SEAM METAL CLADDING - LIGHT GREY	3.1 BOARD FORM CONCRETE
1.3 STANDING SEAM METAL CLADDING - CHARCOAL	4.1 GALVANIZED STEEL
2.1 WOOD SLATS	5.1 GLASS (ALUMINUM CLAD WINDOWS AND ALUMINUM FRAMED GLAZINGS)
2.2 ANODIZED ALUMINUM SLATS	6.1 OPAQUE GLASS GUARDRAILS
2.3 ANODIZED ALUMINUM PICKET GUARDRAILS	6.2 ANODIZED ALUMINUM LOUVERS



Client:
Standing Stone
Developments Ltd.

Architect:
LWPAC
Lang Wilson Prater & Associates Inc.

333 West 5th Avenue
Vancouver, BC V6B 1N6, Canada
Email: info@lwpac.com
Phone: 604.681.7000

RECEIVED
JUL 24 2018
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Structural:
Equilibrium Consulting Inc.
202-188 West 5th Avenue
Vancouver, BC V6B 1N6
Email: info@equilibrium.ca
Phone: +1 604 733 1422

Building Envelope/PH:
RBC Building Science Inc.
224 W 8th Avenue
Vancouver, BC V6B 1N6
Email: info@rbc.ca
Phone: 604 681 1181 x 251

Building Code:
G&L CONSULTANTS LTD.
450 Granville Street, Suite 1900
Vancouver, BC V6C 1Y4
Email: info@gandl.ca
Phone: 604 681 4447

Civil Engineer:
W&B Engineering Services Ltd.
2000-1000
Suite 500, 3900 Quilley Street
Vancouver, BC V6M 4K7
Email: info@wbseng.com
Phone: 604 276 3677

Landscape Architect:
Landscape North Group Inc. C.I. Inc.
350 Commercial Street
Vancouver, BC V6B 1E1
Email: info@landscape.ca
Phone: 604 681 3338

Geotechnical Engineer:
Geotechnical Consultants
1770 W 7th Avenue
Vancouver, BC V6P 2P2
Email: info@geotech.ca
Phone: 604 681 9222 ext. 229

Traffic:
B&S Associates
Simon Bolton
Suite 401, 448 First Street
Vancouver, BC V6B 1G2
Email: info@b-s-associates.com
Phone: 604 681 8322

Electrical:
403
8040 Glen Park
1930 Granville St.
Vancouver, BC V6H 1S7
Phone: 604 685 3719
Email: info@electricaleng.com

Mechanical:
J&K Group
1100-B West Hastings Street
Vancouver, BC V6E 2E6
Email: info@jandkgroup.ca
Phone: 604 681 5000



Not for Construction
All Dimensions to be verified on-site

Date	Issued / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REDOING APPLICATION 2 - ADDITIONAL MATERIAL
8 Dec 23, 2017	REDOING APPLICATION 1 - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Prater & Associates Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, and notify any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
590 Commercial Avenue, Courthouse Avenue, 85A, 160, 622 Admirals Road, Duperon Island, V6A 6H6
LWPAC Inc. (Project): P.J.D. 00674431
V.C.I. File #13363

A04.04

Title:
South Elevation

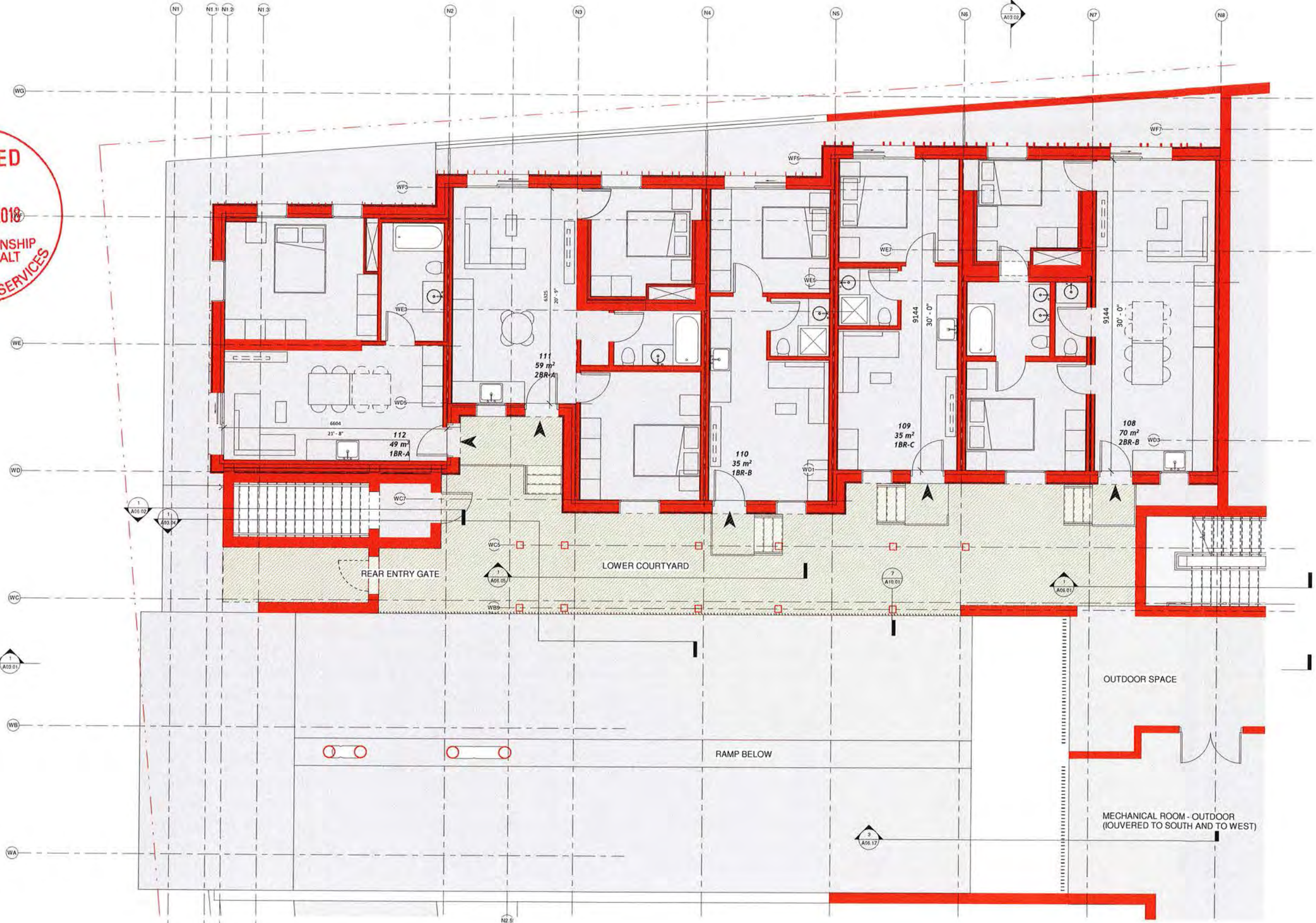
Scale: As Indicated
Date: 4/12/2018
Drawn: Author
Reviewed: CL

Proj.: CL 00
Sheets: 4/12/2018
Rev.:



1 South Elevation
1:100

RECEIVED
JUL 24 2018
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES



Client:
Standing Stone Developments Ltd.
 Casey Glynn, Troy Grant
 1800 51st Ave W
 Edmonton, AB, T5J 3S2
 Email: casey@standingstone.ca
 troy@standingstone.ca
 Phone: 780.253.8317 (T) 780

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 3353 West 28th Avenue
 Vancouver, BC, V6R 1A6, Canada
 Email: oliver@lwpac.ca
 Phone: 604.271.7500

Structural
 Equilibrium Consulting Inc.
 Robert Macdonald
 253-188 West 28th Avenue
 Vancouver, BC, V6R 1A6
 Email: rmac@equilibrium.ca
 Phone: +1 604 752 1422

Building Envelope/PH
 KSH Building Science Inc.
 Graham Finch
 234 West 8th Avenue
 Vancouver, BC, V6C 1K5
 Email: gfinch@ksh.ca
 Phone: 604.673.1181 x271

Building Code
 SNC GROUP/STANTEC LTD
 Andrew Karmach
 405 Granville Street, Suite 1900
 Vancouver, BC, V6C 1T2
 Email: andy@snccan.ca
 Phone: 604.683.4645

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Dunlop
 Suite 500, 3960 Quince Street
 Victoria, BC, V8N 4A1
 Email: n.dunlop@mcsltd.com
 Phone: 779.306.2617

Landscape Architect
 Lombard North Group (L.N.G.) Inc.
 James Parkin
 838 Commercial Street
 Victoria, B.C. V8W 1R1
 Email: james@lombard.ca
 Phone: 250.582.3038

Geotechnical Engineer
 Geotechnical Consultants
 Mark Usher
 1775 West 28th Avenue
 Vancouver, BC, V6P 1P2
 Email: mark@geotech.ca
 Phone: 604.683.0522 ext. 225

Traffic
 Burt & Associates
 Simon Burtin
 Suite 421, 645 Fort Street
 Victoria, BC, V8W 1S2
 Email: simon@burtandassociates.com
 Phone: 250.582.6122

Electrical
 AFS
 Brad Ou-Yang
 1330 Granville St.
 Vancouver, BC, V6Z 1N7
 Phone: 604.695.2719
 Email: brad@afselec.com

Mechanical
 K&L Group
 Kevin Kavanagh
 1100-B West Hastings Street
 Vancouver, BC, V6E 2A4
 Email: kevin@kandlgroup.ca
 Phone: 604.684.1000

REGISTERED ARCHITECT
OLIVER LANG
JUL 23 2018
 BRITISH COLUMBIA

Not for Construction
 All dimensions to be verified on-site

Date	Issued / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
8 Jun 21, 2018	REZONING APPLICATION / ADDITIONAL MATERIAL
4 Dec 28, 2017	REZONING APPLICATION / ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or to be used for the purpose of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, necessary any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Corvette Landing
 598 Quince Avenue, Coquitlam, BC
 V3K 5A6, 822 Admiral Road
 Richmond, BC, V6V 1M9
 Email: info@corvette.com
 P.O. Box 5451
 Unit 1
 Burnaby, BC V5A 1Y3

A05.03
 Title:
L1 Enlarged Floor Plan - West
 Scale: 1:50
 Date: 2018.05.29
 Drawn: EDC/AM
 Drawn: Author
 Reviewed: GL
 Floor: L1, L2
 Design: EDC/AM
 Revision:

1 Enlarged - Level 1 - West
 1 : 50



Client:
Standing Stone Developments Ltd.
 Cindy Byrne, Troy Grant
 10620 104 Ave NW
 Edmonton, AB, T5C 1G1
 Email: cbyrne@ssd.com
 tgrant@ssd.com
 Phone: 780 253 8337 (Troy)

Architect:
LWPAC
 Lang Wilson Practise in Architecture Culture
 Oliver Lang, Architect AIBC
 3753 West 3rd Avenue
 Vancouver, BC V6P 1M6, Canada
 Email: oliver@lwpac.com
 Phone: 604 251 7000

Structural:
 GeoForum Consulting Inc.
 Robert MacLean
 203 388 West 8th Avenue
 Vancouver, BC V6P 1S0
 Email: rmac@geoforum.com
 Phone: +1 604 703 1422

Building Envelope/PH:
 GSK Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V6P 1S0
 Email: gfinch@sk.com
 Phone: 604 675 1181 x 251

Building Code:
 CHL CONSULTANTS LTD
 Andrew Palmworth
 409 Granville Street, Suite 950
 Vancouver, BC V6C 1T2
 Email: ap@chl.ca
 Phone: 604 688 4440

Civil Engineer:
 MacDermid Consulting Services Ltd
 Nathan Dwyer
 Suite 300, 2900 Quadra Street
 Victoria, BC V8R 4A3
 Email: n.dwyer@macd.com
 Phone: 250 360 7410

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 James Parkin
 654 Commercial Street
 Victoria, B.C. V8R 1K1
 Email: james@lombardna.com
 Phone: 250 360 3338

Geotechnical Engineer:
 Geo Pacific Consultants
 Brett Baker
 1779 W 75th Avenue
 Vancouver, BC V6P 2P2
 Email: bba@geopacific.ca
 Phone: 604 433 9222 ext. 228

Traffic:
 SBC & Associates
 Simon Hudson
 Suite 401, 445 Fort Street
 Victoria, BC V8R 1G2
 Email: shudson@sbcgroup.com
 Phone: 250 792 4120

Electrical:
 AES
 Brad O'Farrell
 1330 Granville St.
 Vancouver, BC V6Z 1K7
 Phone: 604 695 2719
 Email: brad@aesengineering.com

Mechanical:
 ARE Group
 Kevin Shea
 1700 B West Hastings Street
 Vancouver, BC V6C 2H4
 Email: kevin@aregroup.ca
 Phone: 604 584 5905



Not for Construction
 All Dimensions to be verified on-site

10	JUL 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	JAN 31, 2018	REZONING APPLICATION - ADDITIONAL MATERIAL
8	OCT 22, 2017	REZONING APPLICATION - ADDITIONAL MATERIAL
7	DATE	ISSUE / REVISION

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practise in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or any other purpose without the written consent of the architect. Prior to commencement of site work the contractor shall verify all dimensions, elevations, details and levels to identify any errors and omissions. In the event of discrepancies between this drawing and the full Contract Documents, the Contractor shall bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 689 Constance Avenue, Constance Avenue,
 Esquimalt, BC, V8Y 6N5
 Legal Lot Description:
 P.O. 004574051
 Lot 1
 Plan VFP15363

A05.04

Title:
L2 Enlarged Floor Plan - West

Scale: 1:50 File: CL_020
 Date: 2018.07.24 DWG:
 Drawn: Author
 Relevel: CL Revision:

1 Enlarged - Level 2 - West
 1:50



RECEIVED
JUL 24 2018
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

Client:
 Standing Stone
 Developments Ltd.
 Casey O'Brien, Tony Grant
 1300 107th Ave W
 Edmonton, AL, T5A 3J2
 Email: casey@standingstone.ca
 tony@standingstone.ca
 Phone: 780.353.8537 (T/Fax)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 2357 West 5th Avenue
 Vancouver, BC, V6K 1M6, Canada
 Email: oliver@lwpac.ca
 Phone: 604.737.7800

Structural:
 Equilibrium Consulting Inc.
 202-188 West 8th Avenue
 Vancouver, BC, V6K 1M6
 Email: info@equilibrium.ca
 Phone: +1 604 250 1432

Building Envelope/PHI:
 KSH Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC, V6K 1M6
 Email: gfinch@ksh.com
 Phone: 604 473 1181 x 251

Building Code:
 GHL CONSULTANTS LTD
 Andrew Harmsworth
 409 Granville Street, Suite 950
 Vancouver, BC, V6C 1T2
 Email: andrew@ghl.ca
 Phone: 604 681 4469

Civil Engineer:
 McLennan Consulting Services Ltd.
 Nathan Daulton
 Suite 200, 1360 Quince Street
 Victoria, BC, V8W 4B3
 Email: n.daulton@mcslens.com
 Phone: 250 766 7027

Landscape Architect:
 Lombard North Group (R.C.) Inc.
 James Parkin
 836 Garmouth Street
 Victoria, BC, V8W 1R1
 Email: james@lombard.ca
 Phone: 250 383 3333

Geotechnical Engineer:
 Geotechnic Consultants
 Wally Hagan
 1770 W 70th Avenue
 Vancouver, BC, V6P 1P2
 Email: wally@geotechnic.ca
 Phone: 604 450 0928 ext. 238

Traffic:
 Burt & Associates
 Simon Burton
 Suite 474, 945 Fort Street
 Victoria, BC, V8W 1S2
 Email: simon@burtandco.com
 Phone: 250 552 4122

Electrical:
 IED Group
 Brad Durrant
 1330 Granville St.
 Vancouver, BC, V6Z 1A7
 Phone: 604 695 2719
 Email: brad@iedgroup.com

Mechanical:
 AWC Group
 Kevin Stone
 1100 B Street West, Suite 100
 Vancouver, BC, V6C 1A4
 Email: kevin@awcgroup.ca
 Phone: 604 584 5565



Notes for Construction:
 All dimensions to be verified on-site.

#	Date	Issue / Revision
1	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
2	Jul 31, 2018	REVISION APPLICATION - ADDITIONAL MATERIALS
3	Dec 22, 2017	REVISION APPLICATION - ADDITIONAL MATERIALS

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or used for the purpose of the architect. Prior to commencing work, the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, ensuring any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

Contractor:
CORVETTE LANDING
 480 Glenhurst Avenue, Coquitlam Avenue,
 455, 660, 822 Admiral Road,
 Coquitlam, BC, V3K 5H9
 Email: info@corvette.com
 P.I.D. 004574531
 Lot 1
 Plan # 072963

A05.05

Title:
 L2 Enlarged Floor
 Plan - East

Scale: 1:50	File: CL20
Date: 2018.07.24	DWG#: A05.05
Drawn: Author	Checked: OL
Reviewed: OL	Project:

1 Enlarged - Level 2 - East
 1:50



1 - Enlarged - Level 3 - West
1 : 50

Client:
Standing Stone
Developments Ltd.
Carey Byrne, Troy Grant
10025 151st Ave SW
Edmonton, AB, T5J 3C3
Email: ssdev@standingstone.ca
ssdev@standingstone.com
Phone: 780.253.1537 (Toll-free)

Architect:
LWPAC
Lang Wilson Practice in Architecture Culture
Oliver Lang, Architect AIBC
3333 West 30th Avenue
Vancouver, BC, V6P 1N5, Canada
Email: ol@lwpac.com
Phone: 604.753.7000

Structural:
Equilibrium Consulting Inc.
Robert MacKay
212 288 West 28th Avenue
Vancouver, BC, V6P 3J2
Email: rmac@equilibrium.ca
Phone: +1 604 752 1422

Building Envelope/PH:
424 Building Science Inc.
Graham Frost
224 W 8th Avenue
Vancouver, BC, V7Y 1G5
Email: g.frost@building-science.com
Phone: 604.875.1191 x 251

Building Code:
CML CONSULTANTS LTD
4444 Main Street
409 Granville Street, Suite 1050
Vancouver, BC, V6C 1T2
Email: info@cml.ca
Phone: 604.683.4443

Civil Engineer:
McDermey Consulting Services Ltd.
Nathan Dudge
Suite 500, 1840 Quatre Street
Victoria, BC, V8W 4A3
Email: n.dudge@mcdermey.com
Phone: 780.765.7677

Landscape Architect:
Lombard North Group Inc.
Lance Fisker
434 Gilmour Street
Victoria, B.C. V8P 1S1
Email: lombardn@gm.com
Phone: 250.368.3338

Geotechnical Engineer:
GeoPacific Consultants
Mark Jones
1779 W 75th Avenue
Vancouver, BC, V6P 2P2
Email: mark@geopacific.ca
Phone: 604.439-0022 ext. 228

Traffic:
K&S Associates
Simon Eaton
Suite 421, 645 Ross Street
Victoria, BC, V8W 1G2
Email: steve@kandassociates.com
Phone: 250.945.4110

Electrical:
AES
Fred Duvring
1930 Granville St.
Vancouver, BC, V6Z 1W7
Phone: 604.615.2719
Email: fred@aesgroupinc.com

Mechanical:
HMF Group
Kevin Shea
1700-B West Hastings Street
Vancouver, BC, V6C 3B4
Email: kevin@hmfgroup.com
Phone: 604.684.3900



Key for Construction: All dimensions to be verified on-site

10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	REZONING APPLICATION - ADDITIONAL MATERIALS
8	Dec 14, 2017	REZONING APPLICATION & ADDITIONAL MATERIALS
#	Date	Issued / Revision

Copyright reserved. This design and the drawing are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other project without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
388 Gairdner Avenue, Commerce Avenue,
555, 602, 622 Adelaide Road
Edmonton, AB, T5A 6N9
Legal Lot Description:
P.L.O. 00474451
Lot 1
Plan V071550

Title:
A05.06
L3 Enlarged Floor
Plan - West
Scale: 1:50
Date: 20180724
Drawn: A05.06
Reviewed: GL



Client:
Standing Stone Developments Ltd.
 Casey Byrne, Project Manager
 10027 52nd Ave W4
 Edmonton, AB, T5A 3G2
 Email: casey@standingstone.ca
 standingstone.ca
 Phone: 780.251.8537 (Toll-free)

Architect:
LWPAC
 Ling Wilson Practice in Architecture Culture
 Other Lang, Architect ABC
 3333 West 70th Avenue
 Vancouver, BC, V6P 1N6, Canada
 Email: office@lwpac.net
 Phone: 604.751.7520

Structural:
 Equilibrium Consulting Inc.
 Robert Wicks
 212-188 West 66th Avenue
 Vancouver, BC, V5T 3V2
 Email: rwick@equilibrium.ca
 Phone: 604.752.1422

Building Envelope/PH:
 804 Building Science Inc.
 Graham Finch
 214 W 15th Avenue
 Vancouver, BC, V5T 1N8
 Email: gfinch@building-science.com
 Phone: 604.875.1181 x 251

Building Code:
 One Consultants Ltd.
 Andrew Harrison
 409 Granville Street, Suite 950
 Vancouver, BC, V6C 1T2
 Email: andrew@one.ca
 Phone: 604.684.4848

Civil Engineer:
 McEwanney Consulting Services Ltd.
 Nathan Ouellet
 Suite 300, 3983 Quail Street
 Victoria, BC, V8K 4A3
 Email: nathan@mcewanney.com
 Phone: 779.766.7437

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 James Pantow
 816 Commercial Street
 Victoria, B.C., V8W 1R1
 Email: james@lombardnorth.ca
 Phone: 250.356.3356

Geotechnical Engineer:
 GeoPacific Consultants
 Matt Kohn
 1779 W 75th Avenue
 Vancouver, BC, V6P 1Z7
 Email: matt@geopacific.ca
 Phone: 604.432-0122 ext. 228

Traffic:
 Burn & Associates
 Simon Burn
 Suite 401, 645 Fort Street
 Victoria, BC, V8W 1G2
 Email: simon@burnandassociates.com
 Phone: 250.592.9122

Electrical:
 Brad O'Leary
 1330 Commercial St.
 Vancouver, BC, V6Z 1W7
 Phone: 604.685.1718
 Email: brad@oylearyengineering.com

Mechanical:
 AWE Group
 Kevin Dea
 1000 B Street West, Suite 200
 Vancouver, BC, V6C 2R4
 Email: kevin@aweengineering.ca
 Phone: 604.684.5995



Not for Construction
 All dimensions to be verified on-site

Date	Issued / Revision
Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
Jan 31, 2018	REGIONAL APPLICATION
Dec 22, 2017	REGIONAL MATERIAL
	REGIONAL APPLICATION
	REGIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Ling Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, subcontract, or used as evidence, drawings, diagrams and levels to commence work of the contractor until verified as accurate, complete, correct and levelly to identify any errors and omissions, promptly any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 499 Constance Avenue, Constance Avenue,
 456, 452 Address Road,
 Esquimalt, BC, V8K 4G5
 Legal Lot Description:
 21.0, 20K7451
 Lot 1
 Plan 2017/254

A05.07

File:
L3 Enlarged Floor Plan - East

Scale:	File:
1:50	CL_00
Date: 2018.07.24	Drawn:
Drawn: Author	Checked:
Reviewed: GL	Revision:

1 Enlarged - Level 3 - East
 1 : 50



Client:
Standing Stone Developments Ltd.
 Carey & Byrne, Troy Grant
 1900 15th Ave SW
 Edmonton, AB T6E 1S2
 Email: carey@ssdev.com
 Phone: 780.453.8177

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 3353 West 38th Avenue
 Vancouver, BC V6R 1K6, Canada
 Email: office@lwpac.ca
 Phone: 604.737.7000

Structural:
 Equilibrium Consulting Inc.
 Robert Muzny
 200-188 West 38th Avenue
 Vancouver, BC V6R 1K6
 Email: r.muzny@equi.ca
 Phone: +1 604 252 1437

Building Envelope/PH:
 KRM Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V6P 1K5
 Email: gfinch@krm.com
 Phone: 604 675 1151 x 251

Building Code:
 GHL CONSULTANTS LTD.
 Address: 400 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: info@ghl.ca
 Phone: 604 688 4600

Civil Engineer:
 Westway Consulting Services Ltd.
 Nathan Durkin
 Suite 200, 3900 Quadra Street
 Victoria, BC V8N 4A3
 Email: n.durkin@westway.com
 Phone: 778 784 2817

Landscape Architect:
 Lombard North Group Inc. C.I. Inc.
 James Farlow
 836 Commercial Street
 Victoria, BC V8N 1E1
 Email: james@lombardna.com
 Phone: 250 366 3338

Geotechnical Engineer:
 GeoPacific Consultants
 Matt Kwan
 1750 W 7th Avenue
 Vancouver, BC V6P 1R2
 Email: matt@geopacific.ca
 Phone: 604 693 0822 ext. 25

Traffic:
 Burn & Associates
 Simon Bator
 Suite 401, 645 Fort Street
 Victoria, BC V8W 1G2
 Email: simon@burnandco.com
 Phone: 250 592 6122

Electrical:
 JES Consulting
 1330 Granville St.
 Vancouver, BC V6H 1P7
 Phone: 604 693 3719
 Email: andy@jesconsulting.com

Mechanical:
 AWC Group
 Kevin Shea
 1100 S West Hastings Street
 Vancouver, BC V6E 2M6
 Email: kevin@awcgroup.ca
 Phone: 604 681 9905



Not for Construction
 All dimensions to be verified on-site

#	Date	Issued / Revisions
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	PERMISSION APPLICATION & ADDITIONAL MATERIAL
8	Dec 28, 2017	PERMISSION APPLICATION & ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or any other purpose without the written consent of the architect. Prior to commencing any work, the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, accuracy any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the Architect for clarification.

FOR:
CORVETTE LANDING
 699 Granville Avenue, Granville Avenue,
 655, 660, 622 Adair's Road
 Esquimalt (BC), V8K 6N7
 LEGAL LOT DESCRIPTION:
 P.L.S. 004574631
 Lot 1
 Plan NIP12363

A05.08
 Title:
L4 Enlarged Floor Plan - West
 Scale: 1:50 File: GL_00
 Date: 2018-07-24 DWG:
 Drawn: Author
 Reviewed: GL Revision:



1 Enlarged - Level 4 - West
 1:50



RECEIVED
JUL 24 2018
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

Client:
 Standing Stone
 Developments Ltd.
 1000 15th Ave W
 Edmonton, AB T6A 1P2
 Email: standingstone@ssd.ca
 Phone: 780.383.8337 (T501)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect ASBC
 1015 West 5th Street
 Vancouver, BC V6E 1G6, Canada
 Email: office@lwpac.net
 Phone: 604.733.9000

Structural:
 Equilibrium Consulting Inc.
 Robert Marzys
 222 West 4th Avenue
 Vancouver, BC V5T 1A9
 Email: rmarzys@equilibrium.ca
 Phone: +1 604 733 1422

Building Envelope/PH:
 KBR Building Science Inc.
 Graham Finch
 624 West 4th Avenue
 Vancouver, BC V5T 1A5
 Email: gfinch@kbr.com
 Phone: 604.675.1181 x 251

Building Code:
 GHL CONSULTANTS LTD.
 Andrew Harnsworth
 402 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: aharns@ghl.ca
 Phone: 604.585.4443

Civil Engineer:
 McElroy Consulting Services Ltd.
 Nathan Guship
 Suite 300, 3900 Quadra Street
 Victoria BC V8N 4A3
 Email: n.guship@mc-elroy.com
 Phone: 778 745 7417

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 Jerrin Parlow
 455 Commercial Street
 Victoria, B.C. V8N 1R1
 Email: jparlow@lombard.ca
 Phone: 250.365.5335

Geotechnical Engineer:
 GeoPacific Consultants
 Mark Eskin
 1270 W 7th Avenue
 Vancouver, BC V6H 1P2
 Email: mark@geopacific.ca
 Phone: 604-437-0022 ext. 225

Traffic:
 Burn & Associates
 Simon Burn
 Suite 421, 645 Fort Street
 Victoria, BC V8R 1G2
 Email: sburn@burneng.com
 Phone: 250.592.8122

Electrical:
 Bred & Young
 1330 Granville St.
 Vancouver, BC V6H 1A7
 Phone: 604.682.2719
 Email: bred@bryoungeng.com

Mechanical:
 AME Group
 Kevin Oke
 1100 West Hastings Street
 Vancouver, BC V6E 2K4
 Email: kevin@amegroup.ca
 Phone: 604.684.5903



Not for Construction
 All Dimensions to be verified on site

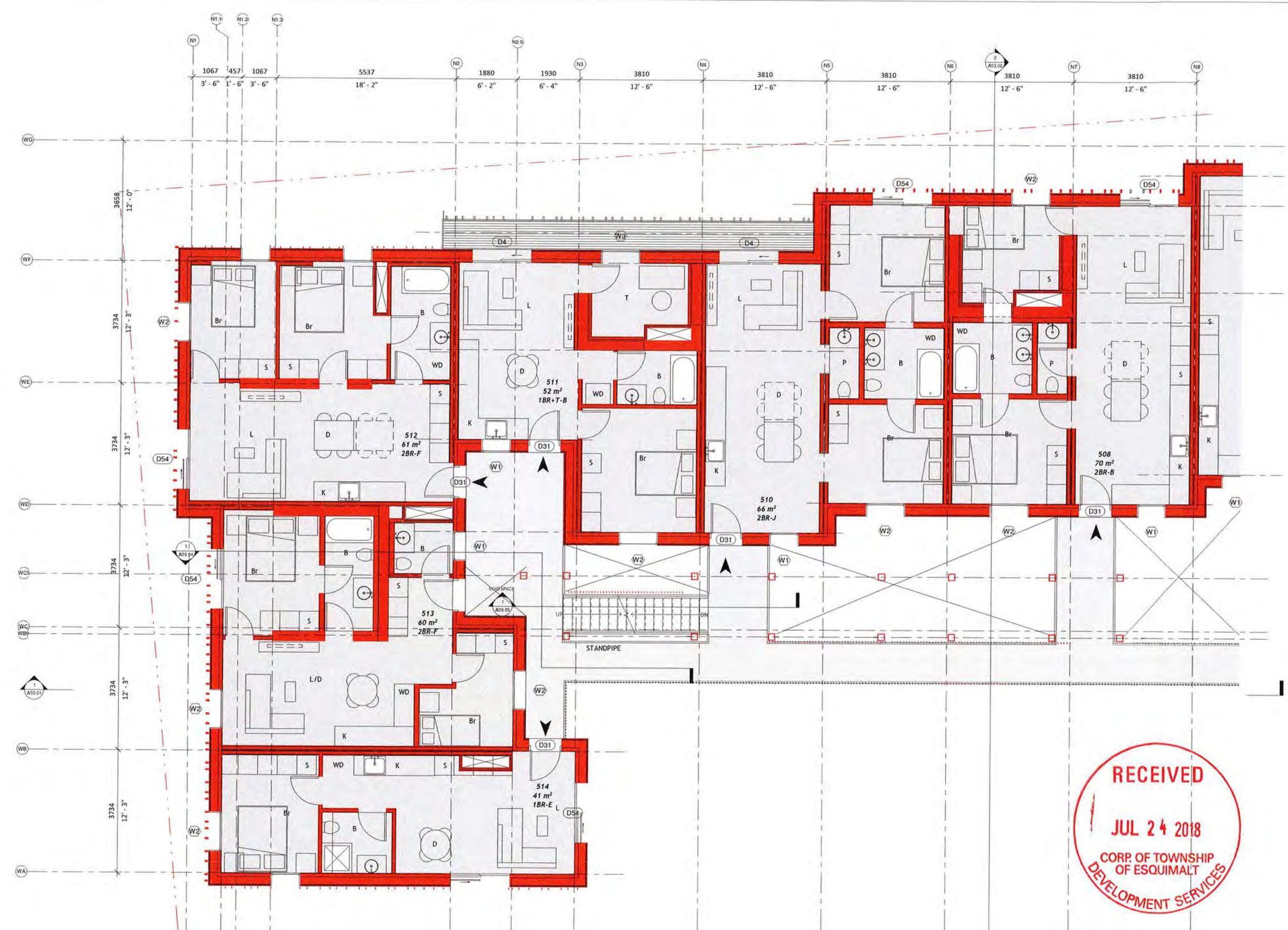
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	REVISION APPLICATION 7 - ADDITIONAL MATERIAL
8	Dec 22, 2017	REVISION APPLICATION 6 - ADDITIONAL MATERIAL
4	Date	Revised / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or reuse for that purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels. Identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 599 Comstance Avenue, Comstance Avenue,
 578, 580, 522 Admiralty Road
 Esquimalt (BC), V8A 6R9
 Legal Description:
 P.O. 0047451
 S61
 28x107.55x63

A05.09
 Title:
L4 Enlarged Floor Plan - East
 Scale: 1:50 File: CL_09
 Date: 2018-07-24 DWG#: 4-0509-01
 Drawn: Author
 Reviewed: CL

1 Enlarged - Level 4 - East
 1:50



Client:
Standing Stone Developments Ltd.
 1005 10th Ave SW
 Edmonton, AB, T6C 2G2
 Email: standingstone@ssd.com
 Phone: 780.533.8877 (Toll Free)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 3903 Street 39A Avenue
 Vancouver, BC, V6R 1N6, Canada
 Email: office@lwpac.com
 Phone: 604.733.7800

Structural:
 Equilibrium Consulting Inc.
 Robert Malozzi
 2125 38th Street, Suite 100
 Vancouver, BC, V6K 3A2
 Email: rmalozzi@equilibrium.com
 Phone: +1 604 733 1432

Building Envelope/PH:
 ADR Building Science Inc.
 Graham Finch
 24 W. 6th Avenue
 Vancouver, BC, V6C 1A5
 Email: gfinch@adr.com
 Phone: 604.673.3161 x 231

Building Code:
 GHL CONSULTANTS LTD
 Andrew Harwood
 406 Columbia Street, Suite 500
 Vancouver, BC, V6C 1T2
 Email: aharwood@ghl.com
 Phone: 604.683.4843

Civil Engineer:
 McWharney Consulting Services Ltd.
 Nathan Doring
 Suite 500, 3960 Quilley Street
 Victoria, BC, V8M 4K1
 Email: n.doring@mcwharney.com
 Phone: 779 741 2417

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 Jeff MacPherson
 435 Commercial Street
 Victoria, B.C. V8M 1R1
 Email: jmacpherson@lombardna.com
 Phone: 250.361.3335

Geotechnical Engineer:
 GeoPacific Consultants
 1825 10th Ave
 1779 W 25th Avenue
 Vancouver, BC, V6M 1R2
 Email: info@geopacific.ca
 Phone: 604-693-0822 ext. 216

Traffic:
 Burn & Associates
 Simon Burton
 Suite 421, 445 First Street
 Victoria, BC, V8W 1S3
 Email: sburton@burn.com
 Phone: 250.592.9122

Electrical:
 BRS Group Inc.
 1330 Granville St.
 Vancouver, BC, V6H 1P7
 Phone: 604.683.3719
 Email: brs@brsgroupinc.com

Mechanical:
 APE Group
 Kevin Shaw
 1100 S West Hastings Street
 Vancouver, BC, V6E 2V6
 Email: kevin@apegroup.com
 Phone: 604.684.3900



Not for Construction
 All Dimensions to be verified on site

#	Date	Issue / Revision
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	PERMISSION APPLICATION - ADDITIONAL MATERIAL
8	Dec 22, 2017	PERMISSION APPLICATION - ADDITIONAL MATERIAL
7	08/18	Issue / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 699 Constance Avenue, Constance Avenue,
 #24, 605-620 Astoria Road,
 Esquimalt, BC, V8A 6R9
 Legal Lot Description:
 F.S.O. 004574451
 S.S. 1
 E.S. 1/3/12563

A05.10

Title:
L5 Enlarged Floor Plan - West

Scale: 1:50	File: CL_50
Date: 2018-07-24	Drawn: JWS
Drawn: Author	Reviewed: CL



1 Enlarged - Level 5 - West
 1 : 50



Client:
Standing Stone Developments Ltd.
 Casey O'Brien, Project Manager
 10020 136th Ave. #10
 Edmonton, Alberta, T5A 3J2
 Email: casey@standingstone.com
 standingstone.com
 Phone: 780.243.8377 (T/F)

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Other Lang, Architect ABC
 2355 West 35th Avenue
 Vancouver, BC V6K 1K6, Canada
 Email: office@lwpac.com
 Phone: 604.753.7000

Structural
 Equiform Consulting Inc.
 Robert Wainwright
 202 West 80th Avenue
 Vancouver, BC V6P 1P2
 Email: robert@equiform.com
 Phone: +1 604 252 2422

Building Envelope/PH
 Gifford Architects Inc.
 Graham Pritchard
 224 W 8th Avenue
 Vancouver, BC V6P 1A5
 Email: gifford@arch.com
 Phone: 604.683.1181 x 231

Building Code
 City of Coquitlam
 400 Granville Street, Suite 900
 Vancouver, BC V6C 2T2
 Email: a.hughes@coquitlam.ca
 Phone: 604.588.4444

Civil Engineer
 McLennan Consulting Engineers Ltd.
 Nathan Dwyer
 Suite 300, 3005 Quince Street
 Victoria BC V8K 4A3
 Email: n.dwyer@mcclennan.com
 Phone: 250.366.9417

Landscape Architect
 Landmark Group (B.C.) Inc.
 James Pattison
 540 Commercial Street
 Victoria, BC V8K 1K1
 Email: james@landmark.ca
 Phone: 250.366.3338

Geotechnical Engineer
 GeoPacific Consultants
 West Koenig
 1777 W 75th Avenue
 Vancouver, BC V6P 1P2
 Email: west@geopacific.ca
 Phone: 604.431.9122 ext. 236

Traffic
 Surt S Association
 Simon Batten
 Suite 421, 445 Fort Street
 Victoria, BC V8K 1S2
 Email: simon@surt.org
 Phone: 250.912.4128

Electrical
 425
 8100 Du-Frang
 1730 Glenridge St.
 Vancouver, BC V6E 1W7
 Phone: 604.655.2718
 Email: brad@425engineering.com

Mechanical
 425 Group
 Kevin Shea
 1100 8th Avenue, Hastings Tower
 Vancouver, BC V6C 2H4
 Email: kevin@425group.ca
 Phone: 604.684.3905



Not for Construction
 All dimensions to be verified on-site

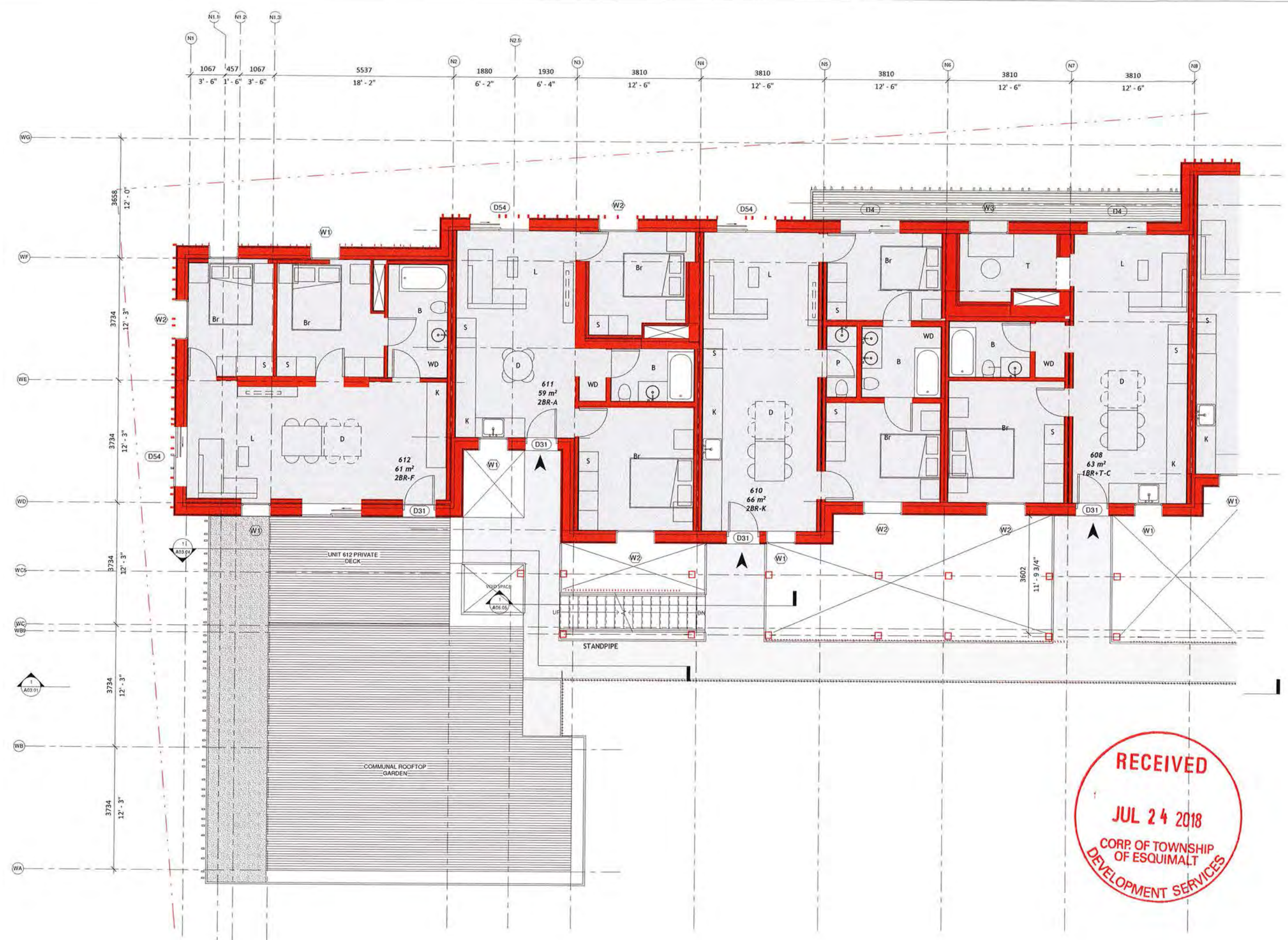
Rev	Date	Description
10	Jul 24, 2018	ISSUE FOR PERMIT APPLICATION
9	Jan 31, 2018	REVISION APPLICATION
8	Dec 22, 2017	REVISION APPLICATION
7	Dec 22, 2017	REVISION APPLICATION
6	Dec 22, 2017	REVISION APPLICATION
5	Dec 22, 2017	REVISION APPLICATION
4	Dec 22, 2017	REVISION APPLICATION
3	Dec 22, 2017	REVISION APPLICATION
2	Dec 22, 2017	REVISION APPLICATION
1	Dec 22, 2017	REVISION APPLICATION

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture, and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all dimensions, dimensions, returns and levels to identify any errors and omissions, and any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the Architect for clarification.

Owner:
CORVETTE LANDING
 499 Glenridge Avenue, Coquitlam Avenue,
 #16, #40, #42 Admirals Road,
 Coquitlam, BC, V3K 4M8
 Legal Lot Description:
 P.L.S. 00457453
 Lot:
 Plan V171063

A05.11
 Title:
L5 Enlarged Floor Plan - East
 Scale: 1:50
 Date: 2018-07-24
 Drawn: Author
 Reviewed: CL

1 Enlarged - Level 5 - East
 1:50



Client:
Standing Stone Developments Ltd.
 Casey O'Brien, Project Manager
 1050 12th Ave SW
 Edmonton AB, T5A 3C2
 Email: casey@standingstone.ca
 standingstone.com
 Phone: 780.353.8797 (Toll-free)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Other Lang, Architect ABC
 2125 West 21st Avenue
 Vancouver, BC, V6M 1N6, Canada
 Email: info@lwpac.com
 Phone: 604.253.2600

Structural:
 Equilibrium Consulting Inc.
 Robert W. Kelly
 200-288 West 4th Avenue
 Vancouver, BC, V5Z 1A2
 Email: rick@equilibrium.ca
 Phone: +1 604 733 1422

Building Envelope/PH:
 BOM Building Science Inc.
 Graham French
 224 W 8th Avenue
 Vancouver, BC, V5Z 1R5
 Email: g.french@bom.com
 Phone: 604.673.1181 x221

Building Code:
 CHL CONSULTANTS LTD
 Andrew Armstrong
 409 Granville Street, Suite 100
 Vancouver, BC, V6C 1T2
 Email: andy@chl.ca
 Phone: 604.583.4443

Civil Engineer:
 McLennan Consulting Services Ltd.
 Nicholas Dudge
 Suite 300, 3900 Quince Street
 Victoria, BC, V8N 4A2
 Email: nicholas@mcclennan.com
 Phone: 778.743.7417

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 James Parkin
 815 Commercial Street
 Victoria, B.C. V8W 1R1
 Email: james@lombardna.ca
 Phone: 250.396.3335

Geotechnical Engineer:
 GeoPacific Consultants
 Brad Foster
 1779 W 75th Avenue
 Vancouver, BC, V6P 1P2
 Email: b.foster@geopacific.ca
 Phone: 604.439-0922 ext. 225

Traffic:
 Kurt B. Associates
 Shon Robinson
 Suite 421, 949 Ross Street
 Victoria, BC, V8W 1G2
 Email: shon@kurtbassoc.com
 Phone: 250.510.5120

Electrical:
 AEG
 Brad Ouyang
 1930 Granville St.
 Vancouver, BC, V6M 1K7
 Phone: 604.555.3718
 Email: brad@ouyangengineering.com

Mechanical:
 AME Group
 Keith Stone
 1100-B West Hastings Street
 Vancouver, BC, V6E 2H4
 Email: keith@amegroup.ca
 Phone: 604.686.5600



Not for Construction
 All dimensions to be verified on-site

NO.	DATE	DESCRIPTION
10	JUL 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	JAN 31, 2018	FEEDING APPLICATION
8	OCT 22, 2017	FEEDING APPLICATION
7		ADDITIONAL MATERIAL
6		ADDITIONAL MATERIAL
5		ADDITIONAL MATERIAL
4		ADDITIONAL MATERIAL
3		ADDITIONAL MATERIAL
2		ADDITIONAL MATERIAL
1		ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions and notify the architect immediately. Any discrepancies between this drawing and the full contract documents and in particular, bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 699 Goussier Avenue, Coquitlam, BC, V3K 6G2
 Equipteam ABC, V6R 6A6
 Legal Lot Description:
 P.L.S. 00057451
 S.O.
 Plan VOF 12563

A05.12
 FROM:
L6 Enlarged Floor Plan - West
 Scale: 1:50 File: CL_03
 Date: 2018-07-24 Date:
 Drawn: Author Date:
 Reviewed: DL Revision:



1 Enlarged - Level 6 - West
 1:50



Client:
Standing Stone Developments Ltd.
 2025 10th Ave NE
 Edmonton, AB, T5J 1G2
 Email: csw@standingstone.com
 Phone: 780.253.8557 (Ft. St. John)

Architect:
LWPAC
 Liang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 1333 West 33rd Avenue
 Vancouver, BC, V6K 3K6, Canada
 Email: oliv@lwpac.com
 Phone: 604.733.7500

Structural:
 Esquimalt Consulting Inc.
 Robert Wallace
 222 West 10th Avenue
 Vancouver, BC, V5Y 3J2
 Email: rwallace@esquimalt.com
 Phone: +1 604 272 3322

Building Envelope/PH:
 ABE Building Science Inc.
 Graham Finch
 222 West 10th Avenue
 Vancouver, BC, V5Y 3J2
 Email: gfinch@abe.com
 Phone: 604.875.1181 x 251

Building Code:
 CHL CONSULTANTS LTD.
 Andrew Chapman
 420 Granville Street, Suite 550
 Vancouver, BC, V6C 1T2
 Email: a.chapman@chl.ca
 Phone: 604.681.8889

Civil Engineer:
 Wellferry Consulting Services Ltd.
 Northern Office
 Suite 302, 1940 Gladwin Street
 Victoria, BC, V8K 4K3
 Email: nwellferry@wellferry.com
 Phone: 1 779 745 7417

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 James Partlow
 836 Glenhurst Street
 Victoria, B.C. V8K 1K1
 Email: james@lombardna.com
 Phone: 250.386.3318

Geotechnical Engineer:
 GeoPacific Consultants
 Mark Kwan
 1779 West 10th Avenue
 Vancouver, BC, V6K 3K6
 Email: mark@geopacific.ca
 Phone: 604.439.0222 ext. 226

Traffic:
 Burn & Associates
 Simon Burns
 Suite 421, 640 Park Street
 Victoria, BC, V8K 1K2
 Email: simon@burnandco.com
 Phone: 250.592.5122

Electrical:
 ATE
 Brad Dougan
 1150 Granville St.
 Vancouver, BC, V6C 1K7
 Phone: 604.675.2719
 Email: brad@atengroup.com

Mechanical:
 AME Group
 Kevin Shea
 1100 B Street Hastings Street
 Vancouver, BC, V6C 2A4
 Email: kevin@amegroup.com
 Phone: 604.684.5505



Not for Construction
 All dimensions to be verified on site

Date	Issue / Revision
10 Jul 24, 2018	DEVELOPMENT REVIEW APPLICATION
11 Jul 31, 2018	REVISION APPLICATION 7 - ADDITIONAL MATERIAL
8 Dec 22, 2017	REVISION APPLICATION 6 - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Liang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, work for assembly, alterations, details and design. In commencement of the work the contractor shall verify all assemblies, dimensions, details and design to identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

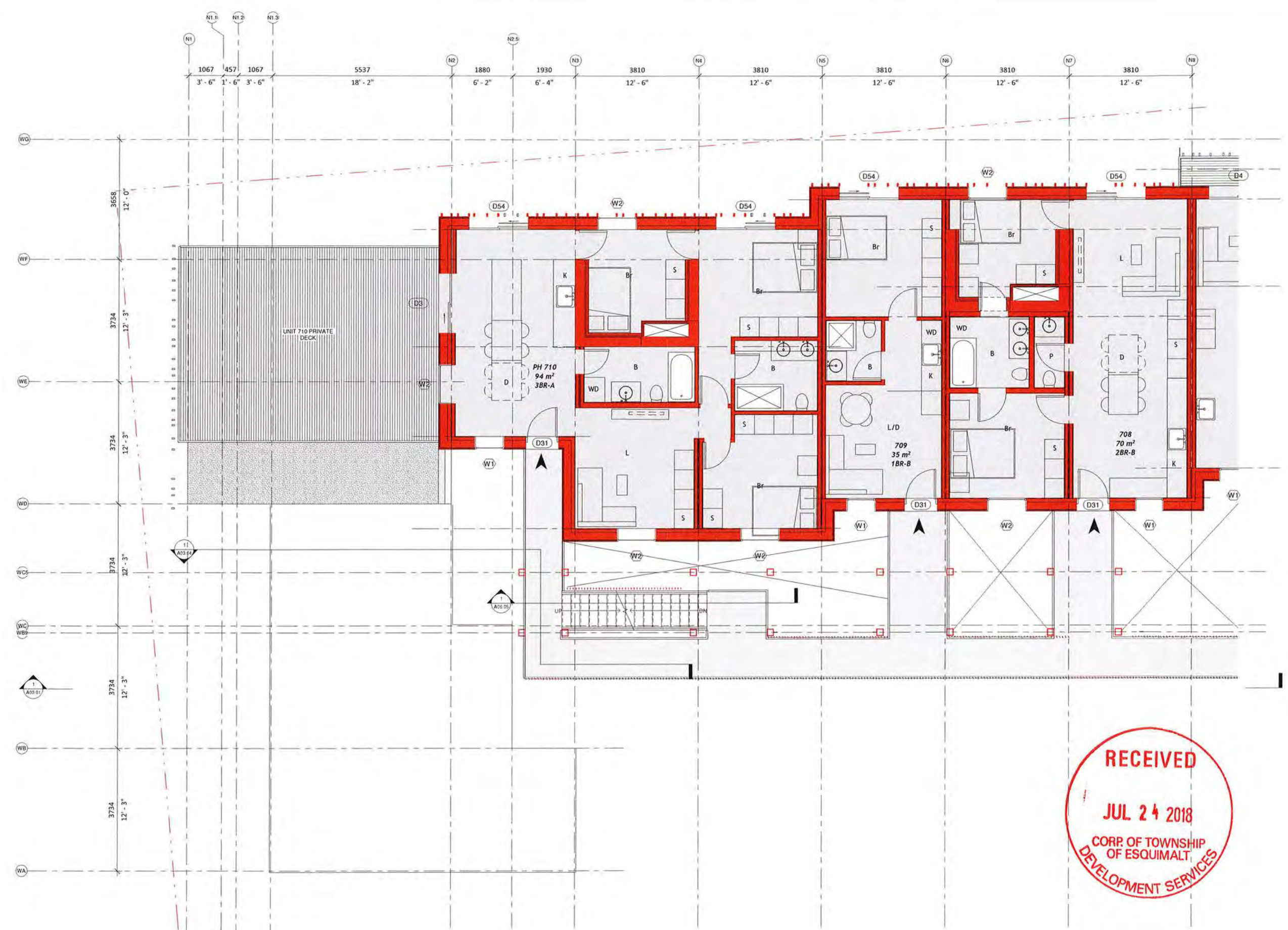
Project:
CORVETTE LANDING
 635 Constance Avenue, Constance Avenue,
 875, 642, 622 Admirals Road,
 Esquimalt, BC, V8K 4K3
 Single Lot Description:
 P.O. 00074421
 Lot 1
 Parcel 010363

A05.13

Title:
L6 Enlarged Floor Plan - East

Scale	File
1:50	CL_50
20180724	20180724
20180724	20180724
Drawn: JACOB	Check: JACOB
Reviewed: CL	Revised: CL

1 Enlarged - Level 6 - East
 1 : 50



Client:
Standing Stone Developments Ltd.
 Clare Ehrlich, Top Exec
 1000 1014 Ave SW
 Edmonton, AB, T5J 1S2
 Email: clare@standingstone.com
 Phone: 780.261.8337 (T780)

Architect:
LWPAC
 Long Wilson Practice in Architecture Culture
 Oliver Long, Architect ARBC
 1933 West 5th Avenue
 Vancouver, BC, V6J 1M6, Canada
 Email: ol@lwpac.net
 Phone: 604.251.5058

Structural:
 Equilibrium Consulting Inc.
 Robert Malczuk
 212 West 8th Avenue
 Vancouver, BC, V5Y 1A2
 Email: rmalczuk@equilibrium.com
 Phone: +1 604 750 1422

Building Envelope/PH:
 B&B Building Science Inc.
 Graham Pritchard
 224 W 8th Avenue
 Vancouver, BC, V5Y 1M5
 Email: gpritchard@bbs.com
 Phone: 604.875.1151 x 251

Building Code:
 G&L CONSULTANTS LTD
 Andrea Harnsworth
 407 Granville Street, Suite 900
 Vancouver, BC, V6C 1T2
 Email: ah@glc.ca
 Phone: 604.683.4449

Civil Engineer:
 McLennan Consulting Services Ltd.
 Nathan Duggan
 Suite 300, 2960 Quays Street
 Victoria, BC, V8R 4A3
 Email: nathan@mcclennan.com
 Phone: 778.745.7417

Landscape Architect:
 Lombard North Group (S.C.) Inc.
 Jason Furlow
 818 Commercial Street
 Victoria, BC, V8W 2H1
 Email: jfurlow@lombard.ca
 Phone: 250.386.3338

Geotechnical Engineer:
 GeoPacific Consultants
 Neil Kuhn
 1775 W 75th Avenue
 Vancouver, BC, V6P 1Z3
 Email: neil@geopacific.ca
 Phone: 604.491-0922 ext. 226

Traffic:
 Ruse & Associates
 Simon Ruck
 Suite 421, 448 First Street
 Kelowna, BC, V1Y 1G2
 Email: sruck@rusengr.com
 Phone: 250.862.6122

Electrical:
 A&S
 Brad Guiring
 1120 Granville St.
 Vancouver, BC, V6H 2K7
 Phone: 604.685.3718
 Email: brad@aspengineering.com

Mechanical:
 W&E Group
 Kevin Shea
 1100 West Hastings Street
 Vancouver, BC, V6E 2A4
 Email: kevin@waeengr.com
 Phone: 604.684.5995



Map for Construction:
 All dimensions to be verified on site

Date	Issue / Revision
Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
Jan 31, 2018	REGIONAL APPLICATION 2 - ADDITIONAL MATERIAL
Dec 22, 2017	REGIONAL APPLICATION 1 - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Long Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all dimensions, elevations, details and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents; and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 498 Constance Avenue, Constance Avenue,
 498, 498, 492 Constance Road
 Esquimalt, BC, V8A 6H9
 Legal Lot Description:
 F.S. 20074451
 S&T 1
 Plan 0811553

A05.14

Title:
L7 Enlarged Floor Plan - West

Scale	File
Scale: 1:50	File: CL_D0
Date: 2018-07-24	Drawn:
Drawn: Author	Revised:
Revised: CL	



1 Enlarged - Level 7 - West
 1 : 50



Client:
Standing Stone Developments Ltd.
 6100 48th Ave, Unit 100
 Edmonton AB, T5J 2G2
 Email: standingstone@standingstone.com
 Phone: 781.251.8377 (T781)

Architect
LWPAC
 Lang Willgoose Practice in Architecture Culture
 Olivier Lang, Architect ABC
 2353 West 50th Avenue
 Vancouver, BC V6M 1K6, Canada
 Email: olivier@lwpac.com
 Phone: 604.755.7500

Structural
 Equilibrium Consulting Inc.
 200 334 West 8th Avenue
 Vancouver, BC V6C 1S2
 Email: m.aziz@equilibrium.ca
 Phone: +1 604 755 7437

Building Envelope/PH
 Kim Building Services
 Graham Fink
 224 W 5th Avenue
 Vancouver, BC V6C 1S5
 Email: g.fink@kbs.com
 Phone: 604 431 1181 x 251

Building Code
 GSI CONSULTANTS LTD.
 Andrew Hartswood
 409 Granville Street, Suite 500
 Vancouver, BC V6C 1T5
 Email: andrew@gsiconsultants.ca
 Phone: 604 683 8888

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Durlop
 Suite 500, 3840 Quadra Street
 Victoria BC V8K 4A2
 Email: n.durlop@mcclennan.com
 Phone: 778 246 7407

Landscape Architect
 Lombard North Group (B.C.) Inc.
 James Partlow
 834 Glenora Street
 Victoria, B.C. V8M 1S1
 Email: james@lombardna.com
 Phone: 250 386 3336

Geotechnical Engineer
 GeoPacific Consultants
 Matt Kozan
 1770 W 75th Avenue
 Vancouver, BC V6P 9F8
 Email: matt@geopacific.ca
 Phone: 604 439 0282 ext. 225

Traffic
 Burt & Associates
 Simon Burt
 Suite 401, 645 First Street
 Victoria, BC V8W 1G2
 Email: simon@burtassoc.com
 Phone: 250 392 8722

Electrical
 ADS
 Brad Du Hong
 1320 Glenridge St.
 Vancouver, BC V6E 1M7
 Phone: 604 683 2719
 Email: brad@adsgroupinc.com

Mechanical
 AME Group
 Kevin Siao
 1100 8th Street West
 Vancouver, BC V6C 2Y4
 Email: kevin@amegroup.ca
 Phone: 604 684 5995



Not for Construction
 All dimensions to be verified on site

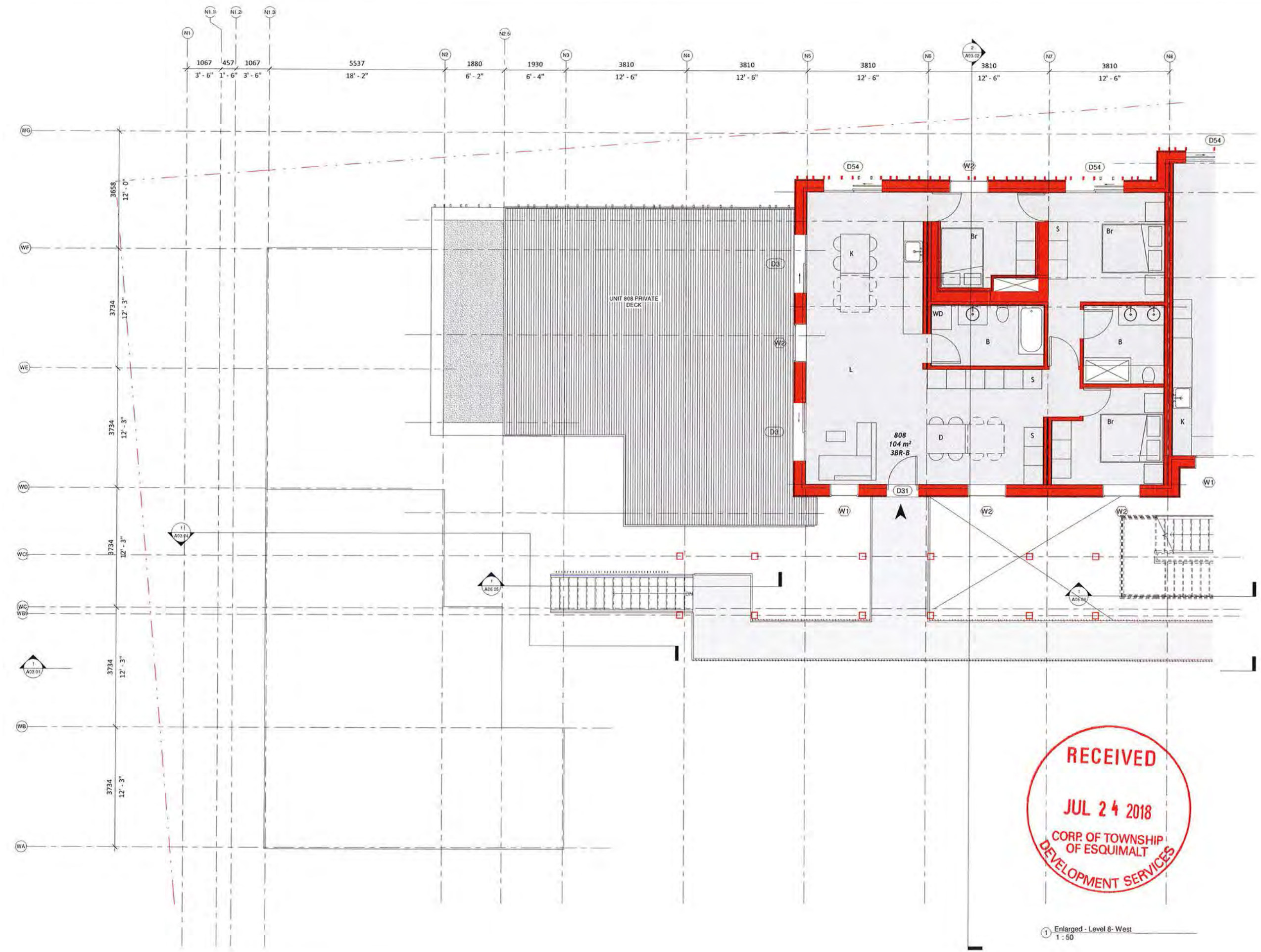
NO.	DATE	DESCRIPTION
10	Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	Jan 31, 2018	READING APPLICATION
7	ADDITIONAL MATERIAL	
4	DEC 22, 2017	READING APPLICATION
3	ADDITIONAL MATERIAL	
2	DATE	ISSUED / REVISION

Copyright reserved. This design and the drawings are the exclusive property of Lang Willgoose Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submission, or to be used for any purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, elevations and levels to identify any errors and omissions; ascertain any discrepancies between the drawing and the Full Contract Documents; and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 899 Constance Avenue, Constance Avenue
 #10, #10, 432 Admirals Road
 Richmond, BC, V6V 1A6
 Legal Lot Description:
 21.0. 0057451
 LOT 1
 224x119'10"

A05.15
 Title:
L7 Enlarged Floor Plan - East
 Scale: 1:50 File: CL_09
 Date: 2018-07-24 DWG:
 Drawn: Author Revision:
 Reviewed: CL

1 Enlarged - Level 7 - East
 1:50



Client:
Standing Stone Developments Ltd.
 1000 10th Ave SW
 Edmonton, AB T5G 3G2
 Email: cathy@standingstone.ca
 Phone: 780.437.8337 (toll free)

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 3755 West 10th Avenue
 Vancouver, BC V6R 1M6, Canada
 Email: cl@lwpac.com
 Phone: 604.737.7500

Structural:
 Equilibrium Consulting Inc.
 Robert MacKay
 270 138 Street 8th Avenue
 Vancouver, BC V5T 1G2
 Email: rmac@equilibrium.com
 Phone: +1 604 770 1422

Building Envelope/PH:
 RSH Building Science Inc.
 Graham Finch
 214 W 8th Avenue
 Vancouver, BC V5T 1S5
 Email: gfinch@rsh.com
 Phone: 604.675.1181 x 231

Building Code:
 GHL CONSULTANTS LTD
 Andrew Houghton
 407 Granville Street, Suite 1500
 Vancouver, BC V6C 1T2
 Email: a.houghton@ghl.com
 Phone: 604.683.4449

Civil Engineer:
 ACE Planning Consulting Services Ltd.
 Nathan Duggan
 Suite 505, 3900 Quays Street
 Victoria, BC V8R 4A3
 Email: n.duggan@aceplanning.com
 Phone: 250.366.7477

Landscape Architect:
 Lombard North Group (B.C.) Inc.
 James Fawcett
 836 Commercial Street
 Victoria, B.C. V8W 4R1
 Email: james@lombardna.com
 Phone: 250.366.3935

Geotechnical Engineer:
 GeoPac Inc.
 Kent Hagan
 1270 W 73rd Avenue
 Vancouver, BC V6P 2P2
 Email: k.hagan@geopac.com
 Phone: 604.439-0022 ext. 219

Traffic:
 Burt & Associates
 Bruce Burt
 Suite 421, 645 Fort Street
 Victoria, BC V8W 1S2
 Email: b.burt@burtm.com
 Phone: 250.366.4302

Electrical:
 A&S
 Brad Gu Yang
 1510 Granville St.
 Vancouver, BC V6Z 1A7
 Phone: 604.695.2719
 Email: brad@agyangroup.com

Mechanical:
 AMT Group
 Kevin Stas
 1100-B West Hastings Street
 Vancouver, BC V6E 3M6
 Email: kevin@amtgroup.com
 Phone: 604.684.2900



Not for Construction
 All dimensions to be verified on-site

Date	Issue / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REVISION APPLICATION P-ADDITIONAL MATERIAL
8 Dec 22, 2017	REVISION APPLICATION A-ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, reproduction, or for any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, assemble any discrepancies between this drawing and the full Contract Documents and immediately bring them to the attention of the Architect for clarification.

Author:
CORVETTE LANDING
 498 Constance Avenue, Constance Avenue,
 V5A 4A2, Victoria, BC
 Registrar (B.C.), via the
 land use description:
 P.J.D. 0047445
 Lot 1
 R24-V17-0363

A05.16

Title:
 L8 Enlarged Floor Plan - West

Scale: 1:50
File: CL_30

Drawn: Author
Checked: CL



1 Enlarged - Level 8 - West
 1:50



RECEIVED
JUL 24 2018
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

Client:
 Standing Stone
 Developments Ltd.
 Caryn Byrne, Proj. Mgr.
 1000 10th Ave NW
 Edmonton, AB, T6A 1G2
 Email: cbyrne@standingstone.ca
 standingstone.com
 Phone: 780.353.5077 (Tty)

Architect:
LWPAC
 Lang Wilson Pracka in Architecture Culture
 Oliver Lang, Architect AIBC
 3330 West 53rd Avenue
 Vancouver, BC, V6R 1M4, Canada
 Email: oliver@lwpac.net
 Phone: 604.271.5200

Structural:
 Equilibrium Consulting Inc.
 Robert Wozny
 2533 West 48th Avenue
 Vancouver, BC, V6P 3P2
 Email: rwozny@equilibrium.ca
 Phone: +1 604 753 1423

Building Envelope/PH:
 K20 Building Science Inc.
 Graham Finch
 225 W 5th Avenue
 Vancouver, BC, V6P 1A5
 Email: gfinch@k20.com
 Phone: 604 671 1181 x 251

Building Code:
 GHL CONSULTANTS LTD
 Andrew Harrold
 405 Granville Street, Suite 900
 Vancouver, BC, V6C 1T2
 Email: andrew@ghl.ca
 Phone: 604 683 4448

Civil Engineer:
 MCH2Energy Consulting Services Ltd.
 Norman Douglas
 Suite 500, 3960 Quays Street
 Victoria, BC, V8R 4R1
 Email: n.douglas@mch2energy.com
 Phone: 778 763 2417

Landscape Architect:
 Lombard North Group (L.N.G.) Inc.
 Janis Palfrey
 875 Commercial Street
 Victoria, B.C. V8P 1R1
 Email: jpalfray@lombard.ca
 Phone: 250 366 3335

Geotechnical Engineer:
 GeoPacific Consultants
 805 Island
 1778 W 75th Avenue
 Vancouver, BC, V6P 9Z2
 Email: k.hughes@geopacific.ca
 Phone: 604-693-0622 ext. 224

Traffic:
 Pure & Associates
 Simon Bustin
 Suite 421, 645 Park Street
 Victoria, BC, V8W 1S2
 Email: sbustin@pureng.com
 Phone: 250 363 8122

Electrical:
 A&S
 Brad Du Yang
 1330 Granville St.
 Vancouver, BC, V6Z 1K7
 Phone: 604 684 3770
 Email: brad@ayngseee.com

Mechanical:
 A&S Group
 Kevin Shea
 1100 B West Hastings Street
 Vancouver, BC, V6E 2M4
 Email: kevin@ayngseee.com
 Phone: 604 684 5995



Not for Construction
 All Dimensions to be verified on-site

Date	Event / Revision
Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
Jun 21, 2018	REVISION APPLICATION 7 - ADDITIONAL MATERIAL
May 22, 2017	REVISION APPLICATION 5 - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Pracka in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, duplication, until issued for that purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and immediately bring these items to the attention of the architect for clarification.

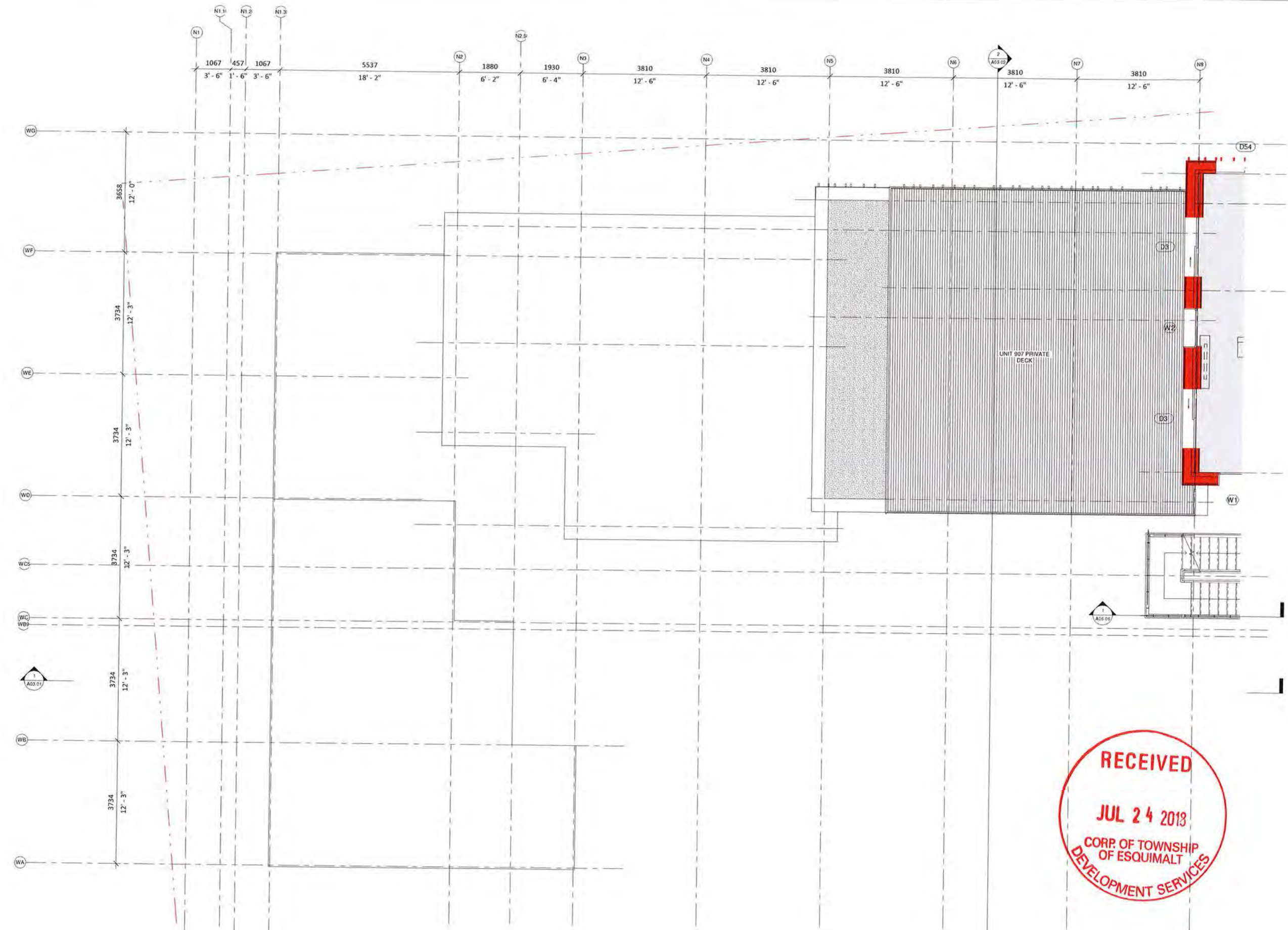
Project:
CORVETTE LANDING
 659 Granville Avenue, Coquitlam Avenue,
 106, 100, 102 Admirals West,
 Esquimalt (B.C.), V8A 6N3
 Legal Lot Description:
 P.L.D. 004874451
 1st Fl.
 Plan V071556

A05.17

Title:
 L8 Enlarged Floor
 Plan - East

Scale: 1:50	File: EL_00
Date: 2018-07-24	Drawn:
Drawn: Author	Reviewed:
Reviewed: OL	

1 Enlarged - Level 8 - East
 1:50



Client:
Standing Stone Developments Ltd.
 1000 Burrard Street, Suite 1000
 Vancouver, BC V6C 2K6
 Phone: 604.681.8037

Architect:
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 1015 West 10th Avenue
 Vancouver, BC V6H 1W6, Canada
 Email: oliver@lwpac.com
 Phone: 604.733.7000

Structural:
 Equilibrium Consulting Inc.
 2000 West 4th Avenue
 Vancouver, BC V6L 1A2
 Email: info@equilibrium.com
 Phone: +1 604 733 1433

Building Envelope/PH:
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V6C 1K6
 Email: gfinch@grahamfinch.com
 Phone: 604 679 1181 x 251

Building Code:
 GBC, CONSULTANTS LTD
 400 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: info@gbc.ca
 Phone: 604 685 4449

Civil Engineer:
 WED Drawing Consulting Services Ltd.
 Nelson Curtis
 Suite 500, 2960 Quays Street
 Victoria, BC V8R 4L3
 Email: nelson@weddrawing.com
 Phone: 250 366 7417

Landscape Architect:
 Lombard North Group (L.N.G.) Inc.
 James Parlane
 854 Commercial Street
 Victoria, B.C. V8W 1E1
 Email: james@lombardnorth.ca
 Phone: 250 386 3338

Geotechnical Engineer:
 GeoPacific Consultants
 Mark Eskin
 1770 W 75th Avenue
 Vancouver, BC V6P 1R1
 Email: mark@geopacific.ca
 Phone: 604 699 0022 ext. 225

Traffic:
 Sun & Associates
 Simon Eaton
 Suite 421, 645 Burr Street
 Victoria, BC V8P 2G2
 Email: simon@sunandassociates.com
 Phone: 250 388 8102

Electrical:
 Brad Gu Yang
 1310 Granville St.
 Vancouver, BC V6H 1K7
 Phone: 604 650 2719
 Email: brad@bradguyang.com

Mechanical:
 APE Group
 Kevin Shea
 1100-B West Hastings Street
 Vancouver, BC V6E 2E4
 Email: kevin@apegroup.ca
 Phone: 604 686 5000



All dimensions to be verified on site

Date	Issued / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REZONING APPLICATION / ADDITIONAL MATERIAL
8 Dec 22, 2017	REZONING APPLICATION / ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, or for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, accurate any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the Architect for clarification.

Project:
CORVETTE LANDING
 600 Granville Avenue, Coquitlam Avenue,
 605, 605, 602, 603, 604
 Equilibrium (BC), V6A 6V6
 Legal Use Description:
 P.L.O. 60574431
 Lot 1
 Plan V121595

A05.18

Title:
L9 Enlarged Floor Plan - West

Scale: 1:50
 Date: 2018.07.24
 Drawn: Author
 Reviewed: CL

File: 01_00
 Sheet: 01 of 01
 Revision:



1 Enlarged - Level 9 - West
 1:50



Client:
**Standing Stone
 Developments Ltd.**
 Corey Byrne, Troy Green
 16025 124 Ave SW
 Edmonton, Alberta T5A 1G2
 Email: corey@standingstone.ca
 troy@standingstone.ca
 Phone: 783.243.8817 (Troy)

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect AIBC
 3355 West 10th Avenue
 Vancouver, BC V6P 1M6, Canada
 Email: oliver@lwpac.com
 Phone: 604.737.7000

Structural
 Equilibrium Consulting Inc.
 Robert McCall
 209-388 West 8th Avenue
 Vancouver, BC V6P 1M6
 Email: rmc@equilibrium.ca
 Phone: +1 604 750 1422

Building Envelope/PH
 RSD Building Science Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V6P 1M6
 Email: gfinch@rsd.com
 Phone: 604.675.1181 x 251

Building Code
 GRI CONSULTANTS LTD
 Andrew Hymowitz
 409 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: ahymow@gri.ca
 Phone: 604.683.4449

Civil Engineer
 MCH Group Consulting Services Ltd.
 Nathan Goupal
 Suite 500, 3360 Quadra Street
 Victoria, BC V8X 4S3
 Email: nathan@mcgroup.com
 Phone: 250.746.7617

Landscape Architect
 Lombard North Group (L.N.G.) Inc.
 James Jackson
 358 Commercial Street
 Victoria, B.C. V8W 2R1
 Email: james@lombardnpg.ca
 Phone: 250.380.3030

Geotechnical Engineer
 GeoPacific Consultants
 Mark Egan
 1770 W 73rd Avenue
 Vancouver, BC V6P 4P3
 Email: m.egan@geopacific.ca
 Phone: 604-451-0522 ext. 223

Traffic
 Burn & Associates
 Simon Burton
 Suite 421, 465 East Street
 Victoria, BC V8A 1G2
 Email: simon@burngroup.com
 Phone: 250.352.9122

Electrical
 BNS
 Brad Ou Yang
 1330 Granville St.
 Vancouver, BC V6H 1A7
 Phone: 604.675.3719
 Email: brad@bnsengineering.com

Mechanical
 AWE Group
 Kevin Shih
 1100-B West Hastings Street
 Vancouver, BC V6E 2A4
 Email: kevin@aweengineering.com
 Phone: 604.684.9055



Not for Construction
 All dimensions to be verified on-site

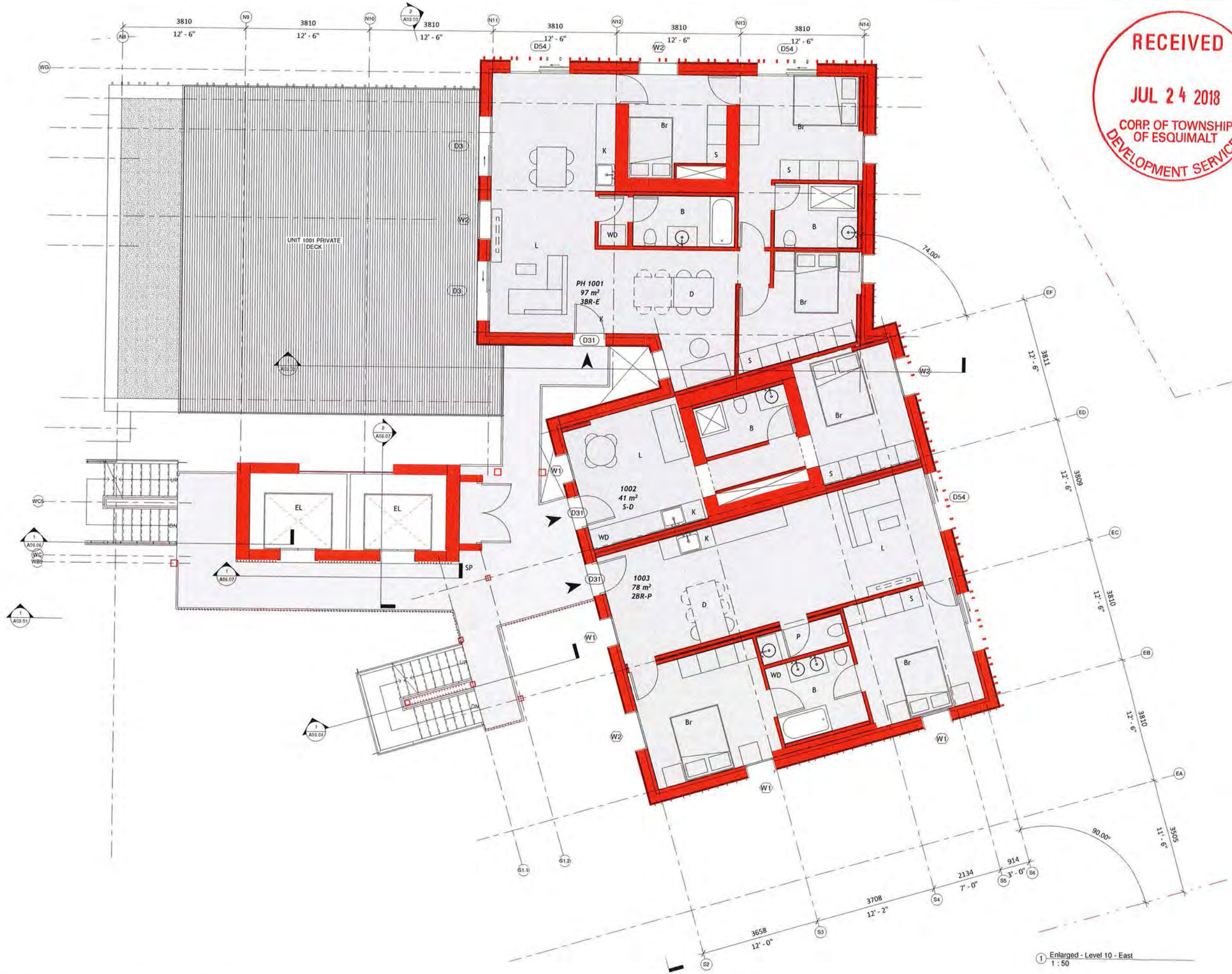
DATE	REVISION
10 Jul 24, 2018	1 - DEVELOPMENT PERMIT APPLICATION
9 Jun 21, 2018	2 - REVISION APPLICATION 1 - ADDITIONAL MATERIALS
4 Dec 22, 2017	3 - REVISION APPLICATION 6 - ADDITIONAL MATERIALS
4 Date	As Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for promotion, distribution, exhibition, work found for that purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents; and immediately bring these items to the attention of the architect for clarification.

Project:
CORVETTE LANDING
 839 Cordance Avenue, Cordance Avenue,
 450, 450, 500 Amherst Road,
 Esquimalt (BC), Via this
 Local Lot Description
 P.L.S. 00474651
 001.1
 Plan VLP-1503

A05.19
 Title:
**L9 Enlarged Floor
 Plan - East**
 Scale: 1:50 File: CL_09
 Date: 2018-07-24 DWG#: A05.19.A
 Drawn: Author
 Reviewed: CL

1 Enlarged - Level 9 - East
 1:50



RECEIVED
JUL 24 2018
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

Client:
**Standing Stone
 Developments Ltd.**
 Casey Byrne, Title Grant
 1002 12th Ave SW
 Esquimalt, BC V8L 2S2
 Email: casey@standingstone.ca
 Phone: 250-233-8377 (City)

Architect
LWPAC
 Long Action Practice in Architecture Culture
 Oliver Lang, Architect #BC
 3333 West 5th Avenue
 Vancouver, BC V6R 1N6, Canada
 Email: oliver@lwpac.net
 Phone: 604-273-7800

Structural
 Equilibrium Consulting Inc.
 Robert Witzig
 2023 38th Street SW
 Vancouver, BC V6P 3A2
 Email: robert@equilibrium.ca
 Phone: +1 604 752 1422

Building Envelope/PH
 BDE Building Science Inc.
 Graham Finch
 214 W 6th Avenue
 Vancouver, BC V6P 1K5
 Email: gfinch@bde.com
 Phone: 1 604 675 1181 v 231

Building Code
 GHL CONSULTANTS LTD
 Andrew Harnsworth
 409 Granville Street, Suite 900
 Vancouver, BC V6C 1T2
 Email: andrew@ghl.ca
 Phone: 604.683.4445

Civil Engineer
 McElroy Consulting Services Ltd.
 Nathan Dudgeon
 Suite 500, 3950 Quays Street
 Victoria BC V8M 4B3
 Email: nathan@mcelroy.com
 Phone: 250.746.7417

Landscape Architect
 Lortford North Group (R.C.) Inc.
 Janine Feltow
 836 Commercial Street
 Victoria, BC V8M 1B1
 Email: janine@lortford.ca
 Phone: 250 386 3335

Geotechnical Engineer
 GeoPacific Consultants
 Matt King
 1779 W 7th Avenue
 Vancouver, BC V6J 1R2
 Email: matt@geopacific.ca
 Phone: 604-670-0022 ext. 226

Traffic
 Sun & Associates
 Simon Babin
 Suite 411, 645 Fort Street
 Victoria, BC V8M 1G7
 Email: sbabin@sunlang.com
 Phone: 250 364 4332

Electrical
 B&S
 Brad Gu-Yang
 1330 Granville St.
 Vancouver, BC V6Z 1M7
 Phone: 604-685-2178
 Email: brad@bangseengroup.com

Mechanical
 H&F Group
 Kevin Stone
 1100-B West Hastings Street
 Vancouver, BC V6E 2K6
 Email: kevin@hfggroup.ca
 Phone: 604 684 5995



Not for Construction
 All Dimensions to be verified on-site

Date	Issue / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REVISION APPLICATION
8 Dec 22, 2017	REVISION APPLICATION
7	ADDITIONAL MATERIAL
6	ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Long Action Practice in Architecture Culture and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, publication, until issued for that purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and immediately bring these items to the attention of the architect for clarification.

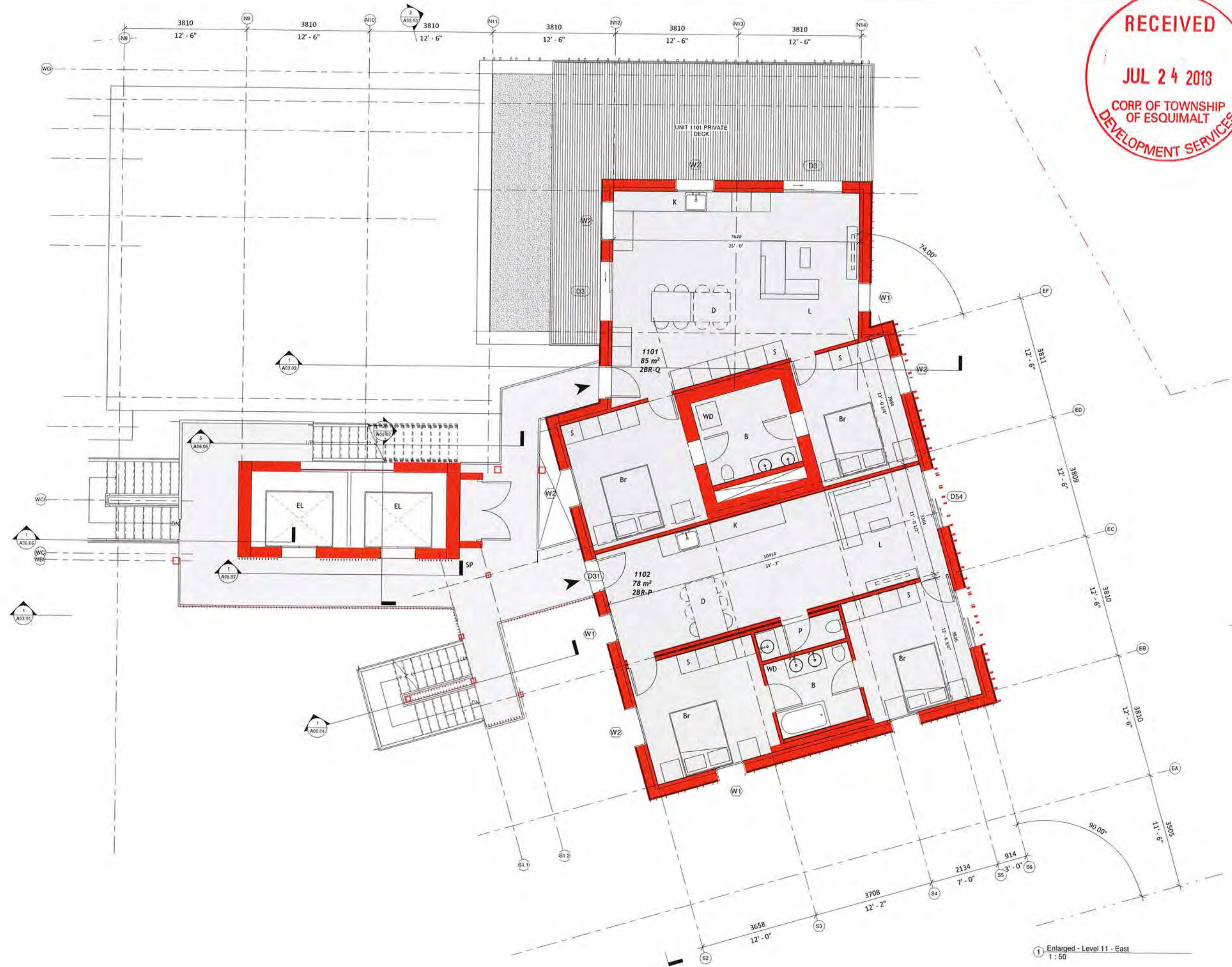
Project:
**CORVETTE
 LANDING**
 699 Gairdner Avenue, Coquitlam Avenue,
 150, 600, 632 Ardenway Road,
 Esquimalt, BC, V8L 6N6
 Legal Lot Description:
 P.L.S. 004574451
 Lot
 Plan V-P-13363

A05.20

Title:
**L10 Enlarged Floor
 Plan - East**

Scale:	File:
1:50	CL_D0
Date: 2018-07-24	Drawn:
Drawn: Author	Revised:
Reviewed: OL	

1 Enlarged - Level 10 - East
 1:50



RECEIVED

JUL 24 2018

CORP. OF TOWNSHIP OF ESQUIMALT

DEVELOPMENT SERVICES

Client:
Standing Stone Developments Ltd.
Cory Elmer, Project Manager
10220 104 Ave NW
Edmonton, AB, T5J 3J2
Email: cory@standingstone.com
Phone: 780.453.8337 (T780)

Architect:
LWPAC
Lang Wilson Practice in Architecture Culture
Oliver Lang, Architect AIBC
1333 West 3rd Avenue
Vancouver, BC V6P 1M6, Canada
Email: oliver@lwpac.com
Phone: 604.733.7000

Structural:
Equilibrium Consulting Inc.
Robert Walczak
2033 West 43rd Avenue
Vancouver, BC V6P 3J2
Email: rwalczak@equilibrium.ca
Phone: +1 604 730 1422

Building Envelope/PH:
RSH Building Science Inc.
Cristian Fluck
234 W. 6th Avenue
Vancouver, BC V6P 1K5
Email: cfluck@rsh.com
Phone: 604 673 1181 x 231

Building Code:
GHL CONSULTANTS LTD
Andrew Hammarath
450 Granville Street, Suite 100
Vancouver, BC V6C 1T2
Email: andy@ghl.ca
Phone: 604 685 4449

Civil Engineer:
McKenney Consulting Services Ltd.
Michael Dooly
Suite 500, 3900 Quadra Street
Victoria, BC V8B 4A3
Email: info@mcckenney.com
Phone: 779 746 7417

Landscape Architect:
Lambert North Group (B.C.) Inc.
James Parfitt
538 Gessner Street
Vancouver, BC V6K 4E1
Email: james@lambertgroup.ca
Phone: 250 366 3336

Geotechnical Engineer:
GeoPacific Consultants
Wah Kwan
1779 W. 70th Avenue
Vancouver, BC V6P 1P2
Email: kwan@geopacific.ca
Phone: 604 430 0022 ext. 220

Traffic:
Burt & Associates
Sharon Sutton
Suite 421, 645 April Street
Victoria, BC V8W 1G2
Email: sburton@burtgroup.com
Phone: 250 382 8122

Electrical:
Brid O'Leary
1330 Granville St.
Vancouver, BC V6H 1P7
Phone: 604 451 3718
Email: brid@overengineering.com

Mechanical:
APE Group
20th Street
1000-B West Hastings Street
Vancouver, BC, V6C 2K4
Email: info@apegroupinc.ca
Phone: 604 684 5900



Not for Construction
All Dimensions to be verified on-site

#	Date	Issued / Revision
10	JUL 24, 2018	DEVELOPMENT PERMIT APPLICATION
9	JUN 21, 2018	PERMISSION APPLICATION
8	MAY 23, 2017	7 - ADDITIONAL MATERIAL 8 - ADDITIONAL MATERIAL 9 - ADDITIONAL MATERIAL

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and cannot be used for any other purpose without the written consent of the architect. This drawing is not to be used for reproduction, distribution, circulation, or for any other purpose by the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions, accept any discrepancies between this drawing and the full Contract Documents and immediately bring these items to the attention of the Architect for clarification.

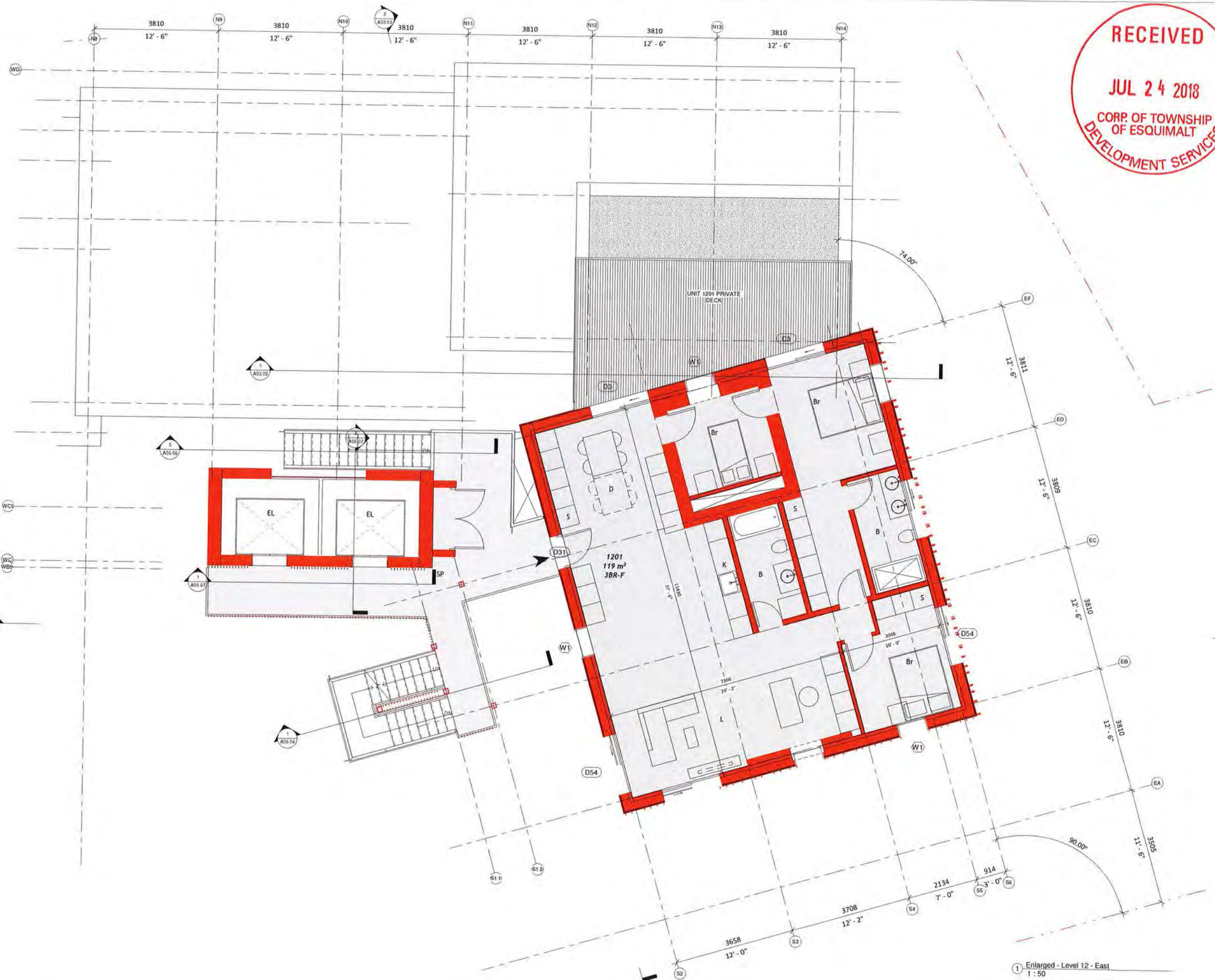
Project:
CORVETTE LANDING
690 Constance Avenue, Constance Avenue,
R/S, A/S, 655 Avenida Baye,
Esquimalt (BC), V8A 4M9
Legal Lot Description:
F.S.D. 004574451
201.7
2013 V1310563

A05.21

Title:
L11 Enlarged Floor Plan - East

Scale: 1:50	File: CL_20
Date: 2018.07.24	Designer:
Drawn: Author	Reviewer:
Reviewed: DS	

1 Enlarged - Level 11 - East
1:50



RECEIVED
JUL 24 2018
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

Client:
 Standing Stone
 Developments Ltd.
 1022 10th Ave W
 Richmond, BC V6V 2G4
 Email: cathy@standingstone.com
 Phone: 778.753.8517 (Troy)

Architect
LWPAC
 Lang Wilson Practice in Architecture Culture
 Oliver Lang, Architect ABC
 3353 West 33rd Avenue
 Vancouver, BC V6R 1K6, Canada
 Email: oliver@lwpac.net
 Phone: 604.753.7000

Structural
 Equilibrium Consulting Inc.
 Robert Weisz
 210-288 West 8th Avenue
 Vancouver, BC V6C 1S2
 Email: rweisz@equilib.com
 Phone: +1 604 251 1422

Building Envelope / PH
 KSA Building Services Inc.
 Graham Finch
 224 W 8th Avenue
 Vancouver, BC V6C 1K5
 Email: gfinch@ksa.com
 Phone: 604.679.1515 x 231

Building Code
 GBC CONSULTANTS LTD
 Andrew Harnsworth
 408 Granville Street, Suite 900
 Vancouver, BC V6C 1T3
 Email: andy@gbc.ca
 Phone: 604.683.6448

Civil Engineer
 McLennan Consulting Services Ltd.
 Nathan Duffin
 Suite 300, 3960 Ladner Street
 Victoria, BC V8K 4R3
 Email: nduffin@mcclennan.com
 Phone: 250.746.7417

Landscape Architect
 Lombard North Group (B.C.) Inc.
 James Fulton
 335 Granville Street
 Victoria, B.C. V8B 1S1
 Email: james@lombardna.com
 Phone: 250.360.3335

Geotechnical Engineer
 Geotechnical Consultants
 Marc Kogan
 1779 W 75th Avenue
 Vancouver, BC V6P 1R2
 Email: mkogan@geotech.ca
 Phone: 604.431.2022 ext. 201

Traffic
 Burt & Associates
 Shaun Burton
 Suite 411, 645 First Street
 Victoria, BC V8K 1G2
 Email: sburton@burtandco.com
 Phone: 250.362.6122

Electrical
 BSI
 Brad Ouyang
 1180 Granville St.
 Vancouver, BC V6Z 1W7
 Phone: 604.678.3710
 Email: brad@bsiengineering.com

Mechanical
 JMS Group
 Kevin Shao
 1058 B West Hastings Street
 Vancouver, BC V6E 2R4
 Email: kevinshao@jmsgroup.ca
 Phone: 604.684.5900



Not for Construction
 All dimensions to be verified on-site

Date	Issued / Revision
10 Jul 24, 2018	DEVELOPMENT PERMIT APPLICATION
9 Jan 31, 2018	REZONING APPLICATION 7 - ADDITIONAL MATERIALS
8 Dec 22, 2017	REZONING APPLICATION 6 - ADDITIONAL MATERIALS
4 Date	Issued / Revision

Copyright reserved. This design and the drawings are the exclusive property of Lang Wilson Practice in Architecture Culture Inc. and should not be used for any other purpose without the written consent of the architect. This drawing is not to be used for construction, distribution, submittal, or used for any other purpose without the written consent of the architect. Prior to commencement of the work the contractor shall verify all assemblies, dimensions, details and levels to identify any errors and omissions; necessary any discrepancies between this drawing and the full Contract Documents; and immediately bring these items to the attention of the Architect for confirmation.

CORVETTE LANDING
 398 Glenhurst Avenue, Coquitlam, BC V3R 4S2
 604.682.4600
 Legal Lot Description:
 Lot 1, 90674451
 Part V191263

A05.22

Title:
 L12 Enlarged Floor
 Plan - East

Scale: 1:50	File: OL_22
Date: 06/11/18	Page: 1
Drawn: Author	Revised:
Reviewed: OL	Revised:

1 Enlarged - Level 12 - East
 1:50



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: August 8, 2018

STAFF REPORT

DATE: August 2, 2018

TO: Chair and Members of the Design Review Committee

FROM: Janany Nagulan, Planner
Bill Brown, Director of Development Services

SUBJECT: **Development Permit Application – 520 Comerford Street**
[PID: 023-885-718, Strata Lot 1 Suburban Lot 40 Esquimalt District Strata Plan VIS4397 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1]

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a Development Permit authorizing the construction of a elevator and hoistway inside the existing office building on the property are consistent with the architectural plans provided by Joe Newell Architect Inc. and sited in the Land Surveyor's Site Plan prepared by J.E. Anderson & Associates all stamped "Received July 20, 2018"; to be located at 520 Comerford Street, [PID: 023-885-718, Strata Lot 1 Suburban Lot 40 Esquimalt District Strata Plan VIS4397 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form 1] be forwarded to Council with a recommendation to either **approve or deny the application; including reason for the chosen recommendation.**

BACKGROUND:

Purpose of the Application:

The applicant is looking to install an elevator and hoistway inside the existing office building on the property that will change the height of the building.

The property is within the following Development Permit areas: Development Permit Area No.1 – Natural Environment, Development Permit Area No. 6 – Multi Family Residential Development Permit Area No. 7 Energy Conservation and Greenhouse Gas Reduction and Development Permit Area No. 8 – Water Conservation [Attached]. Therefore a Development Permit is required to ensure that the application is consistent of the Development Permit Area guidelines within the Esquimalt Official Community Plan Bylaw, 2018, No.2922.

Evaluation of this application should focus on issues respecting the form and character of the proposal in relation to the relevant design guidelines as well as the guidelines related to Development Permit Areas No.1, No.7, and No.8.

Context

Applicant: Joe Newell

Owner: Ellen Tarshis & Mike Jensen

Property Size: Metric: 345.85 m²

Imperial: 3722.7ft²

Existing Land Use: Commercial

Surrounding Land Uses:

North: Commercial

South: Commercial

West: Commercial

East: Commercial

Existing OCP Designation: Commercial

Proposed OCP Designation: Commercial/ Mixed Use

Zoning: C-3 -Core Commercial

Zoning

The subject property is zoned C-3 – Core Commercial. The proposed height of the building does not exceed the height requirement of 13 meters of the zone.

Official Community Plan

The property is within the following Development Permit areas:

- Development Permit Area No.1 – Natural Environment
- Development Permit Area No. 6 – Multi Family Residential
- Development Permit Area No. 7 – Energy Conservation and Greenhouse Gas Reduction
- Development Permit Area No. 8 – Water Conservation

The guidelines of these Development Permit Areas are contained within the Esquimalt Official Community Plan Bylaw, 2018, No.2922.

The following is a list of Official Community Plan guidelines to consider in evaluating this application.

OCP Section 18 Development Permit Area No. 1 – Natural Environment

- No applicable guidelines as the proposal is for an existing development with no changes to the Natural Environment

OCP Section 23 Development Permit Area No. 6 – Multi Family Residential

- No applicable guidelines as the proposal is a commercial building

OCP Section 24 Development Permit Area No. 7 – Energy Conservation & Green

24.5.2 Form and exterior design of buildings and structures

Where it is feasible:

2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.

4. Use roof over-hangs, fixed-fins or other solar shading devices on south and west facing windows to reduce peak summer heat gain while enabling sunlight penetration in winter months.
5. Install adjustable overhangs above windows that can help control the amount of sun exposure in warmer months thereby reducing need for cooling.

OCP Section 25 Development Permit Area No. 8 – Water Conservation

- No applicable guidelines as the proposal is for an existing development there are no changes to the water conservation strategy

Comments From Other Departments

The plans for this proposal were circulated to other departments and the following comments were received:

Building Inspection: Architect's supervision required. Subject to review for Building Code and Bylaw compliance at time of Building Permit application.

Fire: B.C Building Code/ Fire Alarm Requirements for changes to Fire Alarm System and verification.

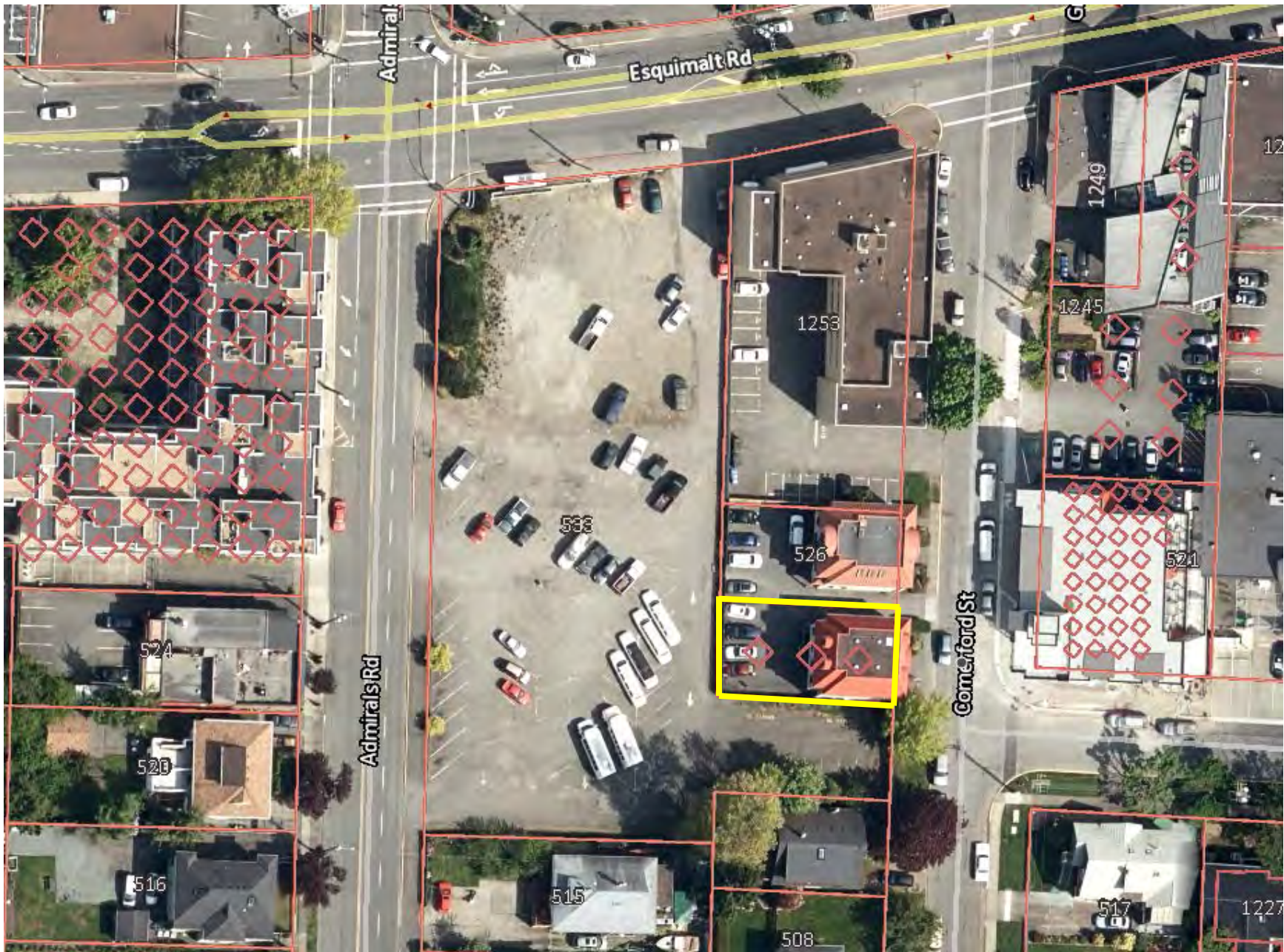
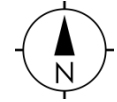
Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

ALTERNATIVES:

1. Forward the application for a Development Permit to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for a Development Permit to Council with a **recommendation of denial including reasons for the recommendation.**

520 Comerford Street



18 DPA NO. 1: NATURAL ENVIRONMENT



18.1 Area

Land within the municipal boundaries of the Corporation of the Township of Esquimalt.

18.2 Designation

Development Permit Area No. 1 is designated for the purpose of establishing objectives for:

- Section 488 (1) (a) – protection of the natural environment, its ecosystems and biological diversity.

18.3 Justification

- The gradual erosion of the natural environment incrementally degrades the value and function of local and regional ecosystem services. The average person owns a parcel of land for a relatively short time period of time (10-15 years); care can be taken to ensure larger trees and natural areas are available for the next generation.
- Landscapes and ecosystems are composed of patches of diverse habitats that may include 'species at risk', 'environmentally sensitive areas', and micro-ecosystems containing 'ecological memory'. Even small patches of native soil and vegetation support indigenous species; therefore, all areas can contribute to regional biodiversity and support ecosystem services.
- Protecting Esquimalt's natural environmental features [including but not limited to: local Garry Oak and Douglas-fir ecosystems, rock outcrops, hilly terrain, and rugged clean shorelines] contributes to natural ecosystem functioning and protection of biodiversity.
- Esquimalt has over 20 kilometres of shoreline that serves industrial, commercial and residential purposes, recreation enjoyment, and is vital habitat for numerous plants and animals (e.g. otters, whales, seal, oyster catchers, gulls, various species of waterfowl, and eagles). Shoreline ecology and fish habitat can be protected and enhanced by regulating development near shorelines, and by mitigating the impacts of stormwater entering local waterways. Keeping the urban environment absorbent helps lessen marine ecosystem damage from: introduced pollutants, sudden changes in water salinity and temperature, and shoreline erosion from surges in volume at storm-water pipe outfalls.

- The Gorge waterway is a sensitive, tidal-influenced watercourse that connects the fish-bearing fresh water of Craigflower and Colquitz Creeks with the salt waters of Victoria Harbour. Over the past few decades, significant public expenditures and efforts have gone into removing sources of pollution and contamination that once plagued this waterway. However, the removal of native shoreline vegetation and the construction of extensive seawalls have substantially diminished the quality of the shoreline as supportive habitat for fish and wildlife.
- Both private and public landowners are responsible for this loss of habitat, often through well meaning and beneficial projects such as shoreline walkways.
- Protecting and maintaining current wave energy patterns and natural patterns of erosion along Esquimalt's shorelines will contribute to the protection of natural features and dynamic processes.
- Invasive alien plant species pose a significant threat to regional biodiversity. Managing and reducing the introduction and spread of these species protects local ecosystem structure and function and biodiversity.
- Esquimalt has several natural area parks of varying sizes distributed across the municipality. These pieces of fragmented natural habitat can be better connected through the use of native plant landscaping along roadways and in private yards; thereby supporting regional biodiversity.
- Biodiversity can be enhanced in an urban region through the thoughtful selection of building methods and landscape design. Siting buildings to provide space for trees of varying species and sizes provides vertical habitat for birds, pollinators and other creatures. In addition, the plants of a traditional Garry Oak meadow ecosystem are well adapted for the seasonally dry conditions found on local building roofs, and therefore can be effectively used in a 'living roof' system (a green roof with enhanced ecosystem services). A living roof will moderate stormwater discharge while providing habitat for indigenous plants, invertebrates, and ground feeding and nesting birds.
- Native birds are an important component of urban biodiversity and provide important ecosystem services that contribute to human health. Esquimalt is located within the 'Pacific Flyway' (A chain of habitats used by at least one billion birds biannually as their migratory route along the west coast of North and South America, from Alaska to Patagonia.) and much of Esquimalt's shoreline is part of the 'Victoria Harbour Migratory Bird Sanctuary'. Reasonable actions can be taken to enhance bird habitat in an urban setting; including providing vertical habitat through protection and enhancement of the urban forest, and protecting local shorelines and waterways.
- Habitat corridors for pollinators and other wildlife will be enhanced; linking natural areas within and through the urban matrix to support biodiversity and local food gardens

18.4 Exemptions

18.4.1 Properties

For all properties:

1. Interior renovations or alterations of existing buildings where residential density is not being increased.
2. Ecological restoration projects undertaken or approved by the Township of Esquimalt.
3. Installation of unpaved paths or walking trails that are less than 1 m in width and covered in naturally permeable materials [wood chips, bark mulch, sand or loose gravel] where the soil remains undisturbed.

18.4.2 Gorge Waterway

For all lands located more than 7.5 m from the high watermark of the Gorge Waterway:

1. Repair, maintenance or reconstruction, on the same footprint, of existing legal or legally non-conforming buildings, patios, driveways, parking areas and utilities, provided there is no alteration to natural soil or native vegetation.
2. Construction of fencing where no native trees are removed and disturbance to native vegetation is negligible.
3. The addition of small temporary landscape amenities including benches, tables, garden ornaments, playground equipment, and raised garden beds (not including retaining walls).



18.4.3 High Watermark

For lands located more than 20 m from the high watermark of the Gorge Waterway, and more than 15 m from the high watermark of the Strait of Juan de Fuca:

1. Minor additions [less than 10 m² in area] to an existing legal or legally non-conforming building or structure.
2. Construction of buildings and structures less than 10 m² in area.
3. Installation of seasonal recreation equipment such as children's play equipment, patio furniture, temporary above natural ground level pools/hot tubs.
4. Temporary tent/carport structures.

18.5 Guidelines

The expertise of qualified environmental professionals (retained by applicants), is strongly encouraged and may be required in certain circumstances.

18.5.1 Lands Free of Development

Lands to remain free of development, with conditions:

1. Lands within 7.5 m of the high watermark of the Gorge Waterway shall be retained in as natural a state as possible. Where the land has been previously altered, the area shall be restored with native trees and plants.
2. New buildings/ structures shall not be located within 20 m of the high watermark of the Gorge Waterway.
3. New buildings/ structures shall not be located within 10 m the high watermark of the Strait of Juan de Fuca.
4. Replacement of, expansion of, densification and intensification of the use of existing buildings within 20 m of the high watermark of the Gorge Waterway is discouraged; detached accessory dwelling units are strongly discouraged in this location.
5. Replacement of, expansion of, densification and intensification of the use of existing buildings within 10 m of the high watermark of the Strait of Juan de Fuca is discouraged and detached accessory dwelling units are strongly discouraged in this location.
6. Variances to 'Building Height' and 'Siting Requirements' will be considered where natural areas and trees are being protected.
7. Consider the use of conservation covenants for areas having high ecosystem conservation values. Property owners are encouraged to work with local land trusts to protect natural features and valuable habitat areas through land covenants.

18.5.2 Natural Features

Natural features and areas to be preserved, protected, restored, and enhanced where feasible:

1. Retain existing healthy native trees, vegetation, rock outcrops and soil wherever possible.
2. Preserve and enhance native tree and shrub clusters that overhang the waters edge as these provide shade, protection and feeding habitat for fish and wildlife.
3. Preservation of natural topography is favoured over blasting or building of retaining walls.
4. Narrower manoeuvring aisles, fewer and smaller parking spaces can be considered where natural areas are being conserved.
5. Design new development and landscaping to frame rather than block public views.
6. Avoid disturbing, compacting and removing areas of natural soil as this can lead to invasion by unwanted plant species, poor water absorption and poor establishment of new plantings. Use of local natural soil in disturbed and restored areas will support re-establishment of ecosystem functions.

18.5.3 Biodiversity

Landscaping features that will protect, restore and enhance biodiversity. Where feasible:

1. New landscaping shall consist predominantly of native plant and tree species. Plants that are native to the Coastal Douglas-fir biogeoclimatic zone are preferred in landscape treatments as they provide habitat for threatened indigenous flora and fauna. Drought tolerant plants native to western North America, that are known to be non-invasive, are a good alternative choice for landscaped areas.
2. In residential locations plan for 'nature out front'; for new landscaping in front and exterior side yards use a variety of site-appropriate, native species; thereby contributing positively to pedestrian friendly urban streets, future greenways and habitat enhanced corridors.
3. Choose trees and plants for site conditions; consider shade, sunlight, heat, wind-exposure, sea spray tolerance, and year round moisture requirements in their placement.
4. Consider the habitat and food needs of birds, pollinators, and humans in tree and plant species selection and placement; native plantings and food gardens compliment each other.
5. Encourage native plant and food gardens to spill from private land into boulevards.
6. Avoid monoculture plantings, especially expanses of turf grass outside of playing field sites.
7. Snags, logs, driftwood and rock cairns may be used as interesting landscaping features that also provide habitat for native flora and fauna.
8. Avoid using fast-growing non-native plants to cover and retain soils as they may become invasive and a constraint to the establishment of other plants.
9. Locate civil servicing pipes/lines under driveways or other paved areas to minimize tree root damage. (Note that the majority of trees have their roots in the top 0.6 m of the soil).
10. Design retaining wall spacing and landscape planting areas of sufficient width and depth to support plantings (eg. provide larger spaces for trees).
11. Support the daylighting of portions of the stormwater system for enhanced habitat.
12. Aim to meet the Canadian Landscape Standards in all landscaping installations.

18.5.4 Natural Environment

Measures to protect, restore and enhance the natural environment (limit noise, light and air pollution). Where it is reasonable:

1. Strategically locate leafy trees/ hedges and water features to mask urban noises such as traffic, garbage collection and delivery locations. Consider that leafy rough barked trees, vine covered walls and natural ground cover materials (mulch, soil) will help dampen urban noise.
2. Use International Dark-Sky Association approved lighting fixtures in outdoor locations. Outdoor lighting shall be no brighter than necessary, be fully shielded (directed downward and designed to serve pedestrian needs), have minimal blue light emissions and only be on when needed. Avoid vanity lighting, and lighting directed into the night sky and trees tops.
3. Light spillage on to waterways is strongly discouraged.
4. Place trees and vegetation near sources of air pollution including busy roadways, to assist in reduction of air pollution through the collection of particulate matter on leaves and needles, and absorption of toxic gases, including but not limited to: ozone, nitrogen dioxide, sulfur dioxide, carbon monoxide, carbon dioxide, cadmium, chromium, nickel and lead.

18.5.5 Drainage and Erosion

Measures to control drainage and shoreline erosion. Where it is reasonable:

1. Preserve, restore and enhance treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Reduce the impact of surges in stormwater on shorelines by designing on-site stormwater retention systems to contain the first 3 centimetres [1.25 inches] of precipitation on site, per precipitation event; and incorporating rainwater collection systems into roof design and landscaping.
3. Consider using shared private/ public rain gardens. Direct a portion of stormwater to adjacent public open spaces, when deemed appropriate by the Director of Engineering and Public Works.
4. Maximize the ratio of planted and pervious surfaces to unplanted surfaces, and design paved areas to direct water towards vegetated areas, to help reduce surface run off. Where paved surfaces are needed, intersperse with drought resistant vegetation and trees, to help absorb stormwater, provide shade and reduce the local heat island effect.
5. Use porous surfaces to enhance stormwater infiltration, permeable paving is preferable for all open air parking areas. Ensure installation methods contribute to sustained permeability and retention of stormwater on the site.
6. Choose absorbent landscaping materials; leaf mulches, wood chips and good quality top soil, over gravel, pavers and concrete. Provide mulch of organic, locally derived materials; leaf mulch from local tree leaves is most desirable.
7. Incorporation of rain gardens, bio-swales, rain barrels, and even small depressions (puddles) into landscaping will help reduce surges of stormwater entering local waterways.
8. Planting densities should ensure that vegetated areas will have near 100% plant coverage after two full growing seasons.

18.5.6 Protect, Restore and Enhance Shorelines

Measures to protect, restore and enhance local shorelines (reducing shoreline hardening and dock development). When it is feasible:

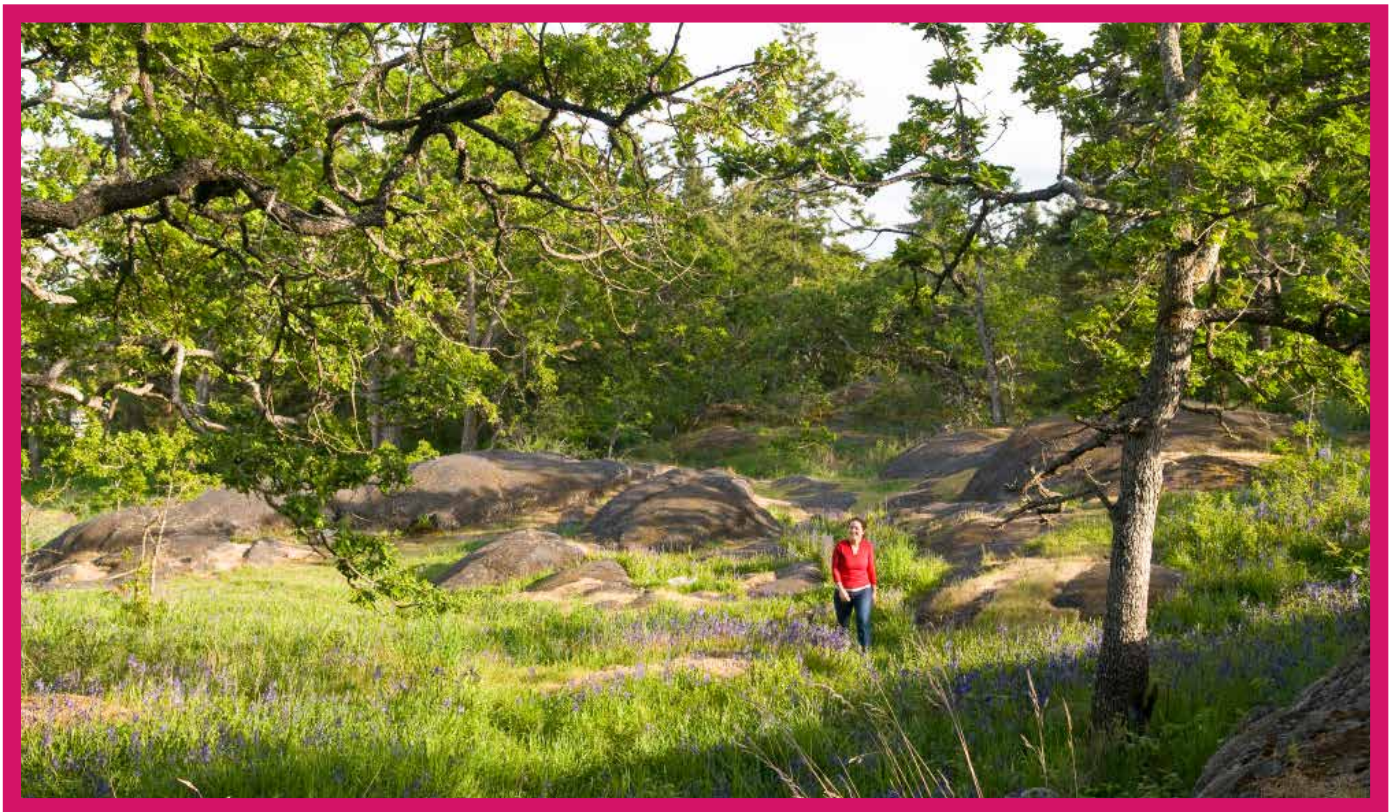
1. Waterfront property owners are encouraged to become familiar with and adopt a 'soft shore' restoration approach to the care of their foreshore property (i.e. Green Shores for Homes).
2. Avoid the expansion of dock area, bulkheads, groins or other shoreline hardening structures. Removal or reductions in the surface area of existing private docks is encouraged.
3. Where shoring methods are required to prevent erosion or the sloughing of the shoreline, choose bio-engineering methods over the use of sea-walls or retaining walls. Where sea-walls or retaining walls are the only means of effectively preventing erosion, design in consultation with qualified environmental professionals, as well as engineering professionals.

18.5.7 Native Bird Biodiversity

Measures to protect, restore and enhance native bird biodiversity. Where it is reasonable:

1. Protect and enhance habitat features like mature trees, shrub clusters, native fruit bearing shrubs, fresh water ponds and ephemeral damp areas (puddles).

2. Encourage increased front yard habitat along quieter streets to reduce bird vehicle conflicts and enhance the pedestrian experience through native plantings.
3. Sustain a mix of habitat types; including forest, shrub-land, meadow, riparian wetland and coastal shoreline ecosystems in landscaping.
4. Incorporate a vertical vegetation structure [vertical habitat] including layers of ground cover, shrub, understorey and canopy in landscape design.
5. Choose a range of native plant species and sizes; a mix of coniferous and deciduous trees will enhance bird species diversity.
6. Incorporate architectural features that limit collisions between birds and windows including patterned, frosted or tinted glass, exterior louvers, blinds, sun shades and canopies.
7. Cap and screen all ventilation pipes and grates, avoid openings greater than 2.0 x 2.0 cm.



23 DPA NO. 6: MULTI-FAMILY RESIDENTIAL



23.1 Area

All land designated Multi-Unit Residential on “Development Permit Areas Map” (Schedule “H”) are part of DPA No. 6

23.2 Designation

Development Permit Area No. 6 is designated for the purpose of:

- Section 488(1)(f) – establishment of objectives for the form and character of multi-family residential development.

23.3 Justification

This Plan emphasizes the importance of protecting residential neighbourhoods and encouraging a high quality of construction for new developments. It is essential that new multi-unit residential development not have a negative impact on, or be out of character with, existing residential neighbourhoods. The primary objective of Development Permit Area No. 6 is to ensure that the development of multi-unit residential sites is compatible with surrounding uses.

23.4 Exemptions

The following do not require a development permit:

1. Construction of buildings or structures less than 10 m²;
2. Minor additions to existing dwellings where the floor area of the addition does not exceed 10 percent of the ground floor area of the dwelling; and
3. Placement of signs less than 1.5 m² in size.

23.5 Guidelines

1. The size and siting of buildings that abut existing single- and two-unit and townhouse dwellings should reflect the size and scale of adjacent development and complement the surrounding uses. To achieve this, height and setback restrictions may be imposed as a condition of the development permit.
2. New buildings should be designed and sited to minimize visual intrusion on to the privacy of surrounding homes and minimize the casting of shadows on to the private outdoor space of adjacent residential units.
3. High-density multi-unit residential buildings or mixed commercial/residential buildings in commercial areas should be designed so that the upper storeys are stepped back from the building footprint, with lower building heights along the street front to address human scale, public space, and maximum light penetration at street level.
4. Landscaping should emphasize the creation of an attractive streetscape, as well as provide privacy between individual buildings and dwellings, screen parking areas and break up large expanses of paving.
5. Surface parking areas in developments less than five storeys in height, will be situated away from the street and screened by berms, landscaping or solid fencing or a combination of these three.
6. Underground parking should be encouraged for any multi-unit residential buildings exceeding four storeys.
7. The retention of public view corridors, particularly views to the water, should be encouraged wherever possible.
8. To preserve view corridors and complement natural topography, stepped-down building designs are encouraged for sloping sites.
9. Retention and protection of trees and the natural habitat is encouraged wherever possible.
10. Townhouses will be designed such that the habitable space of one dwelling unit abuts the habitable space of another unit and the common wall overlap between adjoining dwellings shall be at least 50 percent.
11. Site lighting should provide personal safety for residents and visitors and be of the type that reduces glare and does not cause the spillover of light on to adjacent residential sites.
12. Avoid excessively long blank walls adjacent to public streets.
13. Use architectural emphasis to define street corners.
14. Provide for building occupants to overlook public streets, parks, walkways and spaces, considering security and privacy of residents.
15. Provide for slightly raised entrances to ground floor residences along with private yards that are accessible from the fronting street or lane to encourage community interaction.
16. Use of indigenous and adaptive plant species is encouraged.
17. All exterior lighting should avoid excessive stray light pollution and should meet International Dark-Sky standards.

18. Wherever possible, outdoor storage and parking areas should be screened from view.
19. Avoid expansive blank walls (over 5 m in length) and retaining walls adjacent to public streets. When blank walls and retaining walls are unavoidable, use an appropriate design treatment, such as the following:
 - Install a vertical trellis in front of the wall with climbing vines or other plant material.
 - Set the wall back slightly to provide room for evergreens and conifers to provide year-round screening.
 - Provide art (a mosaic, mural, relief, etc.) over a substantial portion of the wall surface.
 - Employ quality materials of different textures and colours to make the wall more interesting visually.
 - Provide special lighting, canopies, awnings, horizontal trellises or other human-scale features that break up the size of the blank wall surface and add visual interest.
 - Incorporate walls into a patio or sidewalk café space.
 - Terrace (step down) retaining walls.
20. Exposed stairway and hallways on the exterior street facing portion of the building are discouraged.

24 DPA NO. 7: ENERGY CONSERVATION & GREENHOUSE GAS REDUCTION



24.1 Area

Land within the municipal boundaries of the Corporation of the Township of Esquimalt.

24.2 Designation

Development Permit Area No. 7 – is designated for:

- Section 488 (1)(h) – energy conservation; and
- Section 488 (1)(j) – GHG emissions reduction.

24.3 Justification

The Province of British Columbia has legislated greenhouse gas targets and requires the cooperation of local governments to achieve them. As part of its pledge to the Community Climate Action Charter, Esquimalt set its own target to reduce greenhouse gas emissions by 38% of 2007 levels by 2030; with the eventual goal of progressing towards carbon neutrality.

The objectives in this DPA include:

- Encourage a shift in practice and behavior to accelerate a reduction in fossil fuel dependence;
- Support reductions in energy consumption in buildings, and reduced maintenance costs through the use of durable building materials; support the best use of existing infrastructure and minimizing the need for system capacity expansion and extension;
- Encourage and support innovation in redevelopment, siting and design;
- Deliver neighbourhoods that support residents physical and mental health with long-term livability, including walkability;
- Consider the long-term comfort of building occupants in design decisions;
- Create neighbourhoods and buildings that respect, serve, and support the needs of all economic classes;
- Build neighbourhoods that support transit, walking and other forms of active transportation;

- Support the construction of new buildings that contribute to those neighbourhoods where people are delighted to live, work, walk and play;
- Support development to have a positive impact on the biosphere, community resilience and residents' health.

24.4 Exemptions

1. Minor alteration/ addition to the exterior of a building. For the purpose of this section, "minor" is defined as a change which does not:
 - Increase the lot coverage by the lessor of 5% of the parcel or 50 m² (based on the site coverage of all buildings and structures);
 - Increase any bylaw non-conformities;
 - Comprise an addition of more than 50 m² of gross floor area; or
 - Require a Development Permit for 'Form and Character.'
2. Landscaping.
3. Installation of temporary tent/carport structures intended to be used for less than one year.

24.5 Guidelines

The expertise of qualified environmental professionals (retained by applicants) is strongly encouraged and may be required in certain circumstances.

24.5.1 Siting of buildings and structures

Where it is feasible:

1. Orient buildings to take advantage of site specific climate conditions, in terms of solar access and wind flow; design massing and solar orientation for optimum passive performance.
2. Build new developments compactly, considering the solar penetration and passive performance provided for neighbouring sites, and avoid shading adjacent to usable outdoor open spaces.
3. In commercial, residential or commercial mixed-use designated areas with taller developments, vary building heights to strategically reduce the shading on to adjacent buildings.
4. Provide space for pleasant pedestrian pathways between buildings.
5. Strategically site buildings to sustain and increase the community's urban forest tree canopy cover.
6. Provide space for significant landscaping including varying heights of trees, shrubs and ground covers.
7. Provide intuitive pedestrian access to storefronts and businesses with site connectivity to nearby amenities and services to help promote walking and the use of other active transportation modes.
8. Provide usable outdoor amenities such as seating, food gardens, mini-libraries, and play spaces in semi-public areas to enhance the experience of walking and recreating in the neighbourhood.

9. In residential neighbourhoods, provide space for larger trees and a second row of street trees as this will enhance the pedestrian experience by lowering wind velocity at street level, reducing excessive heating at ground level and absorbing vehicle and other urban noises.

24.5.2 Form and exterior design of buildings and structures.

Where it is feasible:

1. Orient larger roof surfaces to the south for potential use of solar panels or photo-voltaic roofing.
2. Use roof designs that reduce heat transfer into neighbouring buildings, helping reduce the local heat island effect and the need for cooling of buildings in warmer months.
3. Place more windows on the south side of buildings to increase solar gain, and fewer/ smaller windows on the north side to minimize heat loss.
4. Use roof over-hangs, fixed-fins or other solar shading devices on south and west facing windows to reduce peak summer heat gain while enabling sunlight penetration in winter months.
5. Install adjustable overhangs above windows that can help control the amount of sun exposure in warmer months thereby reducing need for cooling.
6. Provide building occupants with control of ventilation; i.e. windows that open.
7. Skylights are discouraged as they decrease insulating values and can interfere with solar panel installation.
8. Add rooftop patios and gardens, particularly food producing gardens, as they can contribute to local resilience, livability, and reduction in greenhouse gas production by reducing food transportation costs.
9. Install greenhouses for growing food on rooftops where neighbourhood privacy and light intrusion concerns are mitigated.
10. Avoid heavily tinted windows or reflective glass which will diminish the natural daylighting of interior spaces, thereby requiring increased energy requirements for interior lighting.
11. In exposed marine locations select durable materials that will withstand weather and sea spray, to ensure low maintenance costs and infrequent replacement needs.

24.5.3 Landscaping

Where it is feasible:

1. Develop a front yard landscape design that is natural and delightful so residents do not need to leave the neighbourhood to experience nature.
2. Choose open space and landscaping over dedicating space to the parking and manoeuvring of private motor vehicles.
3. Conserve native trees, shrubs and soils, thereby saving the cost of importing materials and preserving already sequestered carbon dioxide.
4. Use deciduous trees for landscaping along southern exposures, as they provide shade in the summer and allow more sunlight through in the winter.
5. Strategically place taller trees and vegetation on the south and west sides of buildings where there is more direct sun exposure.
6. Strategically place coniferous trees such that they can buffer winter winds.

7. As context and space allow, plant trees that will attain a greater mature size, for greater carbon storage; removal of healthy trees is discouraged as the loss of the ecosystem services provided by larger trees will take many years to recover.
8. Plant trees with a larger canopy cover along roadways and sidewalks, thereby providing shading of paved areas, lowering the heating of paved surfaces and reducing the wind velocities in these pedestrian areas.
9. Plant shorter and sturdier vegetation closer to buildings and other structures, and taller vegetation further away to avoid potential damage from strong winds blowing vegetation against buildings.
10. For commercial areas, strategically increase green space between buildings, allowing room for landscaped pathways to improve the pedestrian experience, promote walking, and provide for improved light penetration on to sidewalks.
11. For parking areas and along boulevard/ sidewalk edges; plant trees to provide shade, store carbon and reduce the heat island effect.

24.5.4 Machinery, equipment and systems external to buildings and other structures.

Where it is feasible:

1. For external lighting:
 - Choose efficient low-energy and long life technologies;
 - Design lighting to reinforce and compliment existing street lighting;
 - Use motion-sensitive or solar-powered lights whenever possible;
 - Layer lighting for varying outdoor needs; and
 - Provide lighting systems that are easily controlled by building occupants.
2. Use heat pumps, solar panels, green (living) roofing or an innovative system to improve a building's energy performance.
3. Use durable, vandalism and graffiti resistant materials where neighbourhood surveillance may be limited.
4. Design for on-site heat recovery and re-use of water.
5. In commercial and industrial areas: design bicycle parking facilities to be inviting for cyclists. Locate bike racks near the main building entrance, with adequate lighting and weather protection.
6. In commercial areas, provide fast charge electric vehicle charging stations near locations that have quick customer turnover, and ensure the station is easily accessible, well lit, and visible from the public street.
7. Provide car sharing facilities that are well lit, available for residents, and easily accessed from the public street.

24.5.5 Special Features

Where it is feasible:

1. Select building materials that have been shown to have a high level of durability for the use intended.

2. Use wood for construction as a means to sequester carbon dioxide - North American grown and sustainably harvested wood is preferable for building construction.
3. Select local and regionally manufactured building products whenever possible to reduce transportation energy costs.
4. Reuse of existing buildings and building materials is encouraged.
5. Choose materials that have a high likelihood of reuse or recycling at end of life.

25 DPA NO. 8: WATER CONSERVATION



25.1 Area

Land within the municipal boundaries of the Corporation of the Township of Esquimalt.

25.2 Designation

Development Permit Area No. 8 is designated for:

- Section 488(1)(i) – water conservation.

25.3 Justification

Guidelines that conserve water also reduce energy use from treating and distributing potable water and treating wastewater, and help communities prepare for expected water shortages from climate change.

Urban areas have high water demands. Landscaping uses a considerable quantity of potable water. Stormwater can be either a burden on municipal infrastructure and local shorelines or a resource used within the community to lessen water demand for landscaping.

The guidelines in this section are intended to implement the Township's sustainability objectives to develop a green economy and reduce the overall risks and impacts of climate change through:

- Reduced per capita water consumption in new developments;
- Better use of existing water system infrastructure and reduced need for system capacity expansion; create a positive impact on the natural environment and hydrological systems;
- Innovation in the use of stormwater to reduce landscaping water requirements; and
- Reduced impact on the stormwater management system from the over use of potable water for landscaping.
- Wise use of potable and stormwater to reduce energy consumption and costs associated with the treating and distribution of potable water;
- By making the best use of existing infrastructure, the need for system capacity expansion and extension can be reduced;

- Reduced potable water consumption which leads to reduced energy consumption associated with the treating of wastewater;
- The best use of existing infrastructure so that the need for system capacity expansion and extension can be reduced;
- Use of stormwater for landscaping to assist in the conservation of local water reserves; and
- Rain gardens, retention ponds, and bioswales that can provide value as an urban design element and provide a source of delight in a passive recreation environment, and enhanced wildlife habitat and biodiversity.

25.4 Exemptions

The following do not require a development permit:

1. Changes to landscaping that does not decrease the permeability of a property
2. A minor alteration/ addition to the exterior of a building. For the purpose of this section, “minor” is defined as a change which does not do any of the following:
 - Increase the lot coverage by the lessor of 5% of the parcel or 50 m² (based on the site coverage of all buildings and structures);
 - Increase any bylaw non-conformities; or
 - Comprise an addition of more than 50 m² of gross floor area.
3. Installation of temporary tent/carport structures to be used for less than one year.

25.5 Guidelines

The expertise of qualified environmental professionals (retained by applicants), is strongly encouraged and may be required in certain situations.

25.5.1 Building and Landscape Design

Where it is feasible:

1. Reduce the burden on built stormwater infrastructure by designing on-site retention systems to retain the first three centimetres (1.25”) of stormwater on site, per precipitation event.
2. Provide space for absorbent landscaping, including significantly sized trees on the site and by not allowing underground parking structures to extend beyond building walls.
3. Incorporate rainwater collection systems into roof design; consider using living roofs and walls as part of a rainwater collection system.
4. Incorporate rain gardens into landscaping and direct rainwater towards vegetated areas.
5. Intersperse paved surfaces with drought resistant vegetation that will provide shade on those surfaces and design the paved surfaces to drain into the vegetation.
6. Design landscaping with more planted and pervious surfaces than solid surfaces.
7. Direct stormwater towards adjacent public spaces, with rain gardens/ bioswales located on public property where it would benefit both the new development and the municipality and where it is deemed appropriate by municipal staff.

25.5.2 Landscaping - Select Plantings for Site and Local Conditions

Where it is feasible:

1. Retain existing native trees vegetation, and soil on site.
2. Plant species native to the Coastal Douglas-fir biogeoclimatic zone, as they are most suited to our climate and require little additional irrigation once established.
3. Consider shade, sunlight, heat, wind-exposure and sea spray, as well as water needs in the selection and placement of plant species.
4. Group plants with similar water needs into hydro-zones.

25.5.3 Landscaping – Retaining Stormwater on Site (absorbent landscaping)

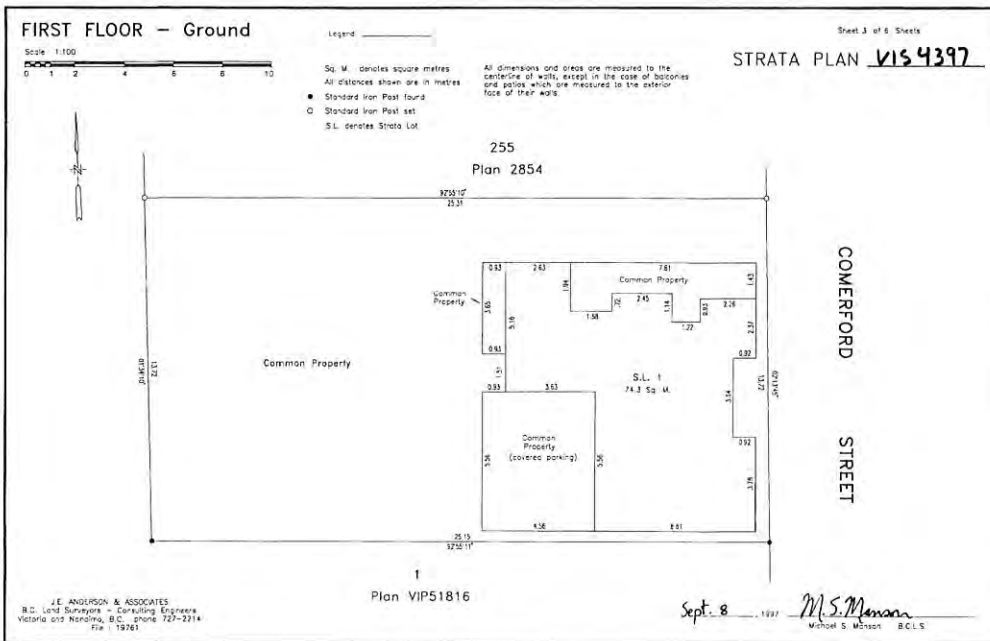
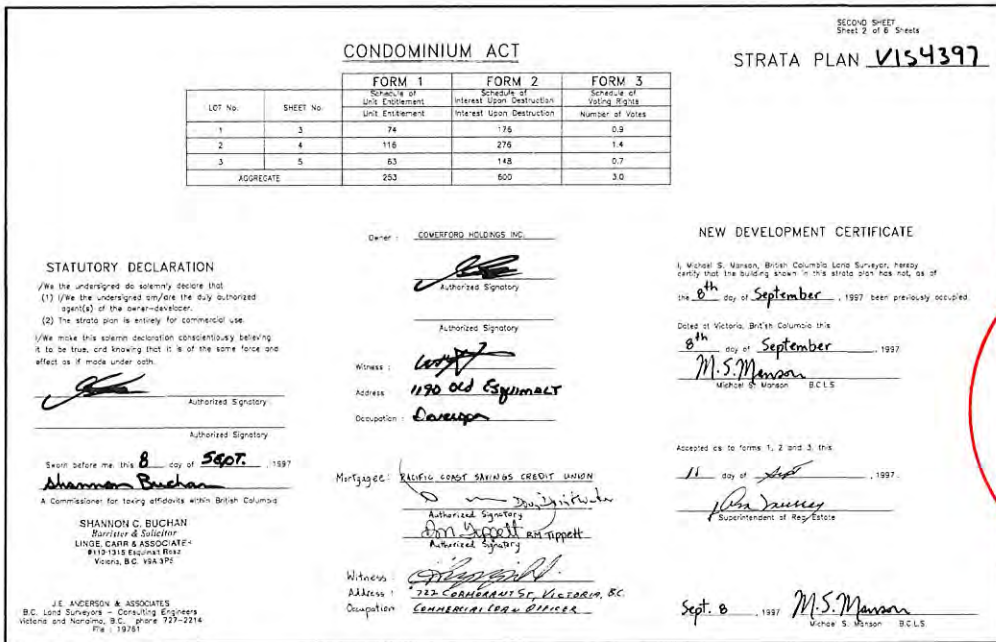
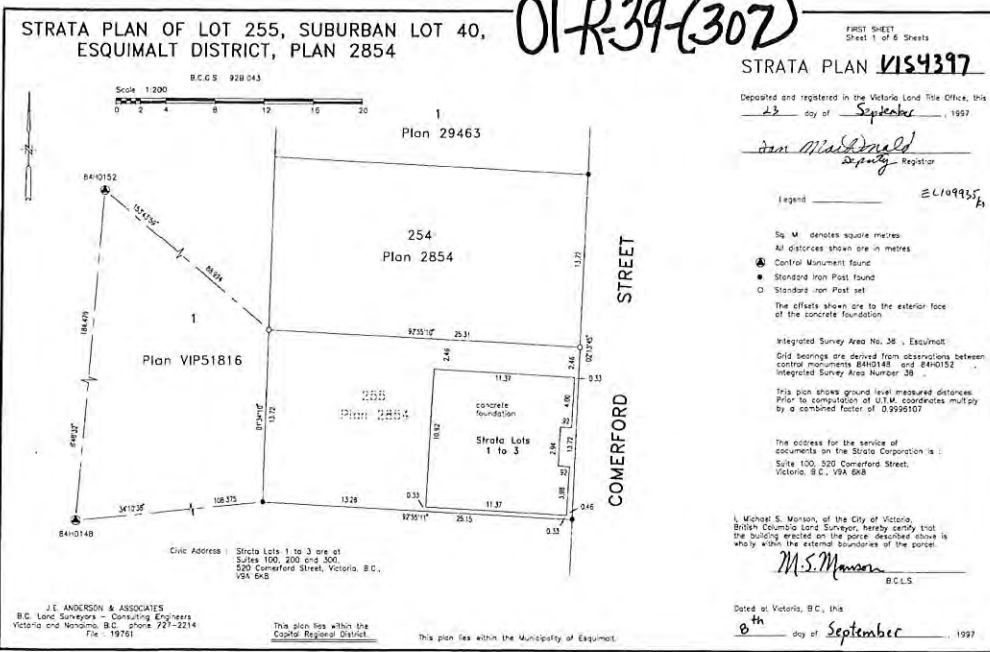
Where it is feasible:

1. Preserve and restore treed areas. Trees are the most effective form of absorbent landscaping due to their extensive root zones and their ability to both absorb water from the soil and intercept precipitation on leaves, needles and branches. Consider that native conifers are well adapted to local wet winters.
2. Use pervious landscaping materials to enhance stormwater infiltration; permeable paving is preferable for surface parking areas.
3. Avoid disturbing, compacting and removing areas of natural soil, as these are naturally absorbent areas.
4. Locate civil servicing lines along driveways and other paved areas, to lessen the disturbance of natural soils and loss of their natural absorption qualities.
5. Use good quality top soil and compost for the finish grading of disturbed areas to contribute to the water holding capacity of newly landscaped areas.
6. Choose bark mulches or woodchips for walking paths for enhanced absorption.
7. Plant at densities that will ensure vegetated areas have 100% plant canopy coverage after two full growing seasons. Consider that understory native plants are adapted to local climates, absorb seasonal soil moisture and reduce compaction due to foot traffic.

25.5.4 Landscaping - Water Features and Irrigation Systems

Where it is feasible:

1. Use automated high efficiency irrigation systems where irrigation is required.
2. Incorporate stormwater retention features into irrigation system design.
3. Use recirculated water systems for water features such as pools and fountains.
4. Install plantings and irrigation systems to the Canadian Landscape Standard.

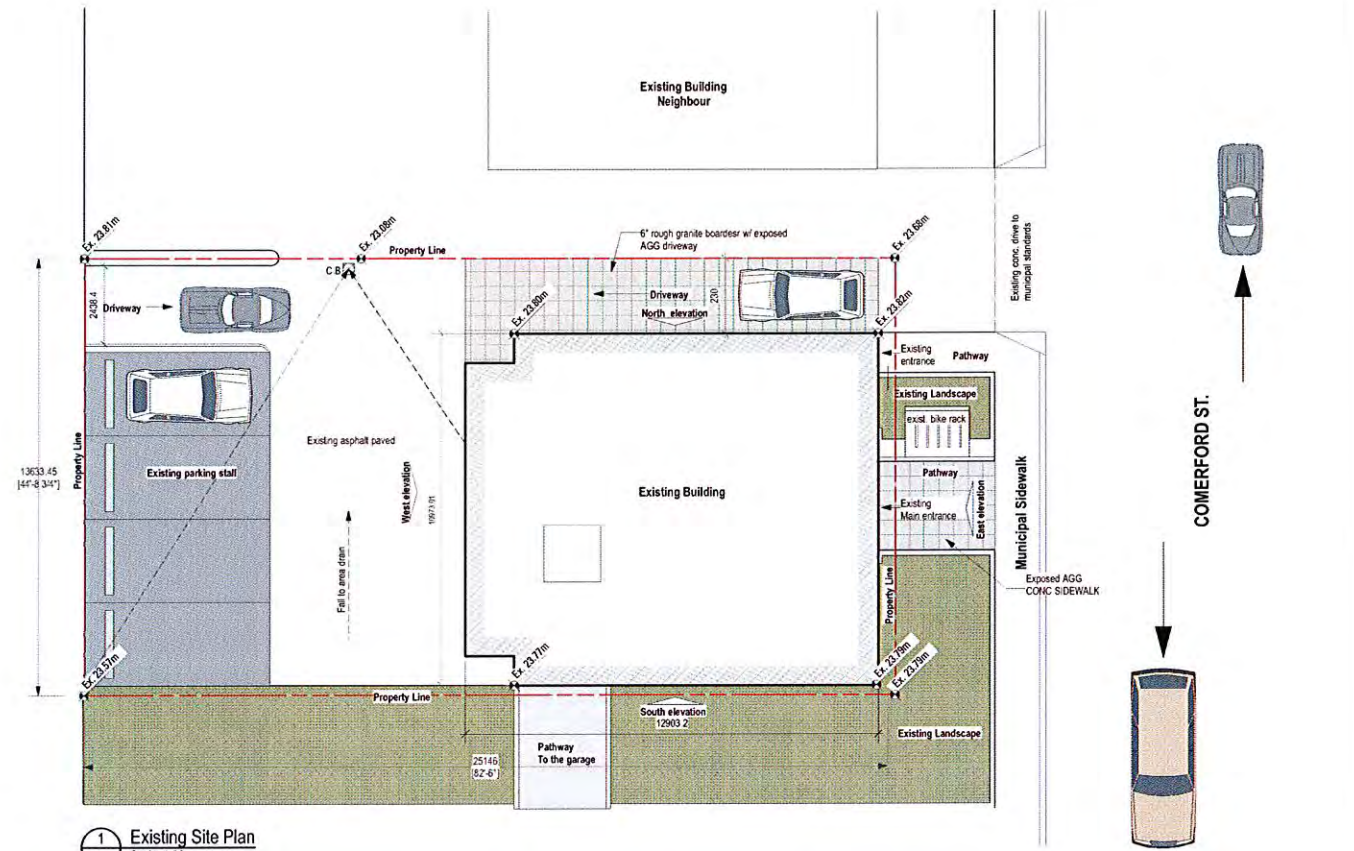


Project Data

Owner:	Community Living Victoria 2801 Cedar Hill Court Rd Victoria BC V8P 3M7 Telephone: 250 477 7231	
Architect:	Joseph R. Newell, Architect AIBC Joe Newell Architect Inc, 2-101 Presley Place, Victoria, B.C. Telephone: 250-382-4240 Fax: 250-382-5732	
Civic Address of Property:	520 Comerford Street, Esquimalt, Victoria, BC	
Legal Description:	Lot 25, Land District 21, Plan 2634 Suburban lot 40 / Plan 2634 / Esquimalt district	
Zoning:	Core Commercial (C3)	
Permitted Uses:	Professional Office	
Site Area:	302.8 m ²	3098 s.f.
Building Area:	290.8 m ²	3125 s.f.
Coverage:	Permitted: 80%	
Building Coverage:	Proposed: 37.5%	
Building Height:	Permitted: 12 m	Existing: 8.415 m
Top of Elevator:	Permitted: max 4m above the top of parapet	Proposed: 2.023m above the top of parapet
Setbacks:	Front Yard Permitted: N/A	Side Yard (North) Permitted: N/A
	Side Yard (South) Permitted: N/A	Rear Yard Permitted: N/A
Average grade:	Existing 23.78 m	
Parking:	Existing 18 Stalls	

Drawing List

Architectural - Joe Newell Architect Inc.	
• A1.1	Project Data, Site Plan & Drawing List
• A2.1	Existing Plan
• A3.1	Existing Elevations
• A4.1	Main, 2nd & 3rd floor plans & Interior Elevations / Proposed
• A5.1	Building Sections & Interior Elevations / Proposed
• A6.1	Building Elevations & 3D / Proposed



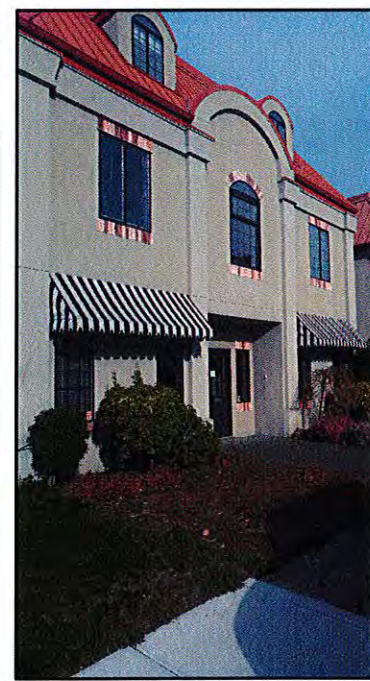
1 Existing Site Plan
A1.1 Scale: 1:96



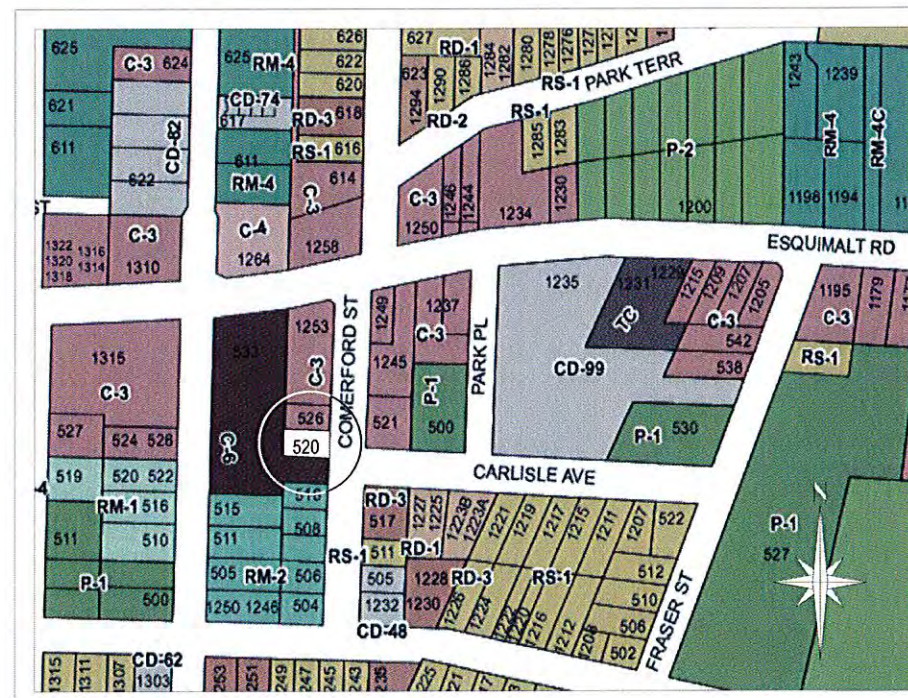
Existing Building: Street View



Existing Building: South East corner

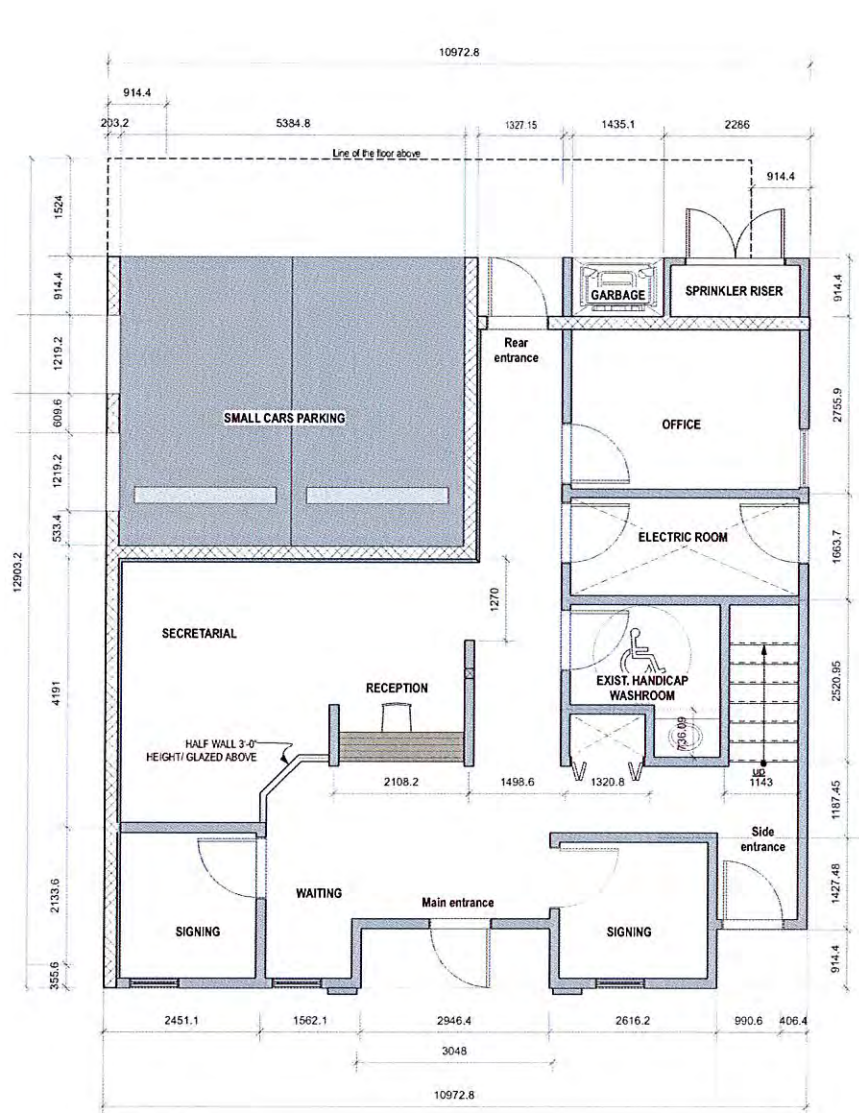


Existing Building: East Elevation



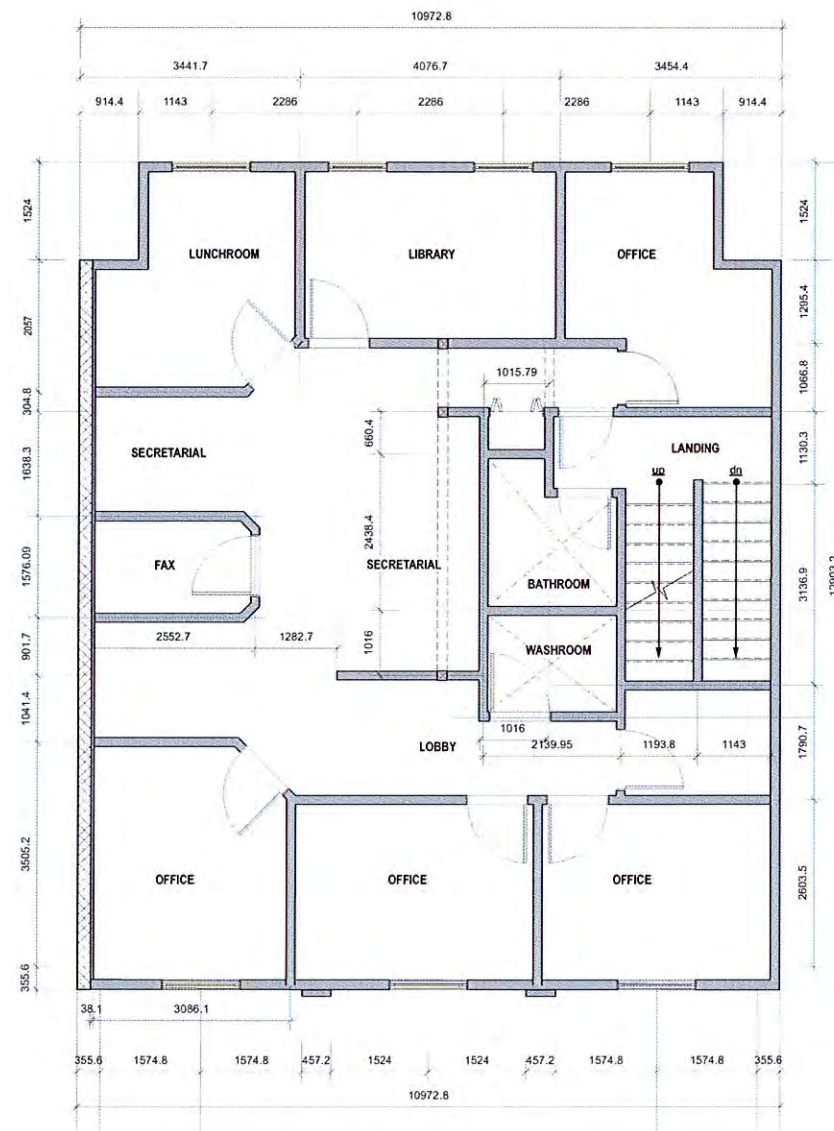
Location: Site Map & zoning



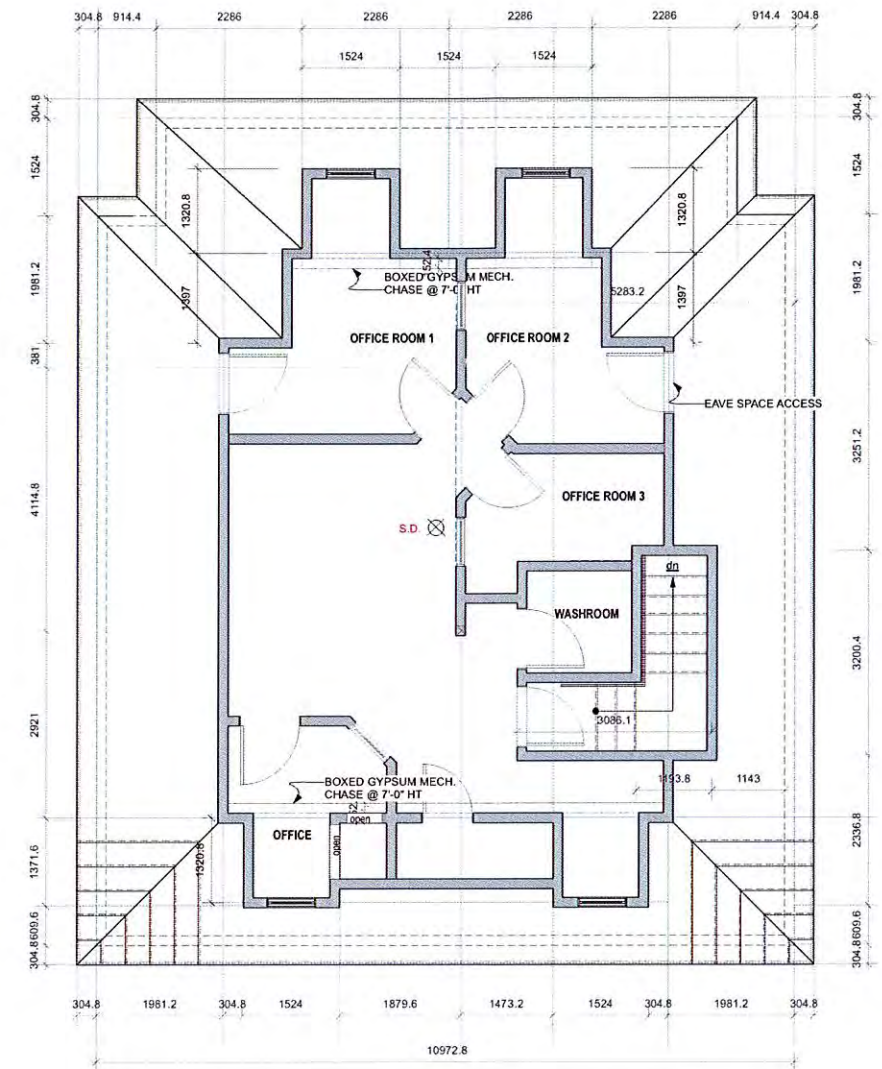


1 Existing Main Floor
Scale: 1/4" = 1'-0"

WALL LEGEND
 ——— EXISTING WALL
 ▨ EXISTING CONCRETE BLOCK



2 Existing Second Floor
Scale: 1/4" = 1'-0"



3 Existing Third Floor
Scale: 1/4" = 1'-0"

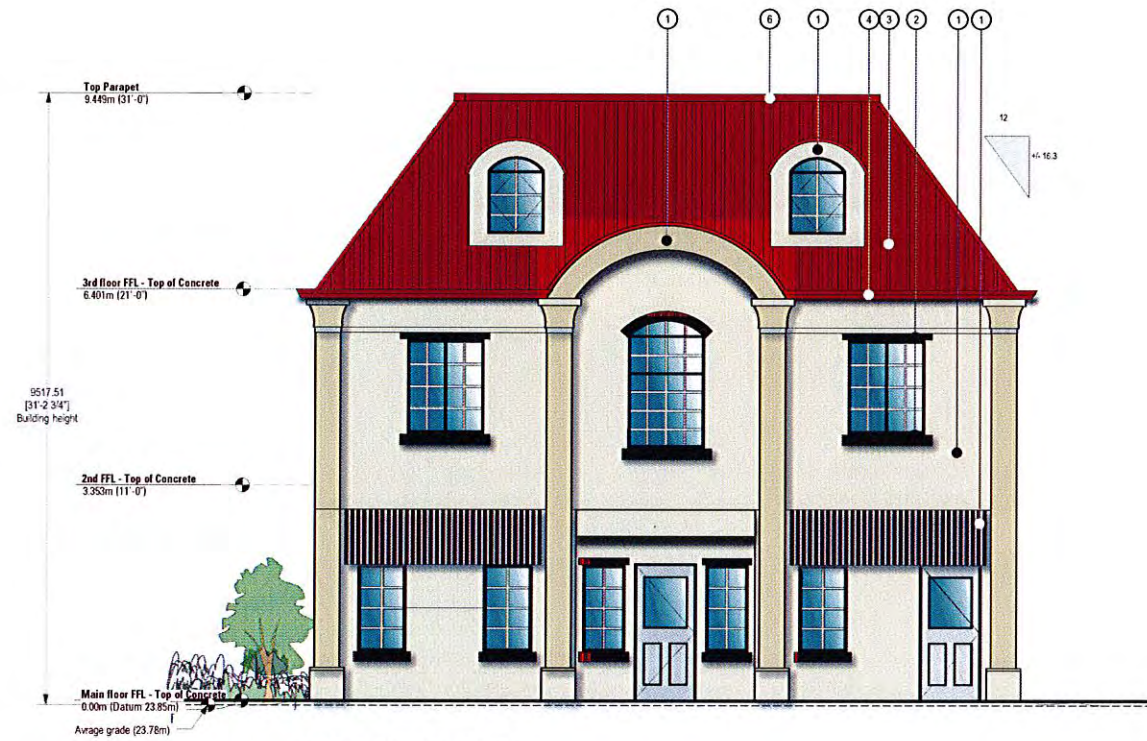


520 COMERFORD STREET

PROPOSED COMMERCIAL DEVELOPMENT

A1.2
2018, June

Joe Newell
architect inc.
2-101 Presley Place Victoria BC V9B 6S4
p. 250.382.4140, f. 250.382.5173
e. jnewell@jnainc.net



1 East Elevation - Existing
Scale: 1/4" = 1'-0"

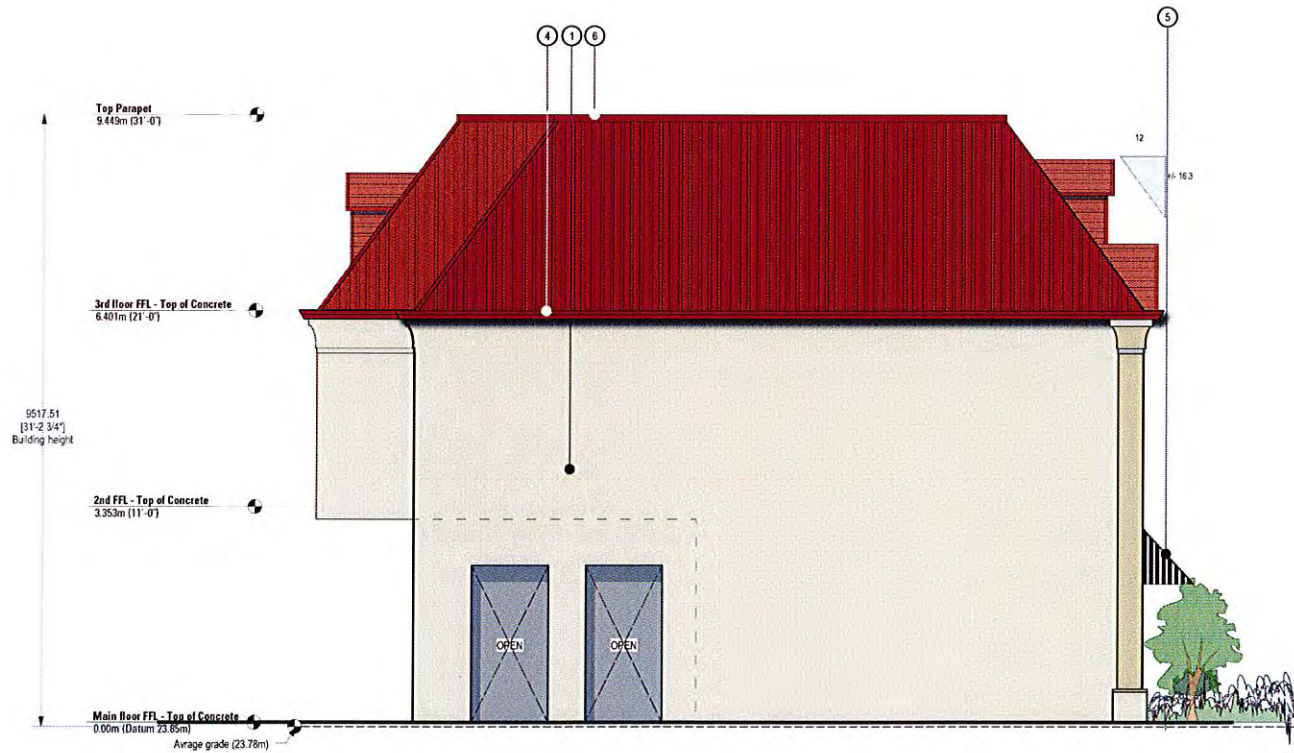
1	4
2	5
3	6

Existing elevation materials Acc.

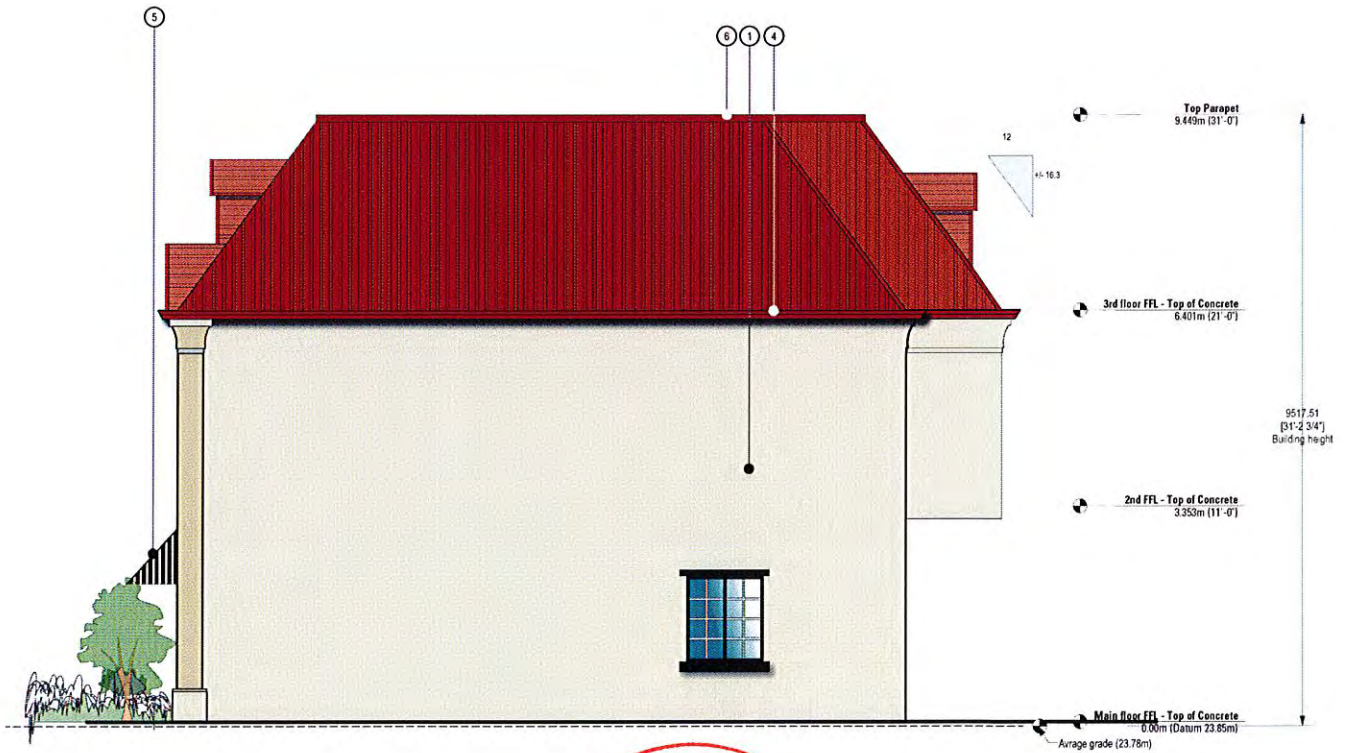
- 1 - Acrylic Stucco Fin / Sandstone colour
- 2 - Brick / Red colour
- 3 - Pre. Fin / Profiled sheet metal roof / Red colour
- 4 - Pre finished Metal gutter / Red colour
- 5 - Canvas awning / Stripe Fabric/ B & W
- 6 - Sheet metal cap or trim flashing / Red colour



3 West Elevation - Existing
Scale: 1/4" = 1'-0"



2 South Elevation - Existing
Scale: 1/4" = 1'-0"



4 North Elevation - Existing
Scale: 1/4" = 1'-0"

520 COMERFORD STREET

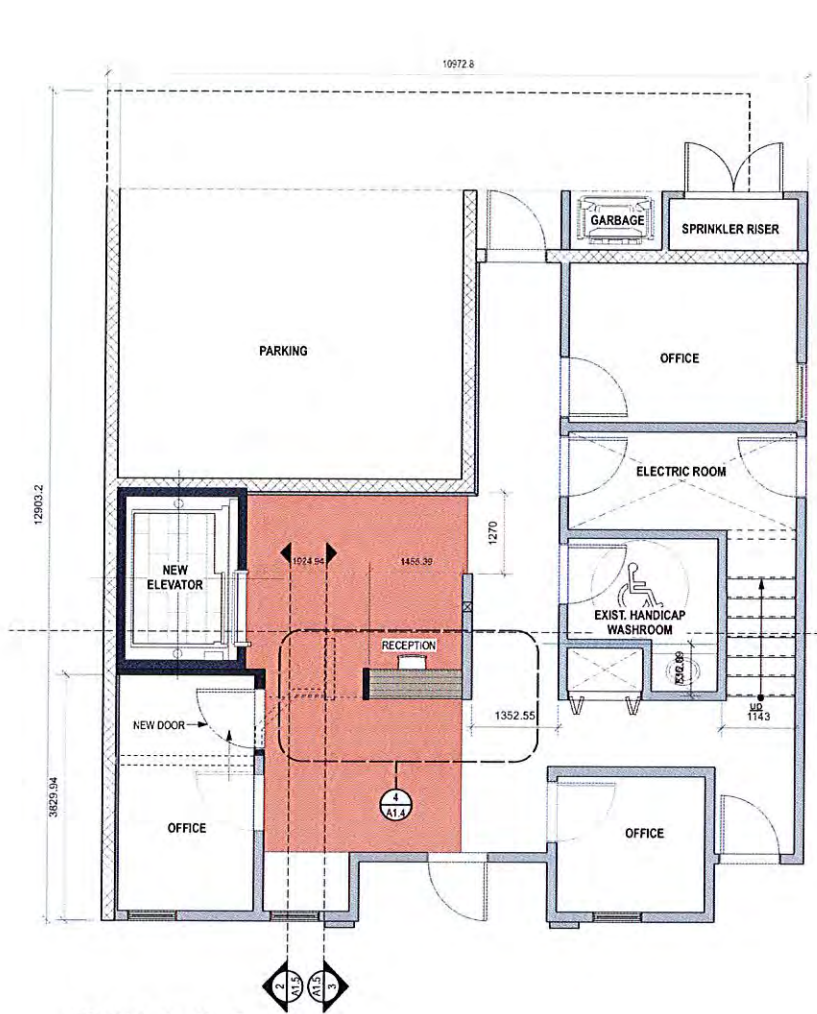
PROPOSED COMMERCIAL DEVELOPMENT



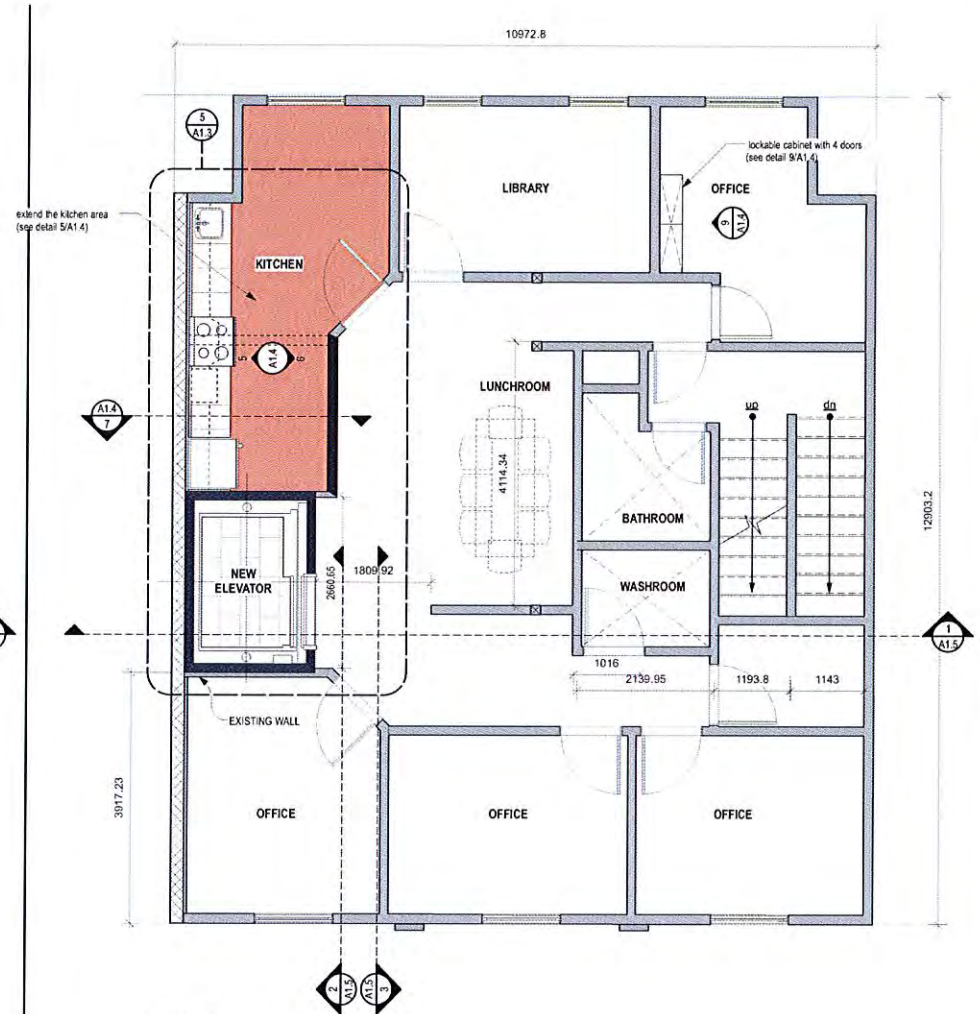
A1.3
2018 - June

Joe Newell
architect inc.

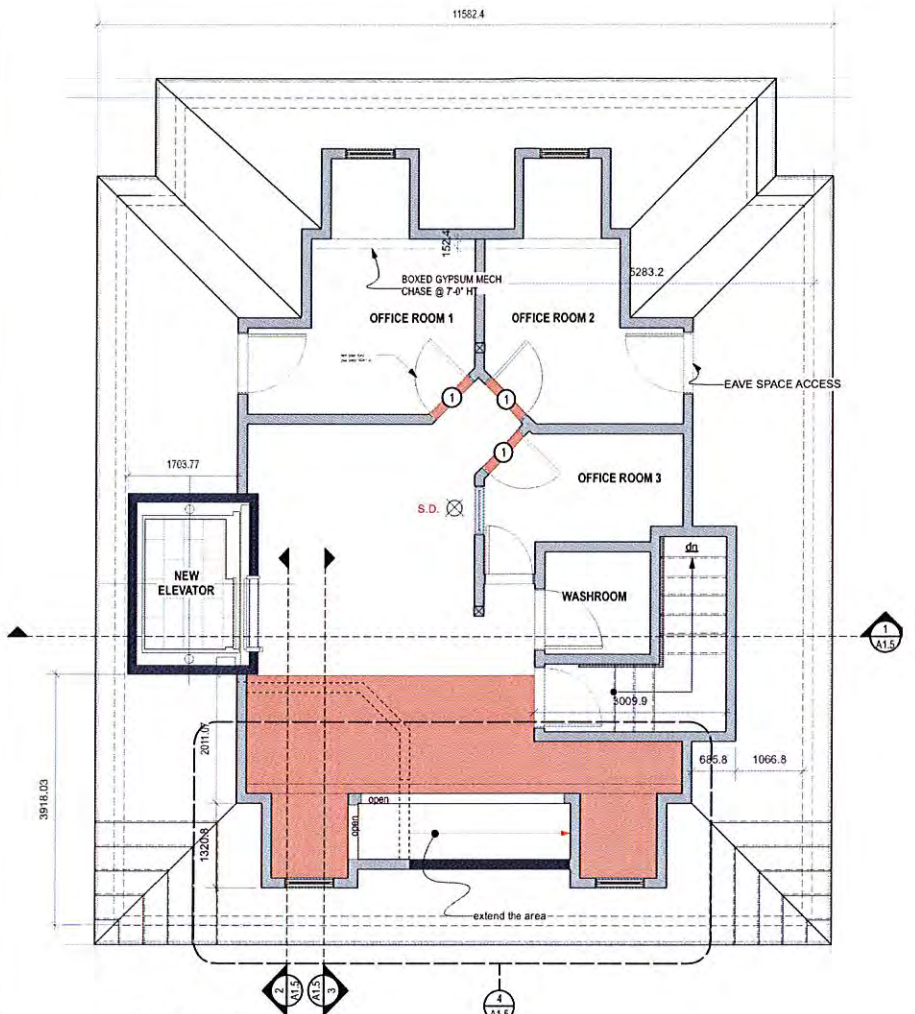
2 - 101 Presley Place Victoria BC V8B 0S4
p. 250.382.4740 f. 250.382.5173
e. jnewell@jnainc.net



1 Main Floor-New Proposal
Scale: 1/4" = 1'-0"

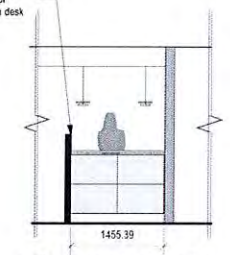


2 Second Floor-New Proposal
Scale: 1/4" = 1'-0"

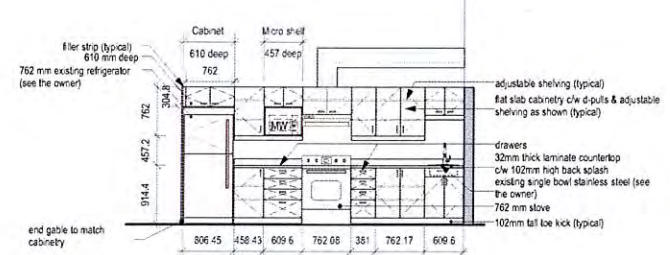


3 Third Floor-New Proposal
Scale: 1/4" = 1'-0"

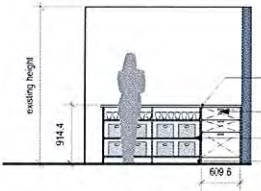
- WALL LEGEND**
- EXISTING WALL
 - NEW WALL
 - EXISTING CONCRETE BLOCK
 - EXISTING WALL TO BE REMOVE
 - EXTENT OF INTERIOR ALTERATION



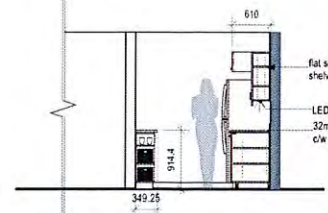
4 Reception-Elevation
Scale: 1/4" = 1'-0"



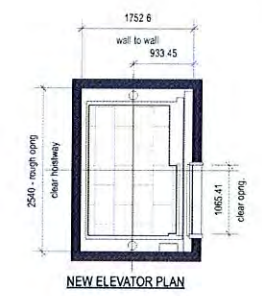
5 Kitchen-Elevation
Scale: 1/4" = 1'-0"



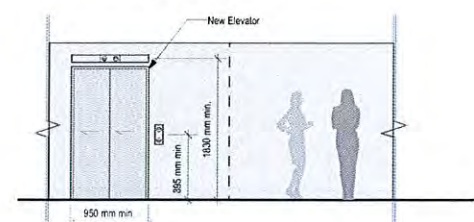
6 Kitchen-Elevation
Scale: 1/4" = 1'-0"



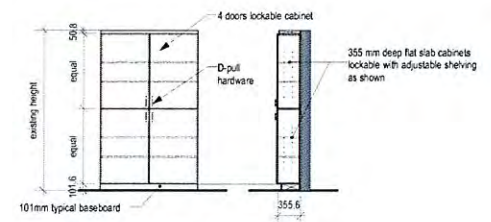
7 Kitchen-Section
Scale: 1/4" = 1'-0"



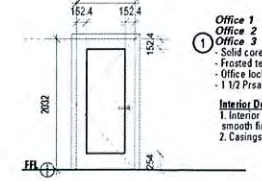
NEW ELEVATOR PLAN



8 Elevator-Elevation
Scale: 1:48



9 Cabinet-Elevation & Section
Scale: 1/4" = 1'-0"



10 Door-Elevation
Scale: 1/4" = 1'-0"

- Office 1**
Office 2
Office 3
- Solid core wood door
 - Frosted tempered Glass lite
 - Office lock lever latch set
 - 1 1/2 Pysal hinges per door s.s.
- Interior Door Notes:**
1. Interior doors to be 1 3/8" thick doors w/ paint grade smooth finish unless otherwise noted.
2. Casings to be 1x3 medite unless otherwise noted.



520 COMERFORD STREET

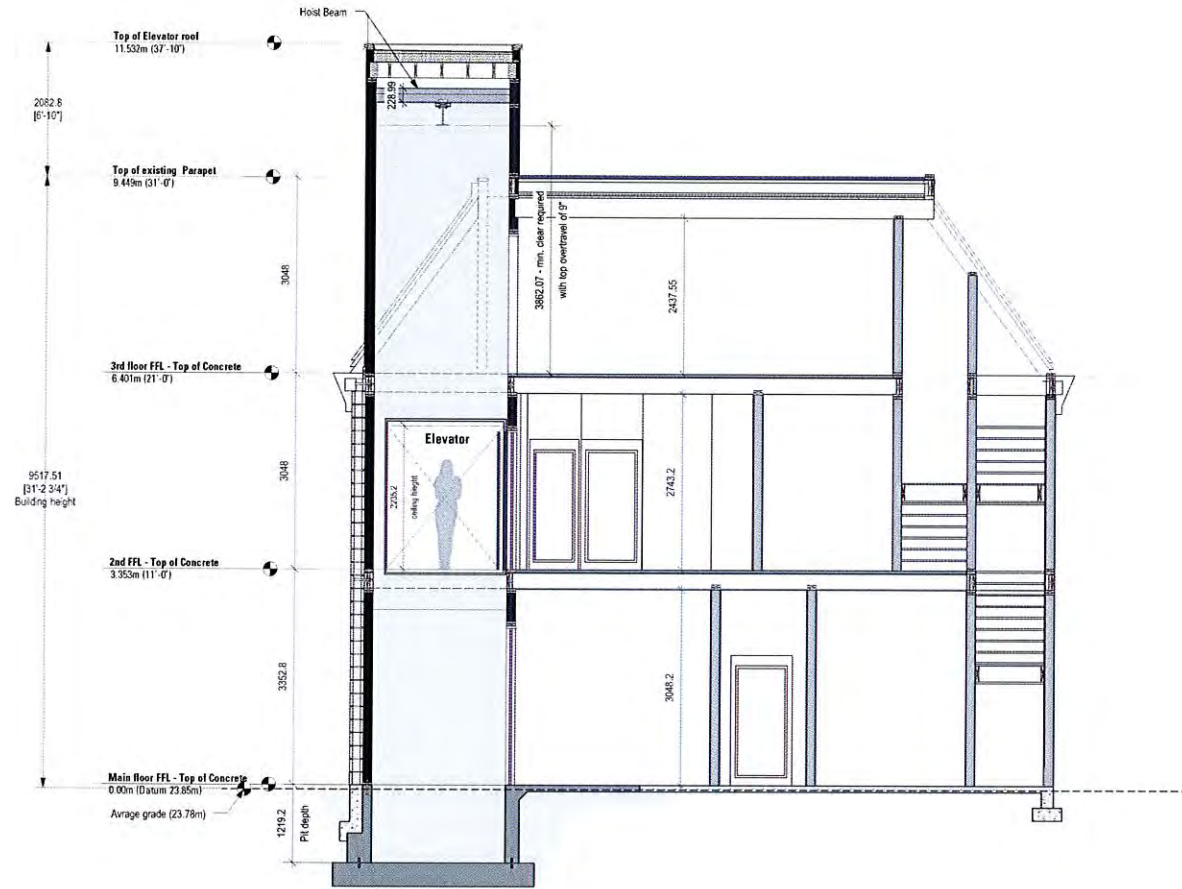
PROPOSED COMMERCIAL DEVELOPMENT

A1.4

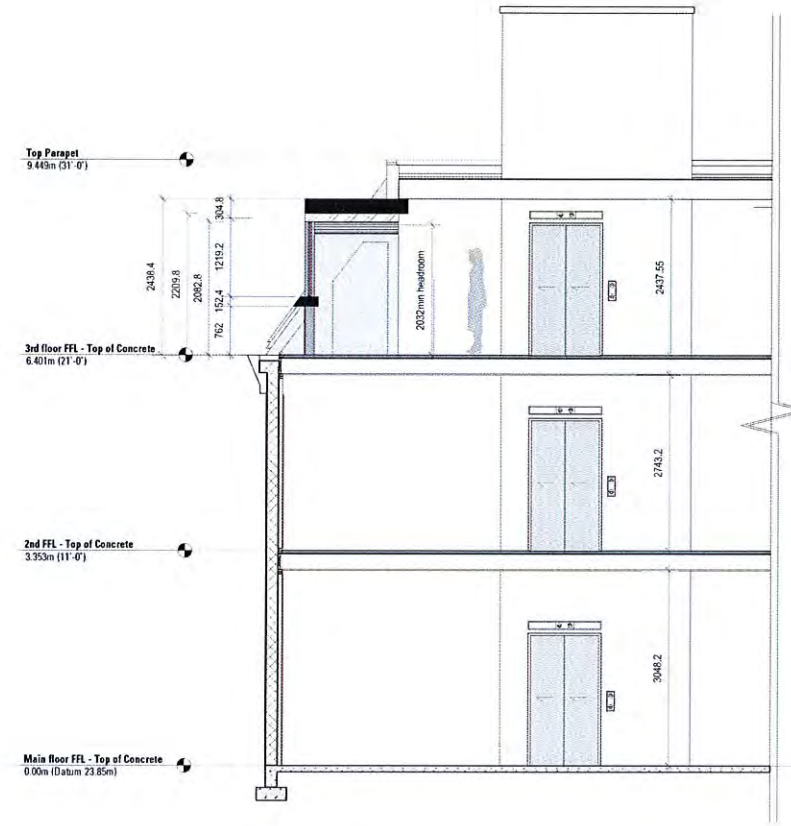
2018 - June

Joe Newell
architect inc.

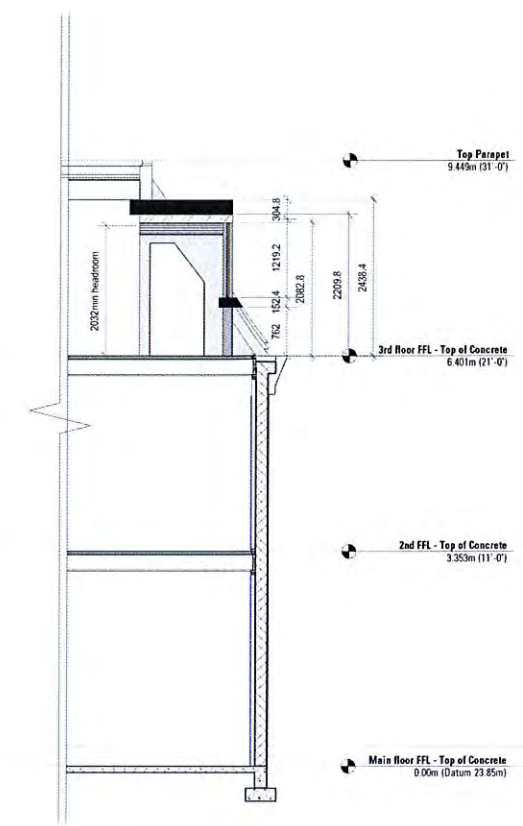
2 - 101 Presley Place Victoria BC V8B 0S4
p. 250.382.4240, f. 250.382.5733
e. joenewell@jncinc.net



1 Elevator Section
A1.5 Scale: 1/4" = 1'-0"



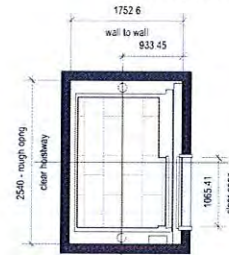
2 Building Section
A1.5 Scale: 1/4" = 1'-0"



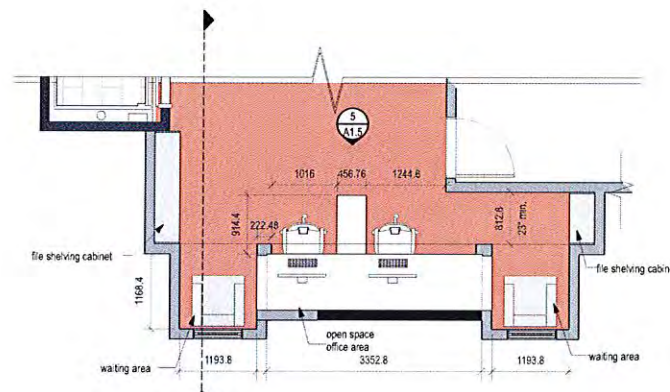
3 Building Section
A1.5 Scale: 1/4" = 1'-0"

- WALL LEGEND**
- EXISTING WALL
 - NEW WALL
 - EXISTING CONCRETE BLOCK
 - EXISTING WALL TO BE REMOVED
 - CONCRETE

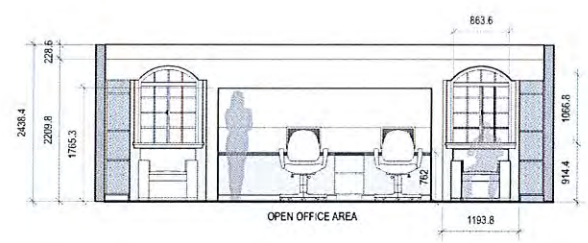
EXTENT OF INTERIOR ALTERATION



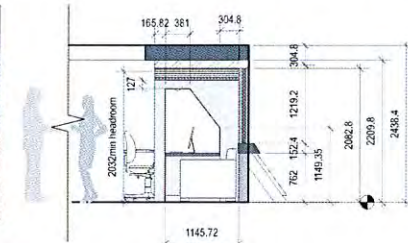
NEW ELEVATOR PLAN



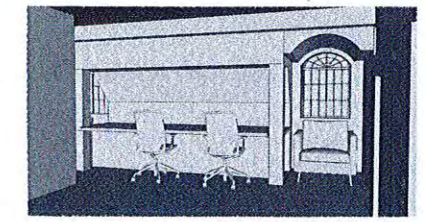
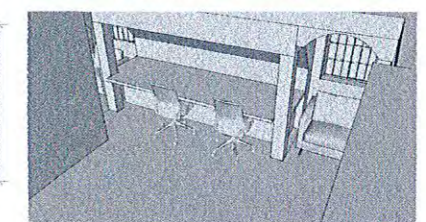
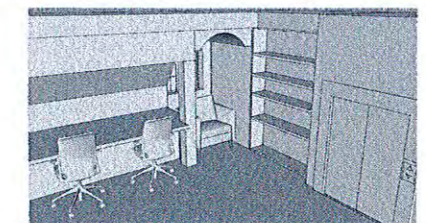
4 Open Space Office - Floor Plan
A1.5 Scale: 1/4" = 1'-0"



5 Open Space Office - Elevation
A1.5 Scale: 1/4" = 1'-0"



6 Open Space Office - Section
A1.5 Scale: 1/4" = 1'-0"



RECEIVED
JUL 20 2013
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

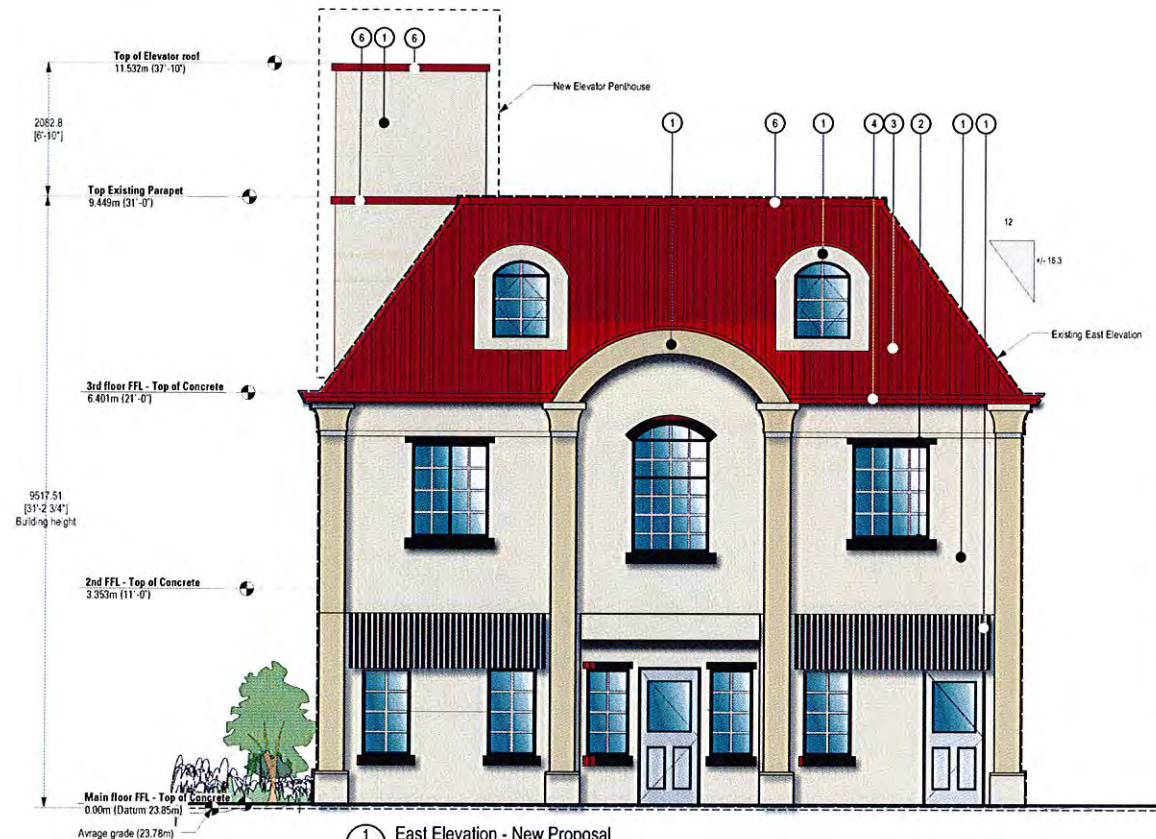
520 COMERFORD STREET

PROPOSED COMMERCIAL DEVELOPMENT

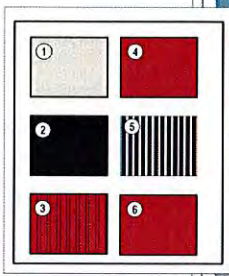
A1.5

2018 - June

Joe Newell
architect inc.
2 - 101 Presley Place Victoria BC V8B 6S4
p. 250.382.4240, f. 250.382.5733
e. joenewell@jainc.net



1 East Elevation - New Proposal
Scale: 1/4" = 1'-0"

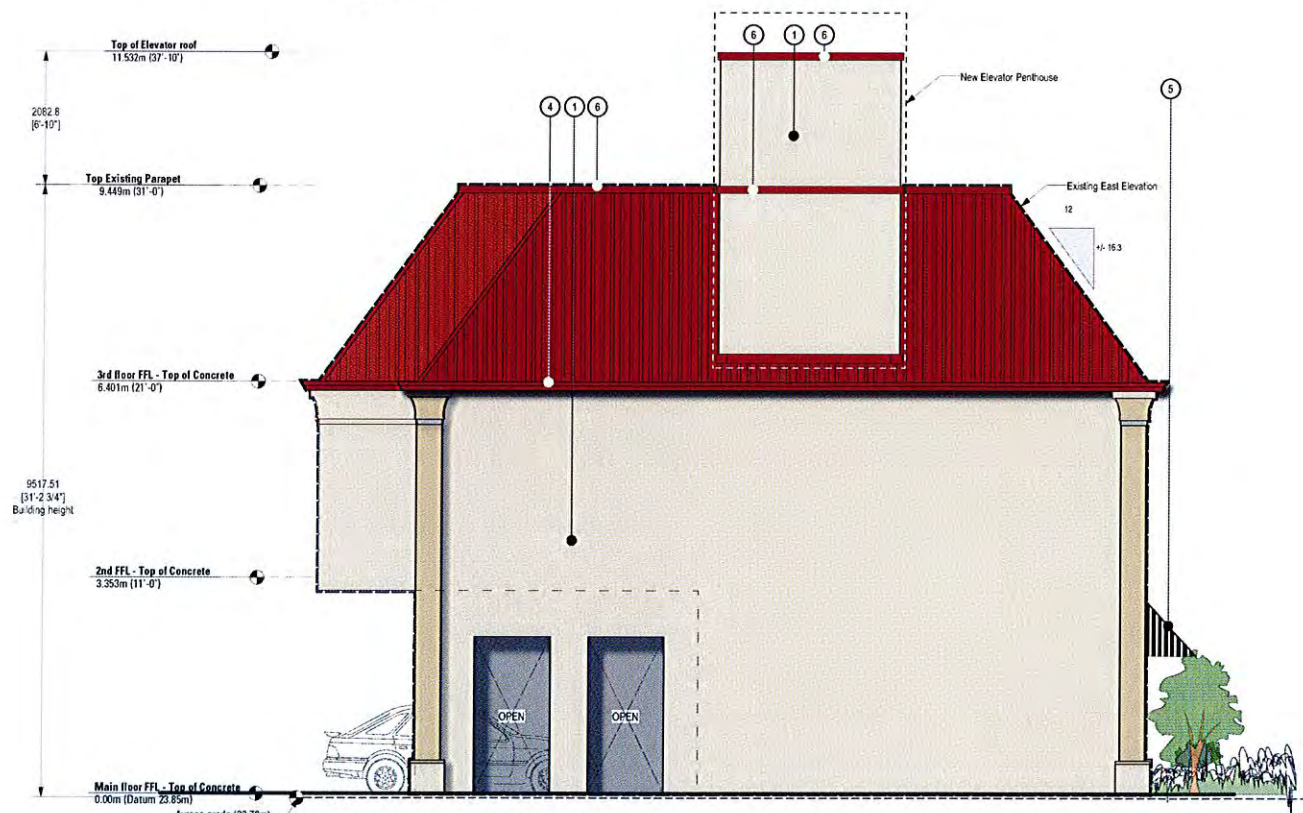


- Existing elevation materials key:**
- 1 - Acrylic Stucco / Sandstone color
 - 2 - Brick / Red color
 - 3 - Pre-Fin / Profiled sheet metal roof / Red Color
 - 4 - Pre finished Metal gutter / Red color
 - 5 - Canvas awning / Stripe Fabric/ B & W
 - 6 - Sheet metal cap or trim flashing / Red color

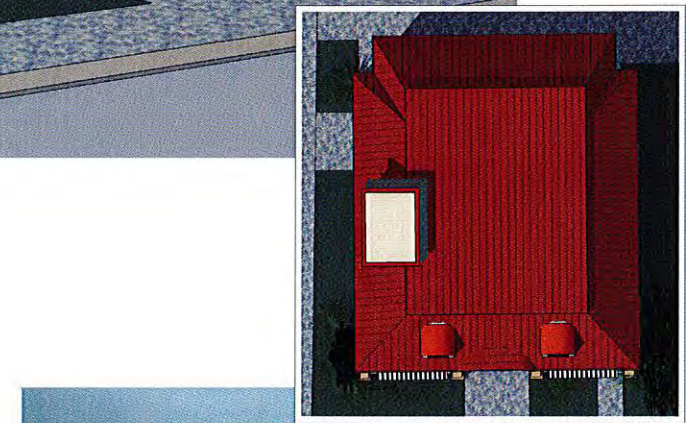
Note: New materials to be match the Existing Elevation materials



RECEIVED
JUL 20 2018
CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



2 South Elevation - New Proposal
Scale: 1/4" = 1'-0"



Top view



3 3D - Perspective
Scale: 1/4" = 1'-0"

520 COMERFORD STREET **PROPOSED COMMERCIAL DEVELOPMENT**

A1.6

2018 - June

Joe Newell
architect inc
2 - 101 Presley Place Victoria BC V8B 6S4
p. 250.382.4240, f. 250.382.5733
e. joenewell@jainc.net



GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services at 250.414.7108** for clarification.

**New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt

Adopted on January 10th, 2011



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards			
Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.			
1	Are you building to a recognized green building standard? If yes, to what program and level?	Yes	<input checked="" type="radio"/> No
2	If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features?	Yes	<input checked="" type="radio"/> No
3	Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them. <i>RAINSCREEN SIDING on those portions of New Exterior Wall.</i>	<input checked="" type="radio"/> Yes	No
4	What percentage of the existing building[s], if any, will be incorporated into the new building?	<u>100</u> %	
5	Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. <i>No Stone — No Manufactured Wood except Plywood</i>		
6	Have you considered advanced framing techniques to help reduce construction costs and increase energy savings?	<input checked="" type="radio"/> Yes	No
7	Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? <u>No</u> For which parts of the building (e.g. framing, roof, sheathing etc.)? _____		
8	Can alternatives to Chlorofluorocarbons and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. <u>No CFC's</u>	Yes	No
9	List any products you are proposing that are produced using lower energy levels in manufacturing.		
10	Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]?	<input checked="" type="radio"/> Yes	No
11	Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?	Yes	<input checked="" type="radio"/> No



Existing Washroom facilities are unchanged

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs?	Yes	No
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements?	Yes	No
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements?	Yes	No
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers?	Yes	No
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?	Yes	No

Storm Water

17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	No	N/A
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?	Yes	No	N/A
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____	Yes	No	N/A
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	Yes	No	N/A
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____	Yes	No	N/A
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes	No	N/A
23	What percentage of the site will be maintained as naturally permeable surfaces?	5		%

Waste water

24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____	Yes	No	N/A
----	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----	----	-----

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species?	Yes	No	N/A
	Could your site design be altered to save these trees?			
	Have you consulted with our Parks Department regarding their removal?			



26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? _____	Yes	No	N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds?	Yes	No	N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. _____	Yes	No	N/A
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island?	Yes	No	N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	Yes	No	N/A
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	Yes	No	N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property?	Yes	No	N/A
33	Will topsoil will be protected and reused on the site?	Yes	No	N/A
Energy Efficiency				
<i>Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.</i>				
34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? _____	Yes	No	N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting?	Yes	No	N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? <u>90</u> %	Yes	No	N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. _____ If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____	Yes	No	N/A
38	Has the building been designed to be solar ready?	Yes	No	N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	Yes	No	N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards?	Yes	No	N/A
41	Are energy efficient appliances being installed in this project? <u>Diswasher</u> If so, please describe. <u>Energy Star Washer/Dryer, Stove, Fridge</u>	Yes	No	N/A
42	Will high efficiency light fixtures be used in this project? If so, please describe. <u>LED Fixtures where new.</u>	Yes	No	N/A
43	Will building occupants have control over thermal, ventilation and light levels?	Yes	No	N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	Yes	No	N/A
45	Will underground parking areas have automatic lighting?	Yes	No	N/A



Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	<input checked="" type="radio"/> Yes	No	N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. <u>Paints, Adhesives Low VOC</u>	<input checked="" type="radio"/> Yes	No	N/A
48	Will the building have windows that occupants can open?	<input checked="" type="radio"/> Yes	No	N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	<input checked="" type="radio"/> Yes	No	N/A
50	Will fresh air intakes be located away from air pollution sources?	<input checked="" type="radio"/> Yes	No	N/A

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>Steel from Roof, concrete</u>	<input checked="" type="radio"/> Yes	No	<input checked="" type="radio"/> N/A
52	Will materials be recycled during the construction phase? If so, please describe. <u>Wood off cuts.</u>	<input checked="" type="radio"/> Yes	No	N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	<input checked="" type="radio"/> Yes	No	N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes	No	<input checked="" type="radio"/> N/A

Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	Yes	No	<input checked="" type="radio"/> N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes	No	<input checked="" type="radio"/> N/A
57	Is access provided for those with assisted mobility devices?	<input checked="" type="radio"/> Yes	No	N/A
58	Are accessible bike racks provided for visitors?	Yes	No	<input checked="" type="radio"/> N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	Yes	No	<input checked="" type="radio"/> N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input type="checkbox"/> plug-ins for electric vehicles			

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe

