



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DESIGN REVIEW COMMITTEE AGENDA

WEDNESDAY, NOVEMBER 8, 2017

3:00 P.M.

ESQUIMALT COUNCIL CHAMBERS

MEMBERS: Roger Wheelock (Chair) Wendy Kay
Ally Dewji Graeme Verhulst
Bev Windjack Jill Singleton
Robert Schindelka

RESOURCE MEMBER: Cst. Franco Bruschetta [Non-Voting]

COUNCIL LIAISON: Councillor Beth Burton-Krahn
Councillor Olga Liberchuk

STAFF LIAISON: Bill Brown, Director of Development Services

SECRETARY: Pearl Barnard

I. CALL TO ORDER

II. LATE ITEMS

III. ADOPTION OF AGENDA

IV. ADOPTION OF MINUTES – October 11, 2017

V. STAFF REPORT

1) **REZONING AND OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION**
1052 Tillicum Road
[Lot C Section 10 Esquimalt District Plan VIP11683]

PURPOSE OF APPLICATION:

The applicant is requesting a change in Official Community Plan Land Use Designation and Zoning from the current OCP designation Single and Two Unit Residential to Townhouse Residential and a change in zoning from the current RD-1 [Two Family Residential] zone to a Comprehensive Development zone [CD]. These changes are required to accommodate the proposed five strata townhouse residences to be constructed in two buildings on the subject property.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

Specific form and character issues relating to the aesthetics of the building, such as cladding materials, window materials, doorways, streetscape improvements and landscaping will be evaluated in a separate application for Development Permit should

this OCP amendment and rezoning application be approved by Council.

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends that the application for OCP amendment and rezoning to authorize development of 1052 Tillicum Road as five Townhouse Residential units contained in two detached buildings, incorporating siting, height and massing consistent with the architectural plans provided by Zebra Design stamped "Received October 31, 2017" be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

2) REZONING APPLICATION

669 Constance Avenue

[PID 004-574-451 Lot 1, Suburban Lots 43 and 44, Esquimalt District, Plan 13563]

658 Admirals Road

[PID 023-768-410 Lot A of Suburban Lots 43 and 44, Esquimalt District, Plan VIP65333]

662 Admirals Road

[PID 017-827-540 Lot 1, Suburban Lot 43, Esquimalt District, Plan VIP54521]

PURPOSE OF APPLICATION:

The applicant is requesting a change in zoning from the current mix of Medium Density Multiple Family Residential [RM-4] and Low Density Townhouse Multiple Family Residential [RM-1] zones to a Comprehensive Development District zone [CD]. This change is required to accommodate the proposed 12 storey, 83 unit, multiple family prefabricated residential building including, as a principal feature, a generous, glass enclosed, two storey lobby, multiple purpose room and community amenity space located at grade off Admirals Road and situated above mechanical and storage areas and 4 levels of underground parking totaling 83 spaces. The residential units rise in a staggered form from 5/6 storeys abutting Constance Avenue to 10 (11) storeys adjacent to Admirals Road. The building stretches between Admirals Road and Constance Avenue forming the shape of the letter U surrounding a central courtyard. This design approach loads the building mass toward the edges of the property, respecting a minimum setback of 3.6m at the closest point to Admirals Road, 1.5m to the northern side lot line, 0.85m at the closest point to Constance Ave and 3.1m to the southern side lot line thereby retaining the south exposed central courtyard for use of residents.

This site is located within Development Permit Area No. 1 – Multi-Unit Residential. Should the rezoning application be approved, the applicant would need to obtain a Development Permit respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of the proposed multiple family residential building which would be considered by both the DRC and Council in the future.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

RECOMMENDATION:

The Esquimalt Design Review Committee [DRC] recommends to Council that the application for rezoning to facilitate consolidation of three properties located between the northernmost end of Constance Avenue and Admirals Road, and authorizing a 36 metre [12 storey], 83 unit, multiple family residential building sited in accordance with the BCLS Site Plan provided by McElhanney Consulting Services Ltd., stamped “Received October 26, 2017”, and incorporating height and massing consistent with the architectural plans provided by Lang Wilson Practice in Architecture Culture, stamped “Received October 27, 2017”, be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

VI. STAFF LIAISON STATUS REPORT

VII. NEW BUSINESS

VIII. NEXT REGULAR MEETING
December 13, 2017

IX. ADJOURNMENT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

**ADVISORY DESIGN REVIEW COMMITTEE
MEETING MINUTES
HELD
OCTOBER 11, 2017
ESQUIMALT COUNCIL CHAMBERS**

MEMBERS PRESENT:	Robert Schindelka Graeme Verhult Bev Windjack	Ally Dewji (Vice Chair) Jill Singleton Cst. Franco Bruschetta (Non-Voting)
REGRETS:	Roger Wheelock (Chair) Wendy Kay	
STAFF LIAISON:	Trevor Parkes, Senior Planner	
COUNCIL LIAISON:	Councillor Olga Liberchuk	
SECRETARY:	Pearl Barnard	

I. CALL TO ORDER

The Chair called the meeting to order at 3:02 p.m.

II. LATE ITEMS

No new items.

III. ADOPTION OF AGENDA

Moved by Jill Singleton and seconded by Bev Windjack that the agenda be adopted as distributed. **The Motion Carried Unanimously.**

IV. ADOPTION OF MINUTES – September 13, 2017

Moved by Graeme Verhulst, seconded by Robert Schindelka that the minutes of September 13, 2017 be adopted as distributed. **The Motion Carried Unanimously**

Bev Windjack, Principal, LADR Landscape Architects recused herself due to conflict of interest.

V. STAFF REPORT

**OFFICIAL COMMUNITY PLAN AMENDMENT and REZONING APPLICATION
1052 Tillicum Road
[Lot C Section 10 Esquimalt District Plan VIP11683]**

Trevor Parkes, Senior Planner outlined that the applicant is requesting a change in Official Community Plan Land Use Designation and Zoning from the current OCP designation Single and Two Unit Residential to Townhouse Residential and a change in zoning from the current RD-1 [Two Family Residential] zone to a Comprehensive Development zone [CD]. Mr. Parkes explained that these changes are required to accommodate the proposed five strata townhouse residences to be constructed in two buildings on the subject property.

David Yamamoto, Zebra Design and Megan Walker, LADR Landscape Architects presented the application.

David Yamamoto gave a PowerPoint presentation detailing the site plan and an overview of the setbacks, building heights, streetscape and landscaping features for the project. Mr.

Yamamoto explained that their primary inspiration for this proposal derived from the ten unit townhouse project immediately to the north (1060 Tillicum Road) which was rezoned in 2014 from RD3 [Single and Two Family Residential] to the CD-89 zone. He believes the proposed design integrates well with the adjacent townhouse project and has similar height, massing and enhanced landscaping features. The proposal will provide affordable housing for a range of tenure, in a location that provides amenities for all. The garbage and recycling for the townhouse units will be provided by a private waste collection company.

Mr. Yamamoto then responded to the Staff Report adding that bicycle storage could be accommodated in the garages and a visitor's bike lock up would be considered. A coloured concrete designated pedestrian walkway could be added within the maneuvering aisle.

Megan Walker gave an overview of the Landscape Plan for the project. Ms. Walker outlined that the overall concept of the project is to provide attractive livable outdoor space for the units and an appealing streetscape experience from Tillicum Road, while responding sensitively to the neighbouring lots. To provide some consistency to the design language and the overall gateway to Esquimalt feel, the design elements will continue from the neighbouring development to the north. Sustainable landscape elements are included throughout the project, drought tolerant planting, permeable pavers in the central drive aisle and swales for storm water treatment in some of the other parking stalls.

The chair thanked the applicants for the presentation.

Committee Members comments and questions:

- Will the rock wall have the same metal fence character that the property to the north has? Ms. Walker advised that it has been identified on the lower wall.
- Concerns were expressed with the location of the garbage service, a vulnerable location where vehicles turn. Can it be relocated? A member then asked how the garbage pickup would be dealt with in the future. How will it be funded? Mr. Yamamoto advised that he believes it will be part of the purchase agreement for each individual townhouse unit.
- Concerns were raised about the width of the maneuvering aisle. Mr. Yamamoto advised that the drive aisle is to municipal standards. A member then commented that you are technically meeting the standards but because it is a 14% grade, that adds extra stress to the type of movement at the top; that is where the turning radius gets compromised for many types of vehicles. Mr. Yamamoto advised that units 3 & 4 could be shifted back another foot or so which would give a larger margin for maneuverability within that drive aisle.
- Concerns were raised with the grade of the ramp in relation to the walls and landscaping proposed. Issues identified included visibility, sightlines and the ingress and egress to the site.
- The paving for the maneuvering aisle goes almost right up to the doors and there isn't any useable space that is very generous and green. Consider increasing the usable space in front of the individual dwelling units.
- Where is the pedestrian route in the drive aisle? Mr. Yamamoto advised that it is to be determined. A member then commented that the 14% slope is not the usually grade for a pathway and it is not wheelchair or stroller friendly. Pedestrian movement throughout the project needs to be addressed. Coloured concrete is not effective enough when it is wet; the project to the north had used a brick type surface in the ground. Mr. Yamamoto advised that they could do that.
- Members had no concerns with the height proposed as having this gateway type of effect on Tillicum Road, as you enter Esquimalt is desirable. Taller buildings are appropriate in this context.

- Members had concerns with the massing of the buildings. The buildings take up a large portion of the frontage. Members questioned if there is too much project for the site?
- Concerns were expressed with the setbacks requested. If the setbacks are decreased to that level there must be some sort of screening to provide unit to unit privacy.
- A member asked staff what the FAR was on the project to the north. Mr. Parkes advised that he believes it was .69 and this proposal is .74. Mr. Yamamoto added that it is his understanding that staff are currently considering the removal of stairwells and stairs from the FAR calculation. Mr. Parkes advised that staff are currently putting together a package of Interim amendments to the zoning bylaw that may include the removal of stairwells and stairs from the calculation of FAR however Council would have to approve that change which is a discretionary decision.

RECOMMENDATION:

Moved by Jill Singleton, seconded by Ally Dewji: That the Esquimalt Design Review Committee [DRC] recommends that the application for OCP amendment and rezoning to authorize development of 1052 Tillicum Road as five Townhouse Residential units contained in two detached buildings, incorporating siting, height and massing consistent with the architectural plans provided by Zebra Design stamped "Received September 18, 2017" **be amended and presented again to the Design Review Committee with a focus on addressing the following:**

1. Consider refining the massing of the buildings (a 3D model or renderings would be helpful);
2. Consider an increase to the width of the maneuvering aisle;
3. Reconsider the setbacks as they relate to privacy of adjacent units and uses;
4. Reconsider location of garbage services as it relates to the maneuvering of vehicles;
5. The relationship of the grade of the ramp with the walls and landscaping proposed;
6. The pedestrian movement throughout the project; and
7. Consider adding space in front of the individual dwelling units.

The Motion Carried Unanimously The reason: The proposal as presented raises a number of concerns as identified in the motion.

VI. STAFF LIASON STATUS REPORT

- 460 Head Street (West Bay Quay) - The Development Permit Application was reviewed by the DRC members at the September 17th meeting and is pending the adoption of the rezoning. The rezoning application is at 3rd reading pending the registration of a Section 219 covenant.
- 1235 Esquimalt Road (Esquimalt Town Square) – Project is moving forward. Staff are currently negotiating the transfer of the property.
- 429 Lampson Street (English Inn) – The Heritage Alteration Permit was approved and they are proceeding with improvements to the existing heritage building on the site.
- 618 Lampson: (12 Unit Townhouse Project) – is well under construction. Anticipate sales in the spring of 2018.
- 615 Fernhill Road (RZN to allow a 10 Unit Multiple Family Residential Building) - APC recommended approval to Council on June 20, 2017. Staff are developing the Amendment Bylaw for presentation to Council this fall.
- 899 Esquimalt Road (12 Storey Building) – Application is still being reviewed by Staff with submission of revised drawings expected soon.
- Constance Avenue (Corvette Landing, 84 unit, 12 Storey Development) application will be presented to the Design Review Committee at the November 8th meeting.
- Staff are working on the Official Community Plan and updates to polices within the OCP. To be presented to Council by the end of the year.

- Staff are also working on some Interim amendments to the Zoning Bylaw.

VII. NEW BUSINESS

VIII. NEXT REGULAR MEETING

Wednesday, November 8, 2017

IX. ADJOURNMENT

On motion the meeting adjourned at 4:25 p.m.

CERTIFIED CORRECT

CHAIR, DESIGN REVIEW COMMITTEE
THIS 8th DAY OF NOVEMBER 2017

ANJA NURVO,
CORPORATE OFFICER

DRAFT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: November 8, 2017

STAFF REPORT

DATE: November 2, 2017

TO: Chair and Members of the Design Review Committee

FROM: Trevor Parkes, Senior Planner
Bill Brown, Director of Development Services

SUBJECT: **OFFICIAL COMMUNITY PLAN AMENDMENT and REZONING APPLICATION**
1052 Tillicum Road
[Lot C, Section 10, Esquimalt District, Plan 11683]

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends that the application for OCP amendment and rezoning to authorize development of 1052 Tillicum Road as five Townhouse Residential units contained in two detached buildings, incorporating siting, height and massing consistent with the architectural plans provided by Zebra Design stamped "Received October 31, 2017" be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application:

The applicant is requesting a change in Official Community Plan Land Use Designation and Zoning from the current OCP designation Single and Two Unit Residential to Townhouse Residential and a change in zoning from the current RD-1 [Two Family Residential] zone to a Comprehensive Development zone [CD]. These changes are required to accommodate the proposed five strata townhouse residences to be constructed in two buildings on the subject property.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

Specific form and character issues relating to the aesthetics of the building, such as cladding materials, window materials, doorways, streetscape improvements and landscaping will be evaluated in a separate application for Development Permit should this OCP amendment and rezoning application be approved by Council.

Context**Applicant:** Zebra Design [David Yamamoto]**Owner:** Harbans Johl**Property Size:** Metric: 980 m² Imperial: 10,548 ft²**Existing Land Use:** Two Family Residence**Surrounding Land Uses:**

North: 10 Townhouses/ Esquimalt Gorge Park

South: Two Family Residential

West: Single Family Residential

East: Single Family Residential/ Commercial [Gorge Point Pub]

Existing OCP Designation: Single and Two Unit Residential**Proposed OCP Designation:** Townhouse Residential**Existing Zoning:** RD-1 [Two Family Residential]**Proposed Zoning:** CD [Comprehensive Development District]**Comments From Other Departments**

The plans for this proposal were circulated to other departments and the following comments were received by the APC submission deadline:

Building Inspection: Design shall be BC Building Code and municipal bylaw compliant. Should application be approved plans will be reviewed for compliance with BC Building Code upon submission of a Building Permit.

Engineering Services: Engineering staff have completed a preliminary evaluation of Works and Services that would be required for the five townhomes proposed to be located at 1052 Tillicum Road. Staff confirms that the design appears achievable on the site and that appropriate works and services are available in the immediate area. If approved the development must be serviced in accordance with bylaw requirements including, but not limited to new sewer and drain connections and underground hydro, telephone and cable services. New gutter, curb and sidewalk along the Tillicum Road frontage may also be required. Should the application be approved, additional comments will be provided when detailed civil engineering drawings are submitted as part of a Building Permit application.

Comments from Design Review Committee:

This application was originally considered at the regular meeting of DRC held on October 11, 2017. Members' comments were generally supportive of this proposal with members stating that taller buildings with higher density are appropriate in the context of this gateway portion of Tillicum Road. Members raised concerns regarding the grading of the site as it related to pedestrian access, vehicular maneuvering and the relationship between the private and public realm. Additional comments were provided regarding the need for privacy between units within

the project, the vulnerable location of the garbage facility to vehicle damage, the need for clear sightlines from the drive aisle to the sidewalk and the questionable functionality of the steep access ramp.

The DRC recommended to Council that the application **be amended and presented again to the Design Review Committee with a focus on addressing the following:**

1. Consider refining the massing of the buildings (a 3D model or renderings would be helpful);
2. Consider an increase to the width of the maneuvering aisle;
3. Reconsider the setbacks as they relate to privacy of adjacent units and uses;
4. Reconsider location of garbage services as it relates to the maneuvering of vehicles;
5. The relationship of the grade of the ramp with the walls and landscaping proposed;
6. The pedestrian movement throughout the project; and
7. Consider adding space in front of the individual dwelling units.

The reason: The proposal as presented raises a number of concerns as identified in the motion.

Comments from Advisory Planning Commission:

This application was considered at the regular meeting of APC held on October 17, 2017. Members received the concept of townhouses at this site favourably, however, concerns were raised regarding the massing of the project, pedestrian access to the site, and the request for density marginally higher than the maximum base density identified in the Official Community Plan. The APC forwarded the application to Council with a **recommendation for approval with the condition that the Floor Area Ratio be reduced to .70 or less.**

The reason: Townhouse residential is a desirable building form to add density to the community.

Applicant Response to DRC and APC:

In response to the recommendations from both the DRC and APC the applicant's design team revised the project plans in an effort to address the identified concerns. An amended set of architectural and landscape plans, stamped "Received October 31, 2017", has been presented to staff with the applicant requesting the amendments be forwarded to the DRC for re-consideration. Specific changes identified by the applicant include the following:

- Both Building A and Building B and their respective base elevations have been lowered by .5m, thus reducing perceived building mass.
- The drive aisle between the two buildings has been increased in width from 7.3m to 7.6m.
- Reduction of the site elevation by .5m results in additional privacy afforded to the rear property. *Staff note that 1.8m fencing is proposed to separate the individual unit yards at grade and a requirement for the use of privacy [translucent or opaque] glass can be resolved when a Development Permit is sought should this rezoning application be approved.*
- Waste bins have been relocated to north side of the access ramp within enclosures crafted of horizontal slatted wood.
- The access ramp has been reduced to 11% from a 14% gradient and the retaining wall on the south side of the ramp has been set back from the ramp and includes a shallower curvature.

- The setback area abutting the south side of the access ramp is now employed for additional planting and landscaping.
- A designated pedestrian path of differentiated pavers has been introduced within the 6.0m access drive, located on the south side of the access ramp.
- The wall at the sidewalk has been reduced to 2' high, and the surmounting fence eliminated to create a friendlier edge and to improve sightlines from the driveway.
Staff note the west retaining wall has also been relocated to the back of sidewalk thereby eliminating a potential maintenance issue and clearly defining the edge of the public realm.
- A common gate at the sidewalk has been introduced along with stairs which split to feed the private patios of each unit of Building A.
- Access paths adjacent to both sides of Building B leading to the backyards of Unit 3 and Unit 5 have been introduced.
- The drive aisle width has been increased by 1' and Unit 3 and Unit 4 have been moved back by 1'8" and 1'6" respectively, thus increasing entry depth. In addition, each entry has been defined by paving colour and pattern.
- Floor Area Ratio for the project has been reduced from 0.74 to 0.70 by enlarging garage areas.
- Bicycle storage has been created within the enlarged garages for not less than two bikes per unit.
- Single bicycle lock-ups added to three of the units at the entries, and two lock-ups were added abutting the waste centre adjacent to the drive aisle.

ISSUES:

Zoning

Density, Lot Coverage, Siting and Setbacks: The following chart compares the setbacks, lot coverage, floor area ratio and parking of this proposal with the requirements of the RM-3 [Multiple Family Residential Zone]:

	RM-3 (Multiple Family Townhouse)	Proposed CD Zone (5 Townhouse Units)
Minimum Unit Size	75 m ²	130 m ²
Floor Area Ratio	0.60	0.70
Lot Coverage	25%	34%
Setbacks		
• Front	7.5 m	5.2 m
• Rear	7.5 m	5.0 m
• Side	4.5 m/ 4.5 m	2.6/ 2.5 m
Building Height	9.0 m	9.2m
Off Street Parking	10 spaces	8 spaces

Floor Area Ratio: FAR measures buildable space in ratio to the size of the lot on which a building sits. The combined F.A.R of this proposal has been reduced to 0.70 which is greater than the 0.60 maximum allowable in the RM-3 zone but is consistent with the maximum FAR of 0.70 identified within the OCP that is achievable without the requirement for provision of amenities.

Lot Coverage: The combined Lot Coverage is 34% which is substantially greater than the 25% maximum permitted in the RM-3 [Multiple Family Residential] zone.

Height: High density Townhouse Developments in Esquimalt are limited to a height of 9.0 metres measured to the mid-height of the roof from average grade. The applicant proposes two buildings of different height, the tallest of which measures 9.2 metres, marginally higher than the established standard.

Setbacks: This proposal requires a reduction to the front setback requirements of the RM-3 zone from 7.5m to 5.2m to the front decks located on the second storey and 6.8m to the front face of the principal building. The north interior side setback is reduced from 4.5m to 2.6m to the overhang of the principal building while the south interior side setback is reduced from 4.5m to 2.5m to the overhang of the principal building. In addition, the rear setback is reduced from 7.5m to 5.0m to the second storey deck and 6.4m to the foundation of the building.

Parking: Parking Bylaw, 1992, No. 2011 requires 2 parking spaces per unit be provided “behind the front face of the principal building” for Townhouse developments. This proposal incorporates a single car garage in each unit and an additional 3 visitor parking spaces thereby failing to satisfy this standard. Notwithstanding this inconsistency with the current Parking Bylaw requirement, staff are of the opinion that the provision of 3 visitor spaces is sufficient for a five unit development. Staff have recommended to the applicant that these units be secured as Visitor spaces thereby ensuring they cannot be dedicated to any one unit for exclusive use.

Official Community Plan

This proposal is not consistent with the current Land Use Designation applied to the subject property, “Single and Two Unit Residential”. The proposal for five, grade accessible, townhome units requires the OCP Land Use Designation be amended to “Townhouse Residential”. OCP Section 2 – Managed Growth – Land Use and Development Objectives and Policies apply when considering this application.

Section 2.0.2 (c) – states the Township may consider flexibility in the land use designations along the land use boundaries on Schedule “A” provided the policies underlying the designation are maintained.

Section 2.2 - Residential Land Use of the Official Community Plan recognizes that modest growth is likely to occur through the infilling of vacant or under-utilized parcels, redevelopment of existing residential properties to higher densities (such as townhouses, apartment buildings and mixed commercial-residential uses) and the replacement of existing buildings. Objectives and policies contained in Section 2.2 are intended to ensure that this growth occurs in a manner that maintains and enhances individual neighbourhoods and the community as a whole.

Section 2.2.1(a) states the Township should work toward a more complete community by maintaining a healthy mixture of housing types, accommodating people with a wide range of income levels.

Section 2.2.1(b) states the Township should encourage new residential development with high design standards for building and landscaping and which enhance existing and new neighbourhoods.

Section 2.2.4.1 Multi-Unit Residential Policies are intended to provide more predictability for residents and give direction to design teams preparing development proposals. This proposal for five townhomes is substantially consistent with the policies contained in this section with the following exceptions:

Section 2.2.4.1 (b) states that the Township encourages the concentration of multi-unit residential development where such development is in keeping with the overall goals of this Plan.

Section 2.2.4.1(c) states that the Township encourages multi-unit residential development near a Major Road as shown on 'Schedule B' of the Official Community Plan. The subject properties are located within 100 metres of Esquimalt Road and Lampson Street both of which are considered Major Roads.

Section 2.2.4.1(e) states that a mix of housing types will be provided in multi-unit residential areas in order to provide visual interest and to meet the varying housing needs of Esquimalt's current and future residents.

Section 2.2.4.1(f) states "wherever desirable and achievable, consideration will be given for special needs and assisted housing, including seniors, disabled persons and families". The proposed units are going to be marketed to young families and it is not expected that the units will incorporate accessible nor adaptable features.

Section 2.2.4.1(g) Within the areas designated as Townhouse Residential, Multi-Unit, Low-Rise Residential and Multi-Unit, High-Rise Residential, the following criteria will be used to evaluate development proposals requiring an application for rezoning:

- The massing and height of the project will respond sensitively to the prevailing character of the immediate neighbourhood. This will vary by location;
- The project will relate to the street. Its exterior finishes, scale, treatment of parking areas, and landscaping, will enhance the appearance of the neighbourhood and contribute positively to the streetscape;
- The proponent will demonstrate that the neighbourhood has been consulted in a fair and meaningful way, and that residents' concerns have been appropriately responded to in the proposal; and
- Where new multi-unit residential projects are proposed, they should not "land-lock", otherwise isolate, or negatively affect the development potential of adjacent parcels. Projects must either consolidate the isolated parcels or leave a sufficient area available to allow for the eventual redevelopment of the adjacent land.

Section 2.2.4.1(j) states bicycle lockups should be provided in a ratio of 1.5 per unit and not less than 6 lockups should be provided for the use of visitors. The applicant has amended plans to accommodate two bicycle lock-ups in each garage while also accommodating a total of 5 independent lock-ups for use of visitors. Staff are of the opinion this approach to providing bicycle facilities is consistent with the direction of the OCP.

Section 2.2.4.2 Townhouse Residential states that in the Townhouse Residential areas designated on "Schedule A" of the O.C.P, new buildings up to three storeys with a Floor Area of up to 0.70 may be acceptable provided the neighbours are consulted and the design responds effectively to its site and surrounding land uses.

Section 3.3.1(a) Affordable Housing Objectives states that the Township should encourage a range of housing by type, tenure, and price to ensure that people of all ages, household types, abilities and incomes have a diversity of housing choice in Esquimalt.

Section 9.3 Development Permit Area No. 1 - Multi-Unit Residential contains Development Permit Guidelines for land designated Multi-Unit Residential. As the Development Permit is not being considered at this time it would be inappropriate to address these guidelines at this time.

Green Building Features

The applicant has completed a list of Green Features that will be considered for inclusion on the design in lieu of completing the Esquimalt Green Building Checklist [attached].

Public Notification

As this is an Official Community Plan Amendment and Rezoning application, should it proceed to a Public Hearing, notice would be mailed to tenants and owners of properties within 100m (328 ft) of the subject property. In order to satisfy the requirements of the *Local Government Act* staff are also required to provide additional notice to relevant government and institutional stakeholders within the Capital Region. A sign indicating that the property is under consideration for a change in OCP Land Use Designation and Zoning has been installed on the Tillicum Road frontage.

ALTERNATIVES:

1. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**

Gosper Cres



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Tillicum Rd

1048

1047₉₂₆

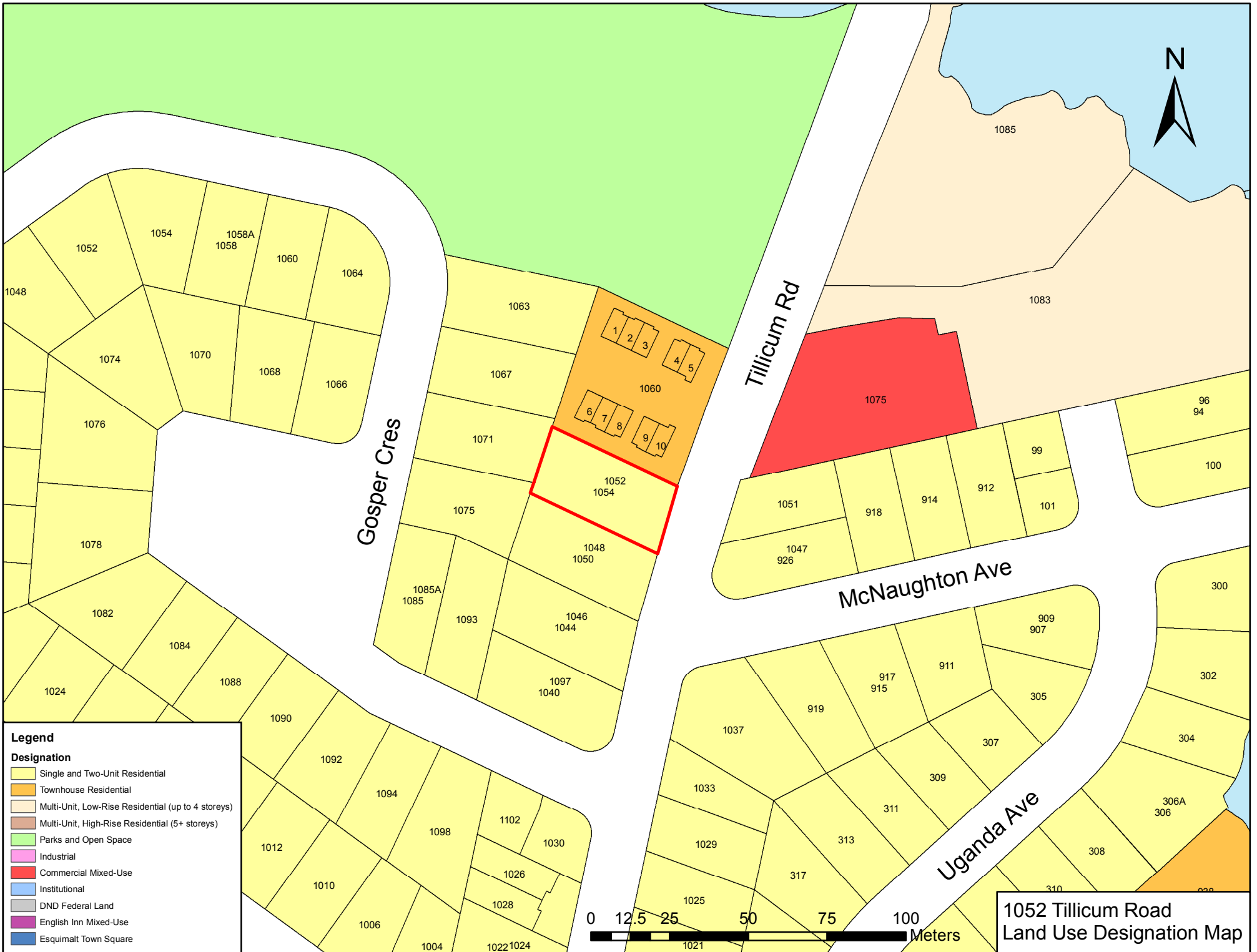
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1044

McNaughton Ave

Subject Property Map
1052 Tillicum Road



43. MULTIPLE FAMILY RESIDENTIAL [RM-3]

The intent of this Zone is to accommodate high density Townhouse or low density Apartment development.

(1) Permitted Uses

The following Uses and no others shall be permitted:

- (a) Townhouse Residential
- (b) Apartment Residential
- (c) Home Occupation

(2) Floor Area Ratio

The Floor Area Ratio shall not exceed 0.60.

(3) Building Height

- (a) No Principal Building shall exceed a Height of 9 metres.
- (b) No Accessory Building shall exceed a Height of 4 metres.

(4) Lot Coverage

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 25% of the Area of a Parcel.
- (b) All Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.

(5) Siting Requirements

(a) Principal Building

- (i) Front Setback: No Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) Side Setback: No Building shall be located within 4.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Building shall be located within 7.5 metres of a Rear Lot Line.

(b) Accessory Building

- (i) Front Setback: No Accessory Building shall be located in front of the front face of the Principal Building.

- (ii) Side Setback: No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Accessory Building shall be located within 1.5 metres of a Rear Lot Line.
- (iv) Building Separation: No Accessory Building shall be located within 2.5 metres of a Principal Building.

(6) **Usable Open Space**

Usable Open Space shall be provided in an amount of not less than 7.5% of the Area of the Parcel.

(7) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 1.2 metres in front of the front face of the Principal Building and 2 metres behind the front face of the Principal Building.

(8) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw, 1992, No. 2011 (as amended).



September 18, 2017

The Corporation of the Township of Esquimalt
Municipal Hall - 1229 Esquimalt Road
Victoria, B.C. V9A 3P1

**Re: 1052 and 1054 Tillicum Road,
OCP Amendment and Rezoning for new duplex and triplex**

Attn: Planning Department and Development Services, Esquimalt

The proposed residential duplex and triplex project for Sak and Harbans Johl at 1052 and 1054 Tillicum Road will strive to incorporate 'Green Initiatives' in an effort to increase energy efficiency, improve indoor air quality and reduce the impact of construction on our environment.

Green Building standards are a desirable objective for the homeowners, as are energy efficiency, water conservation and management measures, reduction of storm and sewer infiltration, protecting and enhancing landscaping, air quality optimization, reuse and recycling of materials and resources, and increasing sustainable transportation modes.

While all the relevant items on Esquimalt's Green Building Checklist will be evaluated and contemplated for adoption by the property owners, at this point in time, prior to hiring a builder and doing all related costing they are not able to know just to what extent their project will follow the checklist. However the following list contains (but does not limit) items the property owner is considering employing:

Operational Systems:

- All windows to be Energy Star labelled
- All appliances to be Energy Star labelled
- Home is built 'Solar Ready' providing for a rough-in of 3" (75mm) thermal run from mechanical room to attic
- Energy efficient light bulbs
- Use of air tight contact insulation on recessed lights to prevent air leakage
- Installation of high efficiency, direct vent, gas fuelled fireplaces with electronic ignition
- On demand hot water system

Building Materials:

- Use of finger-jointed non structural framing material
- Use of advanced sealing non HCFC expanding foam around window and door openings
- High performance building envelope materials

Interior and Exterior Finishes:

- Entry doors manufactured from natural materials (wood, metal and glass)
- Natural cementitious exterior siding
- Minimum 30 year manufacturer warranty of roofing material
- MDF casing and baseboard trim (reducing reliance on old growth forest products)
- Highest quality interior and exterior materials as can be budgeted, for durability

Indoor Air Quality:

- Installation of hardwired carbon monoxide detector
- All insulation in home to be third party certified with low formaldehyde
- Low formaldehyde subfloor sheathing, exterior sheathing, insulation, carpet underlayment and cabinetry (less than 0.18 ppm)
- All wood or laminate flooring to be factory finished
- Interior paints to have low VOC (Volatile Organic Compounds) content (less than 250 grams/ litre)

Ventilation:

- Programmable Energy Star thermostat
- Ventilation fans to meet or exceed Energy Star Requirements

Waste Management:

- Trees and natural features to be protected during construction
- Install into new duplex a built-in recycling centre with two or more bins
- Provide composter to both units
- Existing home to be deconstructed and recycled as much as possible

Water Conservation:

- CSA approved single flush toilet averaging 1.6 GPF (gallons per flush) or less installed in all bathroom locations
- Insulate hot water lines with pipe insulation on all hot water lines
- Install hot water recirculation line
- Install low flow faucets in kitchen, on lavatories and shower valves
- Plant drought tolerant vegetation
- Utilize swales and permeable paving for storm water management

Thank you for your consideration of our application.

Sincerely,



David Yamamoto
per Sak Johl; Harbans Johl (property owners)



September 18, 2017

Township of Esquimalt
1229 Esquimalt Rd.
Esquimalt BC,
V9A 3P1

Dear Mayor and Council of the Township of Esquimalt,

This proposal requests re-zoning of an existing two-family lot to multi-unit residential to permit a proposal for 5 townhouses in two buildings. Since the lot is situated in the Enhanced Design Control Residential zone, an amendment to the OCP is also requested.

We believe the project is highly suited to re-zoning and amendment (for inclusion in the multi unit residential DP area) for the following reasons:

1. The lot is situated to make use of existing infrastructure: a major traffic and cycling route and immediate access to Gorge Park is an ideal combination for townhouses. Shopping plazas of course are handily nearby.
2. There is an evolving scenario of high density use along Tillicum Rd., beginning with the apartment complex on the Gorge, and the recent 10 unit townhouse adjacent to this proposal, thereby "reflecting the size and scale of adjacent developments" (OCP 9.3.5.a)
3. The proposal is "designed and sited to minimize visual intrusion into the privacy of surrounding homes." (OCP 9.3.5.b). The townhouse design allows only 2 windows on each side of the two buildings to overlook the neighbouring yards. The northerly townhouses therefore have relatively private rear yards. In our westerly rear yard, the neighbours' rear yard is elevated a meter above our ground floor and a neighbours' mature hedge assures mutual privacy. (OCP 9.3.5.b)

....cont'd

4. The proposal is intensively landscaped, and seeks to work with the existing topography by being terraced and landscaped, especially at the street (supports 9.3.5.d). It also is integrated with the character of the northerly townhouse, continuing the low rock wall as the first of two tiers.
5. The garages are entirely screened from the street, the drive aisle being parallel to Tillicum, and behind the building facing the street. (supports OCP 9.3.5.e)
6. The design integrates well with the adjacent townhouse project, and employs similar massing as well as a similar, but amplified, landscaping scheme (terraces, etc.) due to the steeper grade on this site. At the same time, we have employed a dramatically contrasting colour and materials palette.

We believe that for these reasons, the project warrants serious consideration for amendment and re-zoning. We have worked closely and in consultation with Esquimalt planning staff and appreciate their assistance. Thank you for your kind consideration of this proposal and trust the above as sufficient for advancement.

Sincerely,

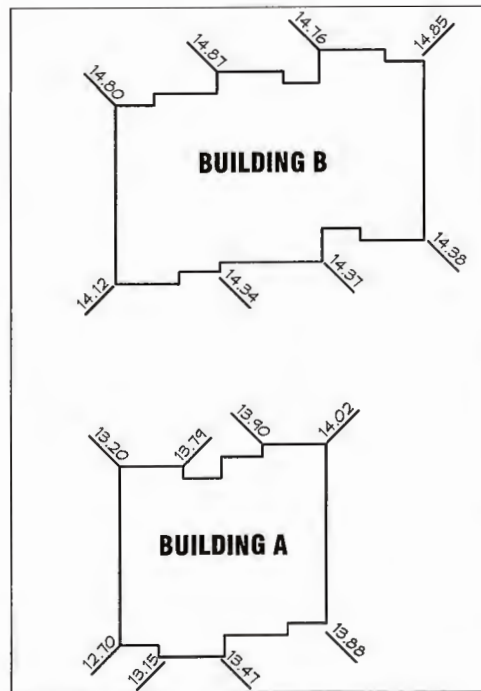
A handwritten signature in black ink, appearing to read 'Rus Collins', with a stylized, cursive script.

Rus Collins



1 CONTEXT PLAN
SK-1

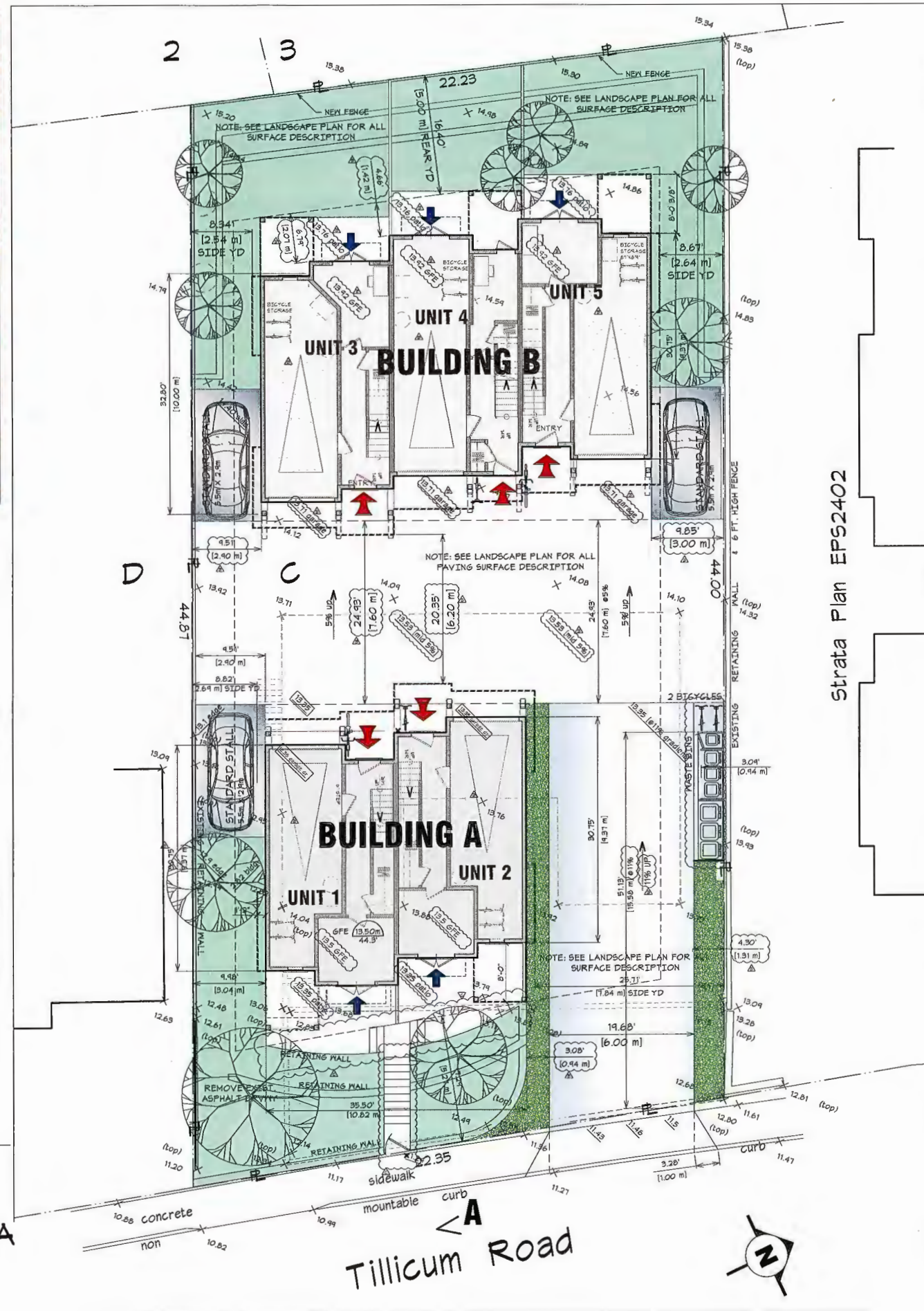
AVERAGE GRADE		
	BUILDING A	BUILDING B
CORNER POINTS	13.20 13.71 13.9 14.02 13.15 13.47 13.28	14.8 14.81 14.76 14.85 14.34 14.37 14.38
TOTAL	108.11	116.49
AVERAGE GRADE	108.11/8 = 13.51 m	116.49/8 = 14.56 m



2 ELEVATIONS FOR AVERAGE GRADE
SK-1 SCALE= NONE

SITE PLAN & PROJECT DATA
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C

SCALE = 1/8"=1'-0"



3 SITE PLAN
SK-1 SCALE= 1/8"=1'-0"

PROJECT DATA

LEGAL DESCRIPTION
LOT C, SECTION D,
ESQUIMALT DISTRICT, PLAN 11683

CURRENT ADDRESS
1052-1054 TILLICUM ROAD

ZONING
CURRENT ZONE: RD-1 (TWO-FAMILY)
PROPOSED ZONE: SITE SPECIFIC

SITE AREA
980 m² (10,548 SF)

NO. OF UNITS
5 (FIVE)

TOTAL COVERAGE =
3570.6/10548 = 33.85%

BLDG. A COV. 1441.0 SF
BLDG. B COV. 2129.6 SF
TOTAL COV. = 3570.6 SF

FLOOR AREA
BUILDING A
UPPER 1241.0 SF
MAIN 1241.2 SF
LOWER 500.1 SF
TOTAL 2982.3 SF

FLOOR AREA
BUILDING B
UPPER 1845.8 SF
MAIN 1851.6 SF
LOWER 698.3 SF
TOTAL 4395.7 SF

BUILDING HEIGHT

BUILDING A
AVERAGE GRADE = 13.51m
BUILDING HEIGHT = 9.14m [30.0']

BUILDING B
AVERAGE GRADE = 14.56m
BUILDING HEIGHT = 8.50m [27.9']

NET INTERIOR
FLOOR AREA BLDGS. 1 & 2 =
2982.3+4395.7 =
7378 SF
FAR = 7378/10,548 = 6.99

PARKING
COVERED 5 STALLS
VISITOR 3 STALLS STANDARD
TOTAL: 8 STALLS

SETBACKS BUILDING A		
SETBACK TYPE	COMPARE CD-89	PROPOSED
FRONT @ STREET	5.0 m 16.4'	5.27 m 17.29' MIN. @ NE BLDG. CORNER
REAR MIN. TO BLDG. B	N/A	6.20 m 20.35'
SIDE NORTH	3.0 m 9.8'	7.84 m 25.71' AT CANTILEVER
SIDE SOUTH	3.0 m 9.8'	2.69 m @ CANTILEVER 3.04m @ GROUND LVL

SETBACKS BUILDING B		
SETBACK TYPE	COMPARE CD-89	PROPOSED
FRONT TO BLDG A	5.0 m 16.4'	6.20 m 20.35'
REAR	N/A	5.00 m 16.40'
SIDE NORTH	3.0 m 9.8'	2.64 m [8.67'] @CANTILEVER 3.00m [9.85'] @GROUND LVL
SIDE SOUTH	3.0 m 9.8'	2.54 m [8.34'] @ CANTILEVER 2.90m [9.51'] @GROUND LVL

NOTE:
REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPING

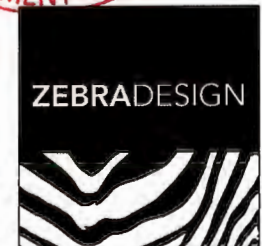
EGRESS

PRIMARY EGRESS ↑

SECONDARY EGRESS ↓

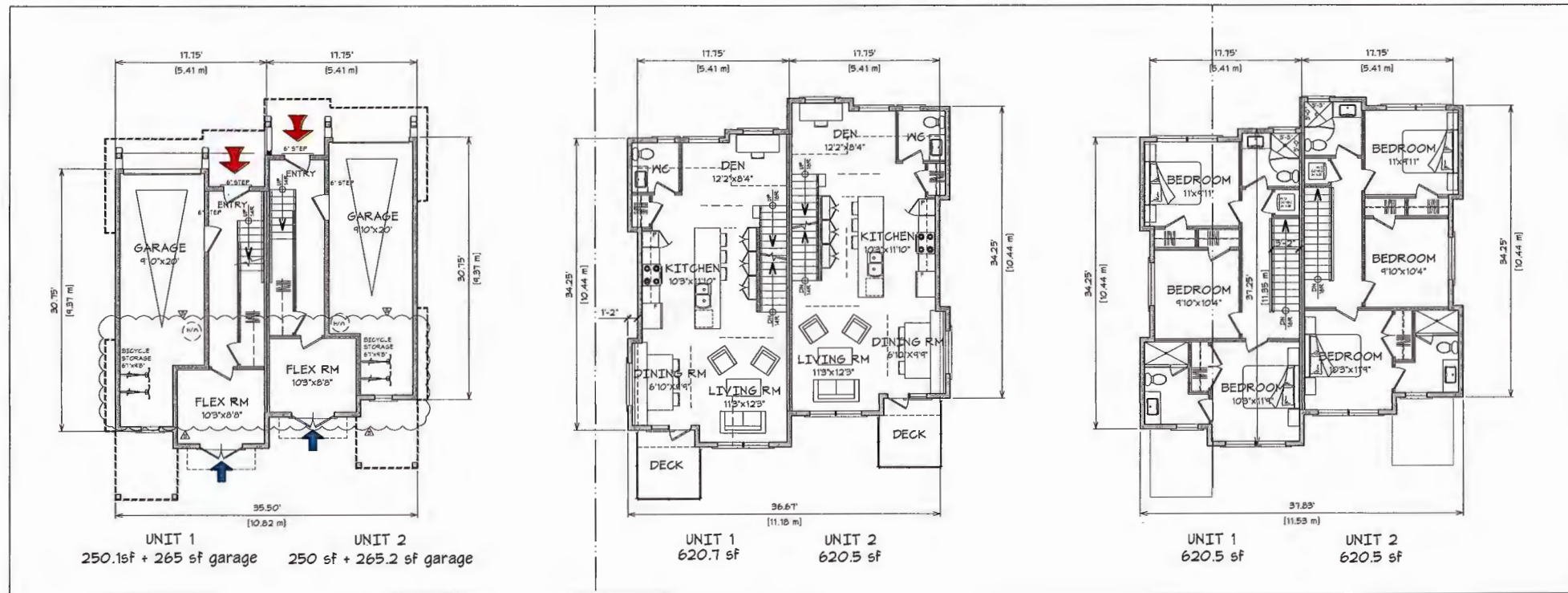


REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17
B	REVISIONS FOR DRG UNITS 2&4 MOVED NORTH 5th & 4th, BLDGS B&C LOWER BY 3in, ACCESS DRIVE TO 119, ACCESS DRIVE SHIFTED SOUTH, PASTE BINS RE-LOCATED, ACCESS STAIR FROM ST. TO UNITS 1&2, ADD 2 BICYCLE STANDS, AND BICYCLE LOCK-UPS	10.26.17
C	FRONT STAIR REVISED	10.27.17



SK-1

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	4.10.17
B	REVISIONS TO DRG UNITS 844 MOVED NORTH 5m & 48m, BLDGS BIG LOWER BY 5m	10.26.17

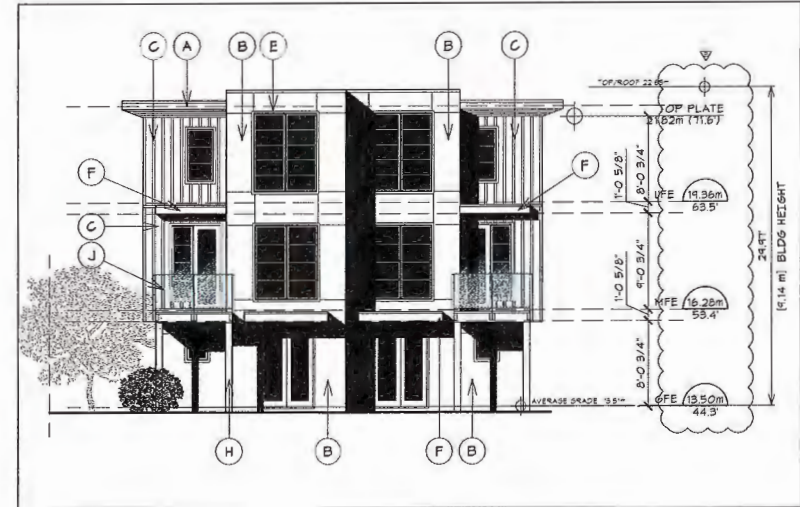
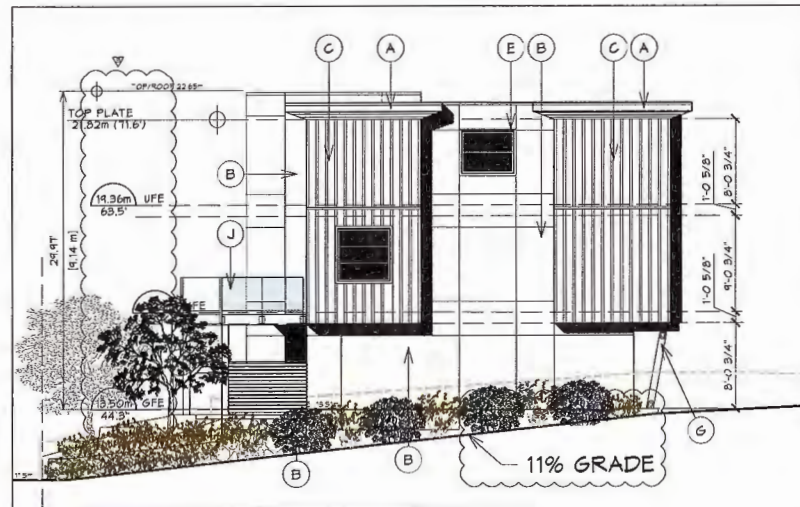
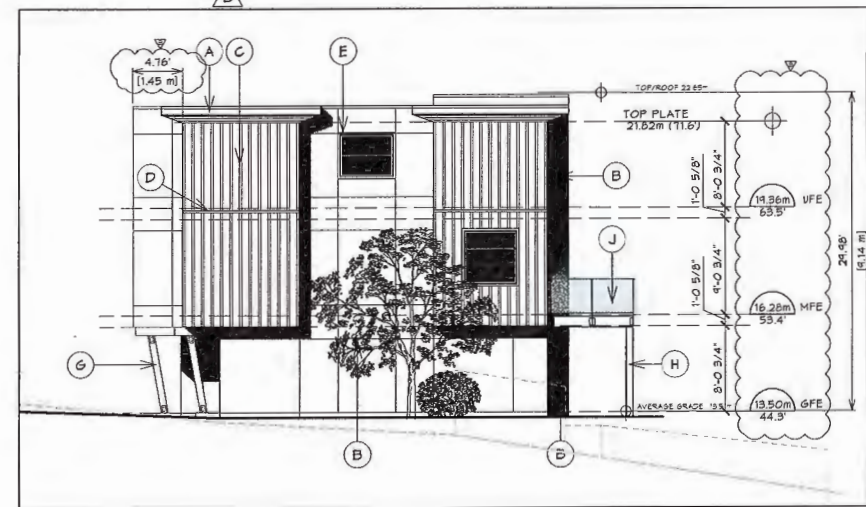


1 GROUND FLOOR PLAN
SK-2 SCALE = 1/8"=1'-0" 500.1 sf + garages

2 MAIN FLOOR PLAN
SK-2 SCALE = 1/8"=1'-0" 1241.2 sf

3 UPPER FLOOR PLAN
SK-2 SCALE = 1/8"=1'-0" 1241.0 sf

4 WEST ELEVATION
SK-2 SCALE = 1/8"=1'-0"



5 SOUTH ELEVATION
SK-2 SCALE = 1/8"=1'-0"

6 NORTH ELEVATION
SK-2 SCALE = 1/8"=1'-0"

7 EAST ELEVATION
SK-2 SCALE = 1/8"=1'-0"

FINISH SCHEDULE	
A	1x10 PROJECTING FASCIA AND CANTED CEDAR T&G SOFFIT
B	CEMENTITIOUS PANELS c/w REVEALS
C	BOARD & BATTEN
D	2x CANTED WATERLINE
E	2x3 WINDOW/DR TRIM, WINDOW WITH HORIZONTAL MUNTIN BARS
F	1x10 FASCIA ON PROJECTING CANOPY
G	8x8 TIMBER KNEE BRACE
H	8x8 TIMBER COLUMN
J	GLAZED BALCONY GUARDRAILS
K	GLASS & ALUMINUM GARAGE DOOR

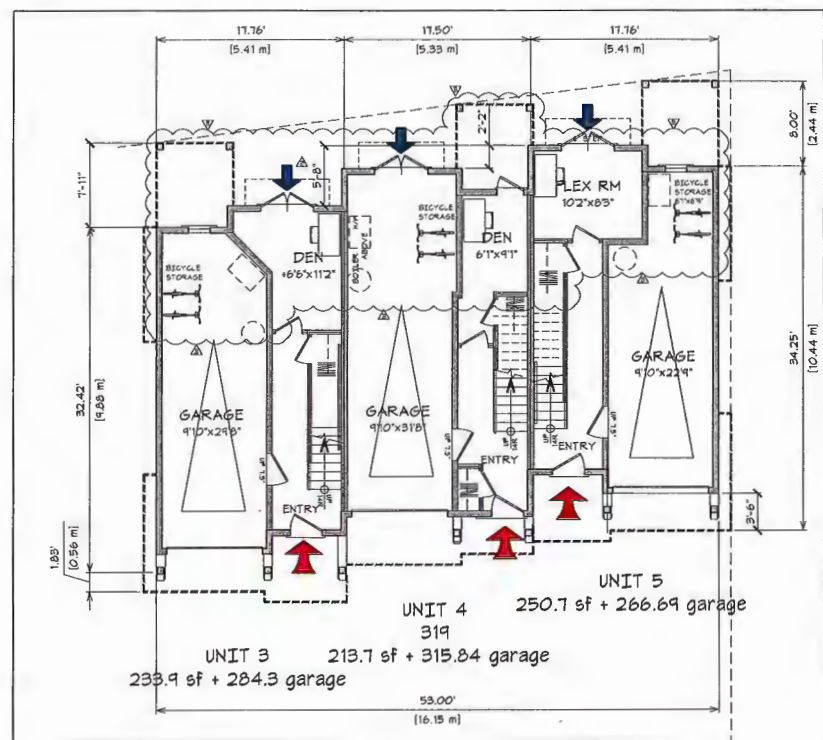


BUILDING A
PLANS AND ELEVATIONS
PROPOSED REZONING AT
1052-1054 TILlicUM RD.
ESQUIMALT B.C.

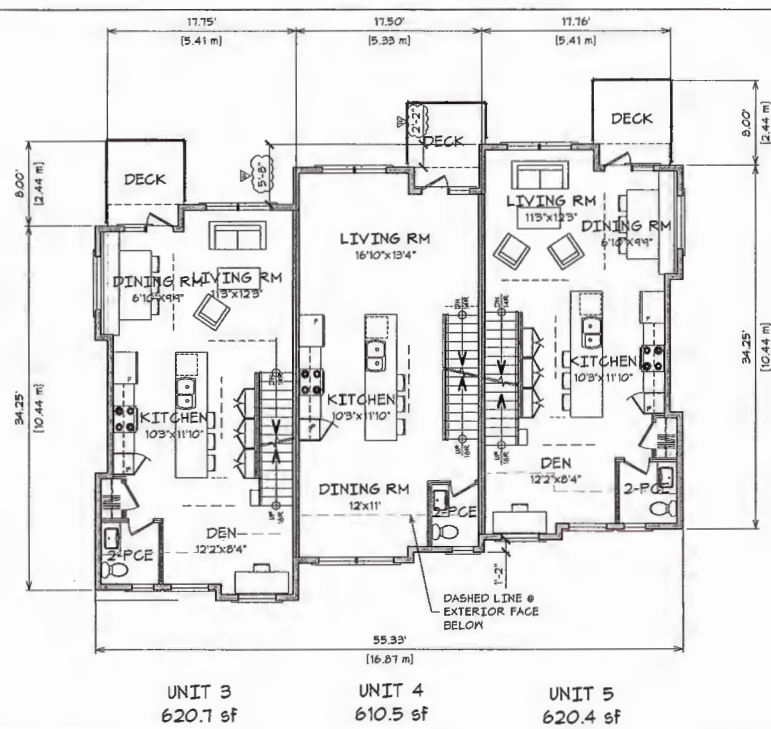
SCALE = 1/8"=1'-0"

SK-2

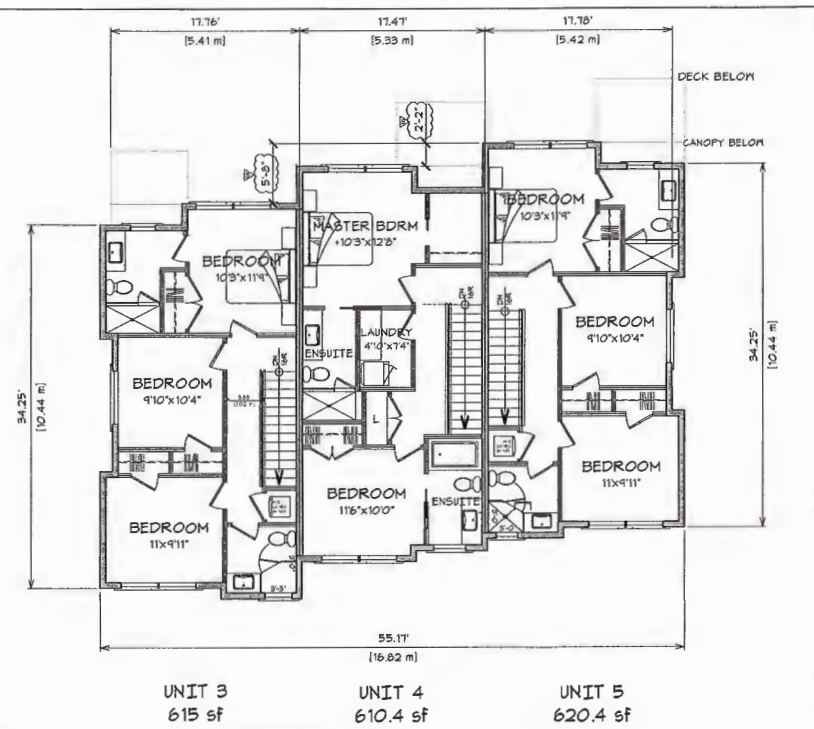




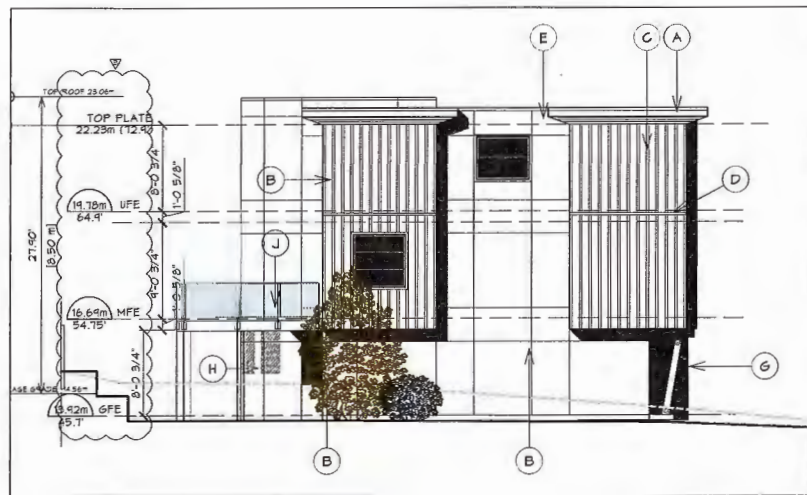
1 GROUND FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 698.3 sf + garages



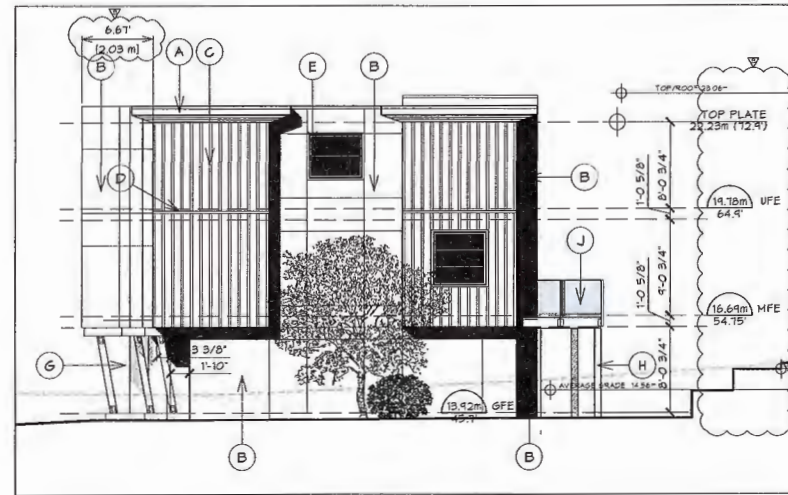
2 MAIN FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 1850.7 sf



3 UPPER FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 1850.4 sf



4 SOUTH ELEVATION
SK-3 SCALE= 1/8"=1'-0"



5 NORTH ELEVATION
SK-3 SCALE= 1/8"=1'-0"



6 EAST ELEVATION
SK-3 SCALE= 1/8"=1'-0"

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17
B	REVISIONS FOR DRG UNITS 3&4 MOVED NORTH 51m & 46m, BLDGS BEC LOWER BY 5m	10.26.17



7 WEST ELEVATION
SK-3 SCALE= 1/8"=1'-0"

**BUILDING B
PLANS AND ELEVATIONS
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C**

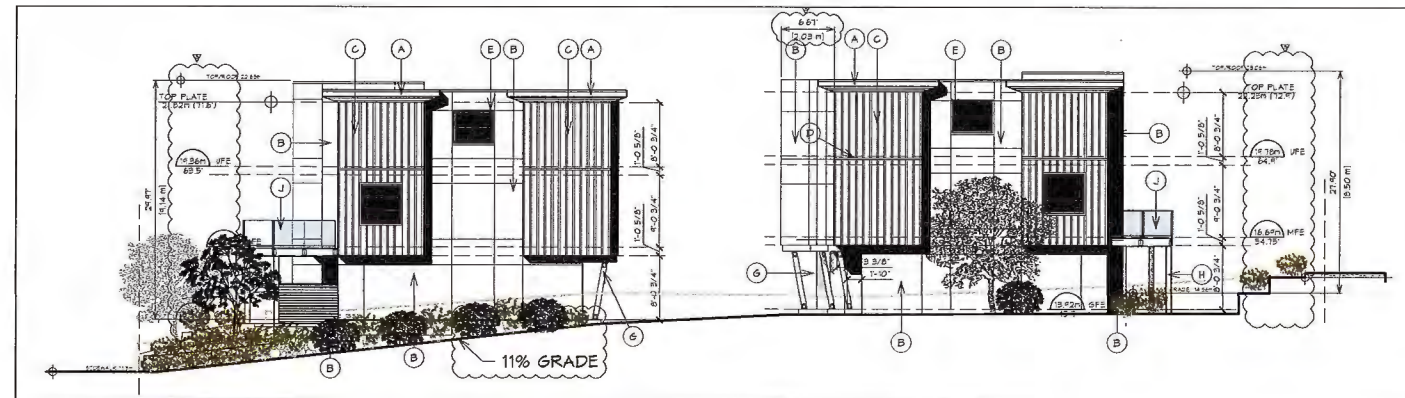
SCALE = 1/8"=1'-0"



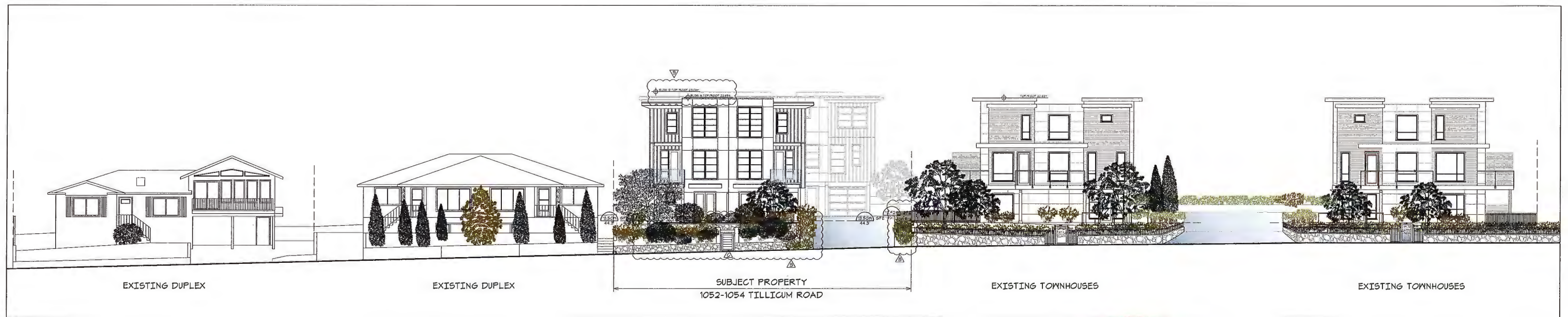
FINISH SCHEDULE	
A	1x10 PROJECTING FASCIA AND CANTED CEDAR T&G SOFFIT
B	CEMENTITIOUS PANELS c/w REVEALS
C	BOARD & BATTEN
D	2x CANTED WATERLINE
E	2x3 WINDOW/DR TRIM, WINDOW WITH HORIZONTAL MUNTIN BAR(S)
F	1x10 FASCIA ON PROJECTING CANOPY
G	8x8 TIMBER KNEE BRACE
H	8x8 TIMBER COLUMN
J	GLAZED BALCONY GUARDRAILS
K	GLASS & ALUMINUM GARAGE DOOR

SK-3





1 SECTION at ACCESS DRIVE
 SK-4 SCALE= 3/32"=1'-0"



2 STREETSCAPE at TILLICUM RD.
 SK-4 SCALE= 3/32"=1'-0"

STREETSCAPE & SITE SECTION
 PROPOSED REZONING AT
 1052-1054 TILLICUM RD.
 ESQUIMALT B.C

SCALE = 3/32"=1'-0"



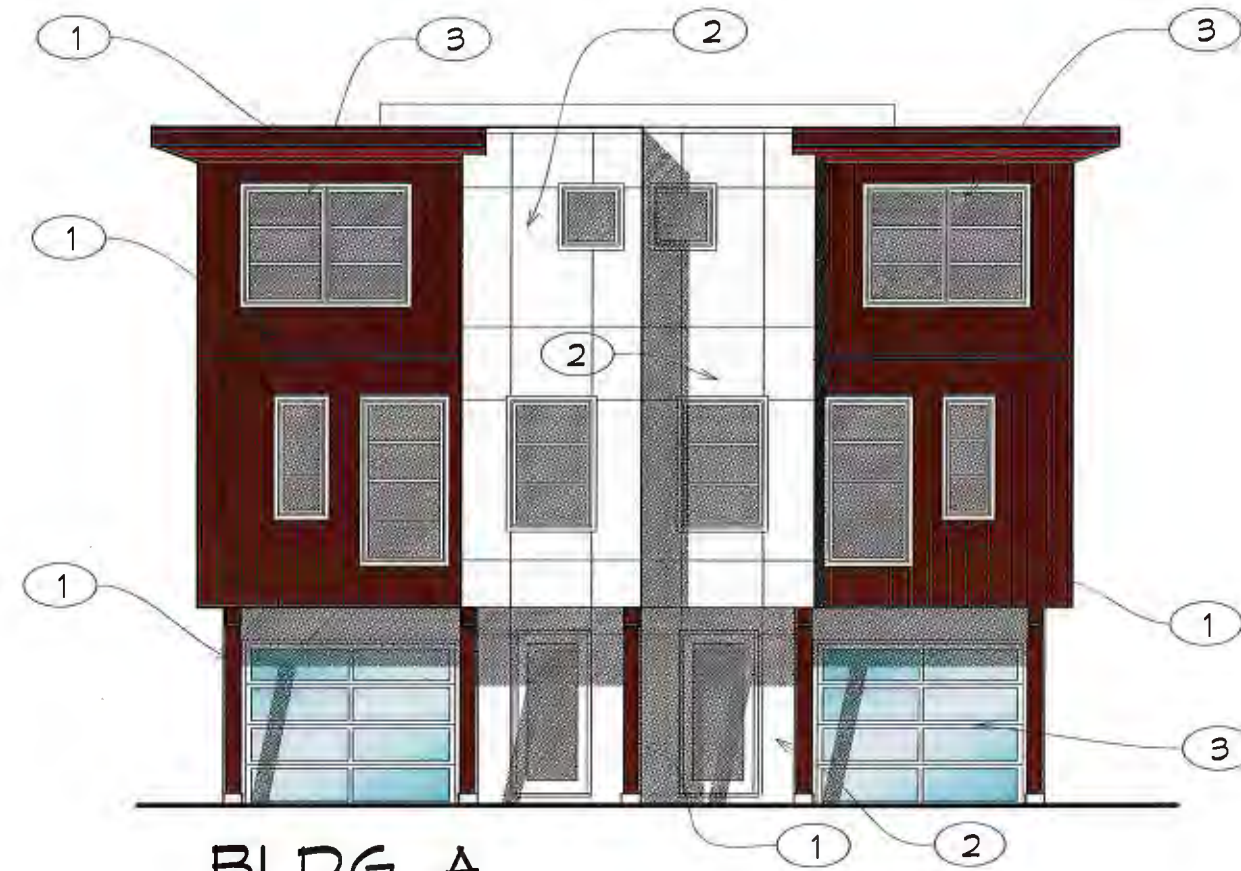
REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17
B	BUILDING & SITE ELEVATIONS, RETAINING WALL TIERS, DRIVEWAY RELOCATION, BIN RELOCATION, ADD PLANTING BED ALONG DRIVEWAY.	10.26.17
C	REVISE FRONT STAIR ORIENTATION	10.27.17

SK-4





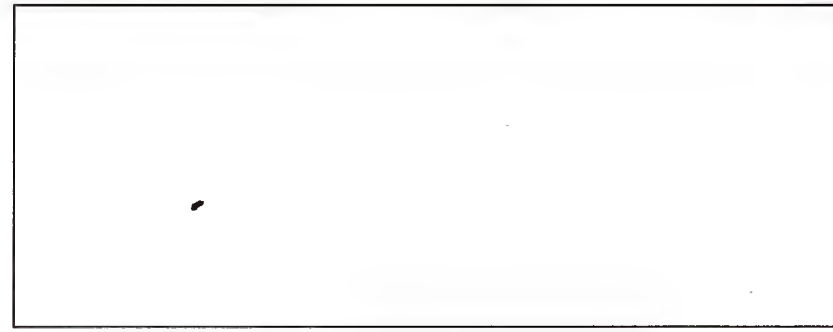
BLDG. A
EAST ELEVATION



BLDG. A
WEST ELEVATION



FINISH TYPE 1
FLOODPRO
SEMITRANSSPARENT
OIL FINISH
"NIGHT LITE"



FINISH TYPE 2
SHERWIN WILLIAMS
SW 7004
SNOWBOUND



FINISH TYPE 3
WESTECK
SILVER WINDOW FRAME
OBSCURE GLASS IN GARAGE DR

COLOUR SCHEME BUILDING A
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C

SCALE = 1/8"=1'-0"



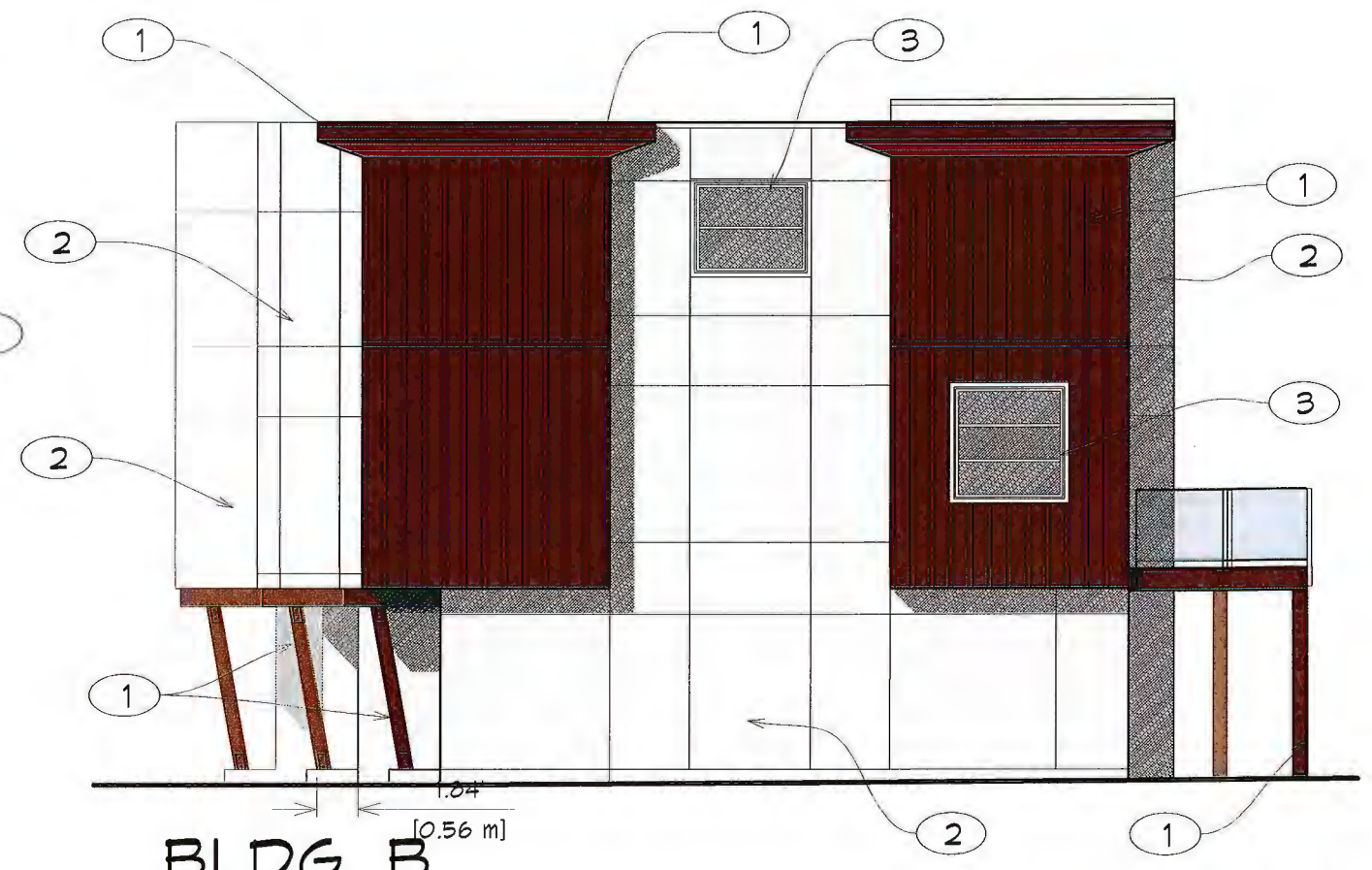
REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17

SK-5

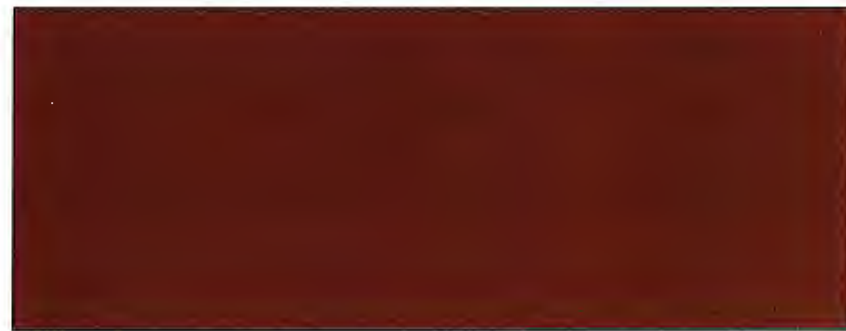




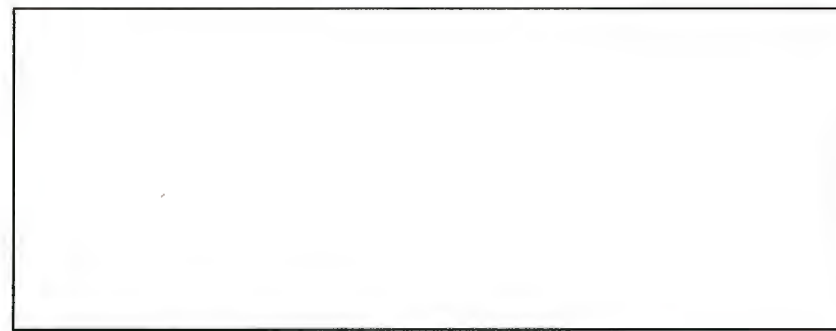
BLDG. B
EAST ELEVATION



BLDG. B
NORTH ELEVATION



FINISH TYPE 1
FLOODPRO
SEMITRANSSPARENT
OIL FINISH
"NIGHT LITE"



FINISH TYPE 2
SHERWIN WILLIAMS
SW 7004
SNOWBOUND



FINISH TYPE 3
WESTECK
SILVER WINDOW FRAME

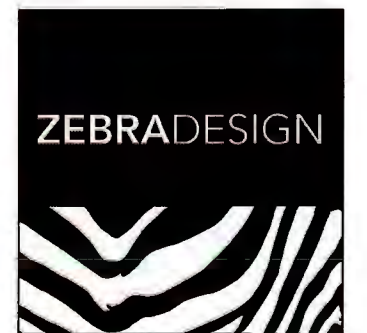
COLOUR SCHEME BUILDING B
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C.

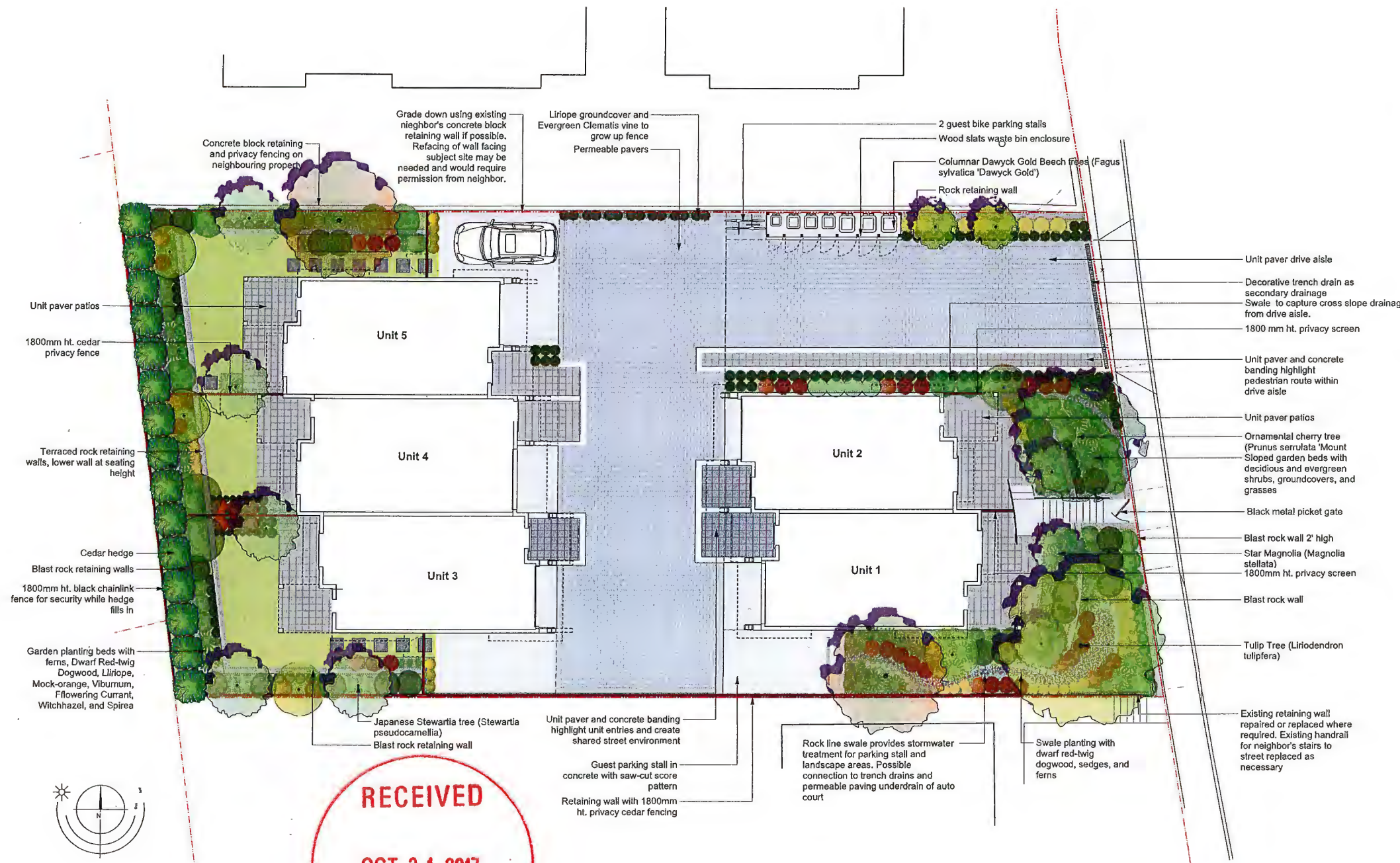


SCALE = 1/8"=1'-0"

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17

SK-6



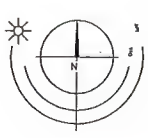
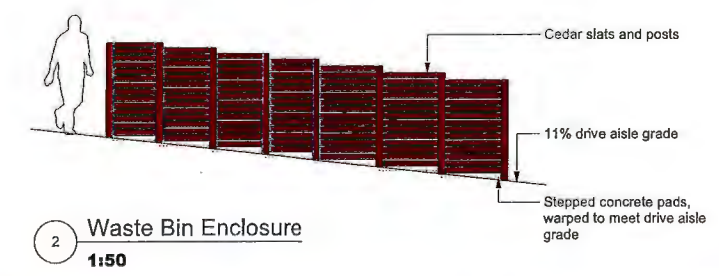


Recommended Nursery Stock

Category	Total	Botanical Name	Common Name	Size		
Trees	Total: 31	Cercidiphyllum japonicum	Katsura Tree	8cm cal		
		Fagus sylvatica 'Dawyck Gold'	Dawyck Beech	8cm cal.		
		Liriodendron tulipifera	Tulip Tree	8cm cal.		
		Prunus serrulata 'Mount Fuji'	Mount Fuji Japanese Flowering Cherry	8cm cal.		
		Stewartia pseudocamellia	Japanese Stewartia	8cm cal.		
		Thuja 'Green Giant'	Green Giant Western Arborvitae	#15 pot		
		Large Shrubs	Total: 37	Hamamelis mollis 'Pallida'	Pallida Chinese Witch Hazel	#7 pot
Magnolia stellata 'Royal Star'	Royal Star Magnolia			#25 pot, 1.25m		
Viburnum plicatum tomentosum 'Mariesii'	Doublefile Viburnum			#10 pot		
Medium Shrubs	Total: 20			Cholaya temata 'Sundance'	Sundance Mexican Orange Blossom	#5 pot
		Ribes sanguineum 'White Icicle'	White Icicle Flowering Currant	#7 pot		
		Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#5 pot		
		Spiraea thunbergii 'Ogon'	Golden Bridalweath Spirea	#7 pot		
		Small Shrubs	Total: 35	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#5 pot
Perennials, Annuals and Ferns	Total: 407			Anemanthe Lessoniana	Pheasant Tail Grass	#1 pot
		Blechnum spicant	Deer Fern	#1 pot		
		Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 pot		
		Carex glauca 'Blue Zinger'	Blue Sedge	#1 pot		
		Carex testacea	Orange New Zealand Sedge	#1 pot		
		Liriope muscari 'Variegata'	Variegated Lilyturf	#1 pot		
		Ophiopogon japonicus 'Nana'	Dwarf Mondo Grass	#1 pot		
		Polystichum munlum	Sword Fern	#5 pot		
		Groundcovers	Total: 44	Ceanothus griseus horizontalis	Carmel Creeper California Lilac	#3 pot
				Rubus calycinoides	Creeping Bramble	#1 pot
Vines	Total: 17			Clematis armandi	Evergreen Clematis	#5 pot

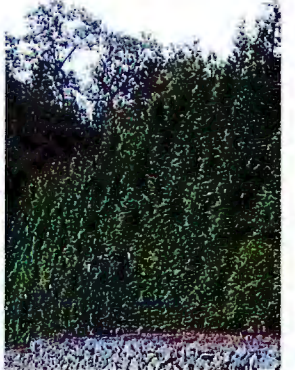
Notes:

- All work to be completed to current BCSLA Landscape Standards
- All soft landscape to be irrigated with an automatic irrigation system



1 Landscape Concept Plan
1:100

2 Waste Bin Enclosure
1:50



1052-1054 Tillicum Road | Landscape Concept Plan



Project No: 1782 Sept-15-2017 2B-495 Dupplin Rd. Victoria B.C. V8Z 1B8
Phone: (250) 598-0105 Fax: (250) 412-0696



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: November 8, 2017

STAFF REPORT

DATE: November 6, 2017

TO: Chair and Members of the Design Review Committee

FROM: Trevor Parkes, Senior Planner

SUBJECT: REZONING APPLICATION
669 Constance Avenue
[PID 004-574-451 Lot 1, Suburban Lots 43 and 44, Esquimalt District, Plan 13563]
658 Admirals Road
[PID 023-768-410 Lot A of Suburban Lots 43 and 44, Esquimalt District, Plan VIP65333]
662 Admirals Road
[PID 017-827-540 Lot 1, Suburban Lot 43, Esquimalt District, Plan VIP54521]

RECOMMENDATION:

The Esquimalt Design Review Committee [DRC] recommends to Council that the application for rezoning to facilitate consolidation of three properties located between the northernmost end of Constance Avenue and Admirals Road, and authorizing a 36 metre [12 storey], 83 unit, multiple family residential building sited in accordance with the BCLS Site Plan provided by McElhanney Consulting Services Ltd., stamped "Received October 26, 2017", and incorporating height and massing consistent with the architectural plans provided by Lang Wilson Practice in Architecture Culture, stamped "Received October 27, 2017", be forwarded to Council with a recommendation to either **approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application:

The applicant is requesting a change in zoning from the current mix of Medium Density Multiple Family Residential [RM-4] and Low Density Townhouse Multiple Family Residential [RM-1] zones to a Comprehensive Development District zone [CD]. This change is required to accommodate the proposed 12 storey, 83 unit, multiple family, prefabricated, residential building including, as a principal feature, a generous, glass enclosed, two storey lobby, multiple purpose room and community amenity space located at grade off Admirals Road and situated above mechanical and storage areas and 4 levels of underground parking totaling 83 spaces. The residential units rise in a staggered form from 5/6 storeys abutting Constance Avenue to 10 (11) storeys adjacent to Admirals Road. The building stretches between Admirals Road and Constance Avenue forming the shape of the letter U surrounding a central courtyard. This design approach loads the building mass toward the edges of the property, claiming a minimum setback of 3.6m at the closest point to Admirals Road, 1.5m to the northern side lot line, 0.85m

at the closest point to Constance Ave and 3.1m to the southern side lot line thereby retaining the south exposed central courtyard for use of residents.

This site is located within Development Permit Area No. 1 – Multi-Unit Residential. Should the rezoning application be approved, the applicant would need to obtain a Development Permit respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of the proposed multiple family residential building which would be considered by both the DRC and Council in the future.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

Context

Applicant: Standing Stone Developments [Casey O'Byrne and Troy Grant]

Owner: 0776378 BC Ltd, Inc. BC0776378 [Standing Stone Developments]

Property Size: Metric: 1933 m² Imperial: 20800 ft²

Existing Land Uses: 6 Unit, Multiple Family Apartment/ Duplex/ Vacant Land

Surrounding Land Uses:

North: Department of National Defense Lands

South: Multiple Family Residential

West: Department of National Defense Lands

East: Single Family Residential/ Two Family Residential Dwellings

Existing OCP Designation: Multi-Unit, High-Rise Residential

Existing Zoning: Medium Density Multiple Family Residential [RM-4] and Low Density Townhouse Multiple Family Residential [RM-1]

Proposed Zoning: CD [Comprehensive Development District]

Comments From Other Departments

The plans for this proposal were circulated to other departments and the following comments were received by the submission deadline:

Building Inspection: Building to be constructed to requirements of BC Building Code and is subject to municipal bylaw compliance. A safety plan for construction of the building will be required should this rezoning application be approved.

Engineering Services: Engineering staff have completed a preliminary evaluation of Works and Services that would be required for the 83 unit multiple family residential building proposed to be located at 669 Constance Avenue. Staff confirms that the design appears achievable on the site and that appropriate works and services are available in the immediate area. If approved the development must be serviced in accordance with bylaw requirements including, but not limited to, new sewer and drain connections, underground hydro, telephone and cable services and new road works may be required up to the centre line of both Constance Avenue

and Admirals Road. Staff recommend a traffic study be provided to evaluate the function and potential issues associated with the proposed drop off area on the Admirals Road frontage. Staff also advise the applicant to complete a sewer capacity study to determine if the existing network has the capacity to accept the increased sewer flow generated by the proposed development. Should the application be approved, additional comments will be provided when detailed civil engineering drawings are submitted as part of a Building Permit application.

Parks Services: Should the application for rezoning be approved, a Tree Survey of the trees proposed for retention on the site will be required as part of the consideration of the Development Permit. If all trees on the site are to be removed to accommodate development, Tree Removal Permits shall be required for their removal and either appropriate funds or installation of not less than five appropriately sized replacement trees shall be required.

ISSUES:

Zoning

Density, Lot Coverage, Height and Setbacks: The following chart details the setbacks, height, lot coverage and floor area ratio and parking associated with this proposal

	Comprehensive Development Zone	Zoning Bylaw, 1992, No. 2050 does not contain a zone that could accommodate this commercial mixed-use proposal. Staff present this summary table as the basis for a site specific zone written to accommodate this proposal should it be forwarded in the development review process.
Floor Area Ratio	2.90	
Lot Coverage	56%	
Setbacks		
• Front [Constance Ave]	0.85 m	
• Rear [Admirals Road]	3.6 m/ 9.1m	
• Interior Side [North]	1.5 m	
• Interior Side [South]	3.0 m	
Building Height	36 m [12 storeys]	
Off Street Parking	Parking Bylaw requirement = 108 spaces Total proposed = 83 spaces	

Floor Area Ratio:

Floor Area Ratio measures buildable space in ratio to the size of the lot on which a building sits. The F.A.R of this proposal is 2.9 which is consistent with the maximum density of 3.0 identified within the OCP for lands designated Multi-Unit High-Rise Residential achievable before the provision of amenities could be required.

Lot Coverage:

Lot Coverage measures 56% for the proposed building however this value does not accommodate the underground parking structure which adds significantly to the functional site coverage of the site. The combination of the underground parking garage, as designed, and the proposed building results in limited opportunities for the planting of significant trees on the site as part of the landscaping plan.

Height:

The OCP states that High-Rise developments in Esquimalt are limited to a height of 12 storeys [approximately 36 metres] measured to the highest portion of the roof from average grade. The applicant proposes a building consistent with this height measuring 36 metres with 12 storeys.

Setbacks:

As noted in the table above, the Township zoning bylaw does not contain any zone that accommodates this proposal. Noting this, the zoning bylaw does contemplate taller multiple family residential buildings being setback to ensure the impact of mass and height are mitigated for those parcels adjacent to the development and the public realm. For example, the RM-5 zone which accommodates buildings up to 6 storeys in height requires front, rear and side setbacks of 7.5m.

This design approach, proposing a building forming the shape of the letter U surrounding a central courtyard, loads the building mass toward the edges of the property. The result is a building claiming a minimum setback of 3.6m at the closest point to Admirals Road, 1.5m to the northern side lot line, 0.85m at the closest point to Constance Ave and 3.0m to the southern side lot line thereby retaining the south exposed central courtyard for use of residents. Staff note that the applicant is seeking a custom zone to accommodate this proposal, however, as this is a residential, not a commercial mixed use building, staff have concerns with this unconventional approach to building siting, particularly as it relates to the parcels to the south of the site and to the public realm of both Constance Avenue and Admirals Road.

Parking:

Parking Bylaw, 1992, No. 2011 requires 1.3 parking spaces per unit be provided “behind the front face of the principle building” in multiple family developments. This proposal incorporates 83 residential parking spaces within the underground parking structure including 11 visitor spaces. The applicant has committed to providing a parking study, crafted by Bunt and Associates, detailing the effectiveness of this parking strategy. The applicant also proposes to voluntarily improve the southern portion of the west side of Constance Avenue to include, clearly visible, on-street parking adjacent to the development.

Official Community Plan

This proposal is consistent with the current Land Use Designation applied to the subject Property, “Multi-Unit, High-Rise Residential”.

OCP Section 2 - Managed Growth – Land Use and Development states that the objectives and policies in this section are designed to promote sustainable land use and development in the community.

OCP 2.0.1(a) states the Township should encourage high quality development that enhances and benefits the community as a whole.

OCP 2.0.2(a) states Esquimalt’s future new development, infill and redevelopment will be in accordance with the land use designations shown on OCP Schedule A, together with the guidelines set out in Development Permit Areas (OCP Section 9).

OCP 2.0.2(e) states the Township will encourage development and redevelopment that minimizes and mitigates the risks associated with natural hazards and increases the community’s resilience to hazard events. The applicant has provided staff with a tsunami reviews indicating the site is not in danger of significant damage by a tsunami.

OCP Section 2.2 - Residential Land Use of the Official Community Plan recognizes that modest growth is likely to occur through the infilling of vacant or under-utilized parcels, redevelopment of existing residential properties to higher densities (such as townhouses, apartment buildings and mixed commercial-residential uses) and the replacement of existing buildings. Objectives and policies of this section are intended to ensure residential growth occurs in a manner that

maintains and enhances individual neighbourhoods and the community as a whole.

Section 2.2.1(a) states the Township should work toward a more complete community by maintaining a healthy mixture of housing types, accommodating people with a wide range of income levels.

Section 2.2.1(b) states the Township should encourage new residential development with high design standards for building and landscaping and which enhance existing and new neighbourhoods.

OCP Section 2.2.4.1 Multi-Unit Residential Policies [attached] are intended to provide more predictability for residents and give direction to design teams preparing development proposals. This proposal for 83 Apartment Residential Units is consistent with many policies contained in this section with the following exceptions:

Section 2.2.4.1(f) states that wherever desirable and achievable consideration will be given to special needs and assisted housing including seniors, disabled persons and families. It is unclear at this time if any units are proposed to be constructed to accessibility standards or will be easily adaptable to meet special needs requirements.

Section 2.2.4.1(g) states that within the areas designated as Townhouse Residential, Multi-Unit, Low-Rise Residential and Multi-Unit, High-Rise Residential, the following criteria will be used to evaluate development proposals requiring an application for rezoning:

- The massing and height of the project will respond sensitively to the prevailing character of the immediate neighbourhood. This will vary by location;
- The project will relate to the street. Its exterior finishes, scale, treatment of parking areas, and landscaping, will enhance the appearance of the neighbourhood and contribute positively to the streetscape;
- The proponent will demonstrate that the neighbourhood has been consulted in a fair and meaningful way, and that residents' concerns have been appropriately responded to in the proposal; and
- Where new multi-unit residential projects are proposed, they should not "land-lock", otherwise isolate, or negatively affect the development potential of adjacent parcels. Projects must either consolidate the isolated parcels or leave a sufficient area available to allow for the eventual redevelopment of the adjacent land.

It is the opinion of staff that due to the substantial lot coverage proposed for this building, the significantly reduced setbacks, and the substantial height and mass of the project located in proximity to neighbouring parcels as well as the public realm, this proposal is not consistent with Bullet 1 and 3 of this guideline. Staff note that the applicant has held one public engagement session regarding this proposal however it is expected an additional session will be held once the design is refined as a result of DRC and APC feedback.

OCP Section 2.2.4.4 Multi-Unit, High-Rise Residential states that in areas designated Multi-Unit, High-Rise Residential on Schedule A, building heights of up to 12 storeys are acceptable with a Floor Area Ratio of up to 3.0. Buildings with shallow setbacks must step down to no more than three storeys at street level in order to provide appropriate human scale along the sidewalk. The requirements and guidelines of Development Permit Area No. 1 apply. The proposed building fails to address this guideline as the lowest components of the building's residential floors rise to 5 storeys on Constance Avenue and to 7 storeys adjacent to Admirals Road

OCP Section 3.3.1(a) Affordable Housing Objectives states that the Township should encourage a range of housing by type, tenure, and price to ensure that people of all ages,

household types, abilities and incomes have a diversity of housing choice in Esquimalt.

OCP Section 9.3 Development Permit Area No. 1 - Multi-Unit Residential [attached] contains Development Permit Guidelines for land designated Multi-Unit Residential. As the Development Permit is not being considered at this time it would be inappropriate to address many of these guidelines with the following exceptions that are relevant to the discussion of zoning issues:

Section 9.3.5(b) states, in part, that new buildings should be designed and sited to minimize visual intrusion onto the privacy of surrounding homes and minimize the casting of shadows onto the private outdoor space of adjacent residential units. The proposed building designed to be 36 metres in height with substantial mass therefore it is expected to cast shadows on properties to the east and west. Land to the north of this parcel is controlled by the Federal Government and staff are not currently aware of any proposed change of uses from the green space, roadway and parking lots currently in place, therefore shadowing is of less concern. Shadow analysis provided by the applicant [attached] reveals that in the afternoon in spring summer and fall, shadows would impact parcels located immediately across Admirals Road.

Residential units in this proposal are sited in particularly close proximity to the front and north and south interior side lot lines, when compared to established zoning standards for multiple family residential development. Fortunately, there is little impact from overlook to the west and the north as these are dominantly unpopulated lands. This cannot be claimed on lands to the south and east where substantial overlook would occur due to the proposed setback profile, particularly at the southeastern and southwestern corners of the site. Staff note that overlook onto adjacent sites is an unavoidable consequence given the proposed height of the building,

Section 9.3.5(c) states that high density multi-unit residential buildings should be designed so that the upper storeys are stepped back from the building footprint with lower building heights along the street. It is the opinion of staff that this 83 unit proposal is not consistent with this design guideline.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Public Notification

As this is a Rezoning application, should it proceed to a Public Hearing, notice would be mailed to tenants and owners of properties within 100m (328 ft) of the subject property. Signs indicating that the properties are under consideration for a change in zoning have been installed on both the Constance Avenue and Admirals Road frontages. These signs will be updated to include the date, time and location of the Public Hearing should Council deem it appropriate.

ALTERNATIVES:

1. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of approval** including reasons for the recommendation.
2. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of approval** including specific conditions and including reasons for the recommendation..
3. Forward the application for OCP Amendment and Rezoning to Council with a **recommendation of denial** including reasons for the recommendation.



Woodway Rd

Constance Ave

Admirals Rd

1265

667

665

663

661

669

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660

665

656

1314

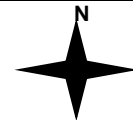
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Subject Property Map:
Corvette Landing

669 Constance Avenue



Subject Property Boundary: 





Naden Way

Woodway Rd

Constance Ave

Astle St

Admirals Rd

Grenville Ave

640
638

651
646
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639

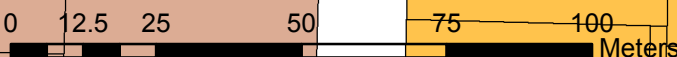
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636

685
681
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Legend

Designation

- Single and Two-Unit Residential
- Townhouse Residential
- Multi-Unit, Low-Rise Residential (up to 4 storeys)
- Multi-Unit, High-Rise Residential (5+ storeys)
- Parks and Open Space
- Industrial
- Commercial Mixed-Use
- Institutional
- DND Federal Land
- English Inn Mixed-Use
- Esquimalt Town Square



Land Use Designation Map:
Corvette Landing

2.2.4 Multi-Unit Residential

Over the years, townhouses and apartment buildings have tended to be developed in clusters throughout the neighbourhoods of Esquimalt. They are generally located in the following areas:

- On both sides of Esquimalt Road from Grafton Street to Dunsmuir Road;
- The area around Craigflower Road and Selkirk Avenue;
- Admirals Road, Astle and Nelson Streets;
- West Bay south of Dunsmuir Road; and
- West Parklands.

Smaller clusters of multi-unit development are also found along Lampson Street between Devonshire and Old Esquimalt Roads, Lampson Street south of Lyall Street, and Ellery Street south of Esquimalt High School. This scattered pattern of development has contributed to residents' concerns related to the proliferation of multi-unit developments in neighbourhoods where single-unit and two-unit homes have been the predominant land use.

2.2.4.1 Multi-Unit Residential Policies

The following policies provide more predictability for residents in mixed residential use neighbourhoods and give direction to design teams involved in the preparation of development proposals.

- a) Multi-Unit Residential refers to three or more dwelling units on a parcel. Multi-unit Residential does not refer to a single-unit home with a secondary suite.
- b) The Township encourages the concentration of multi-unit residential development where such development is in keeping with the overall goals of this Plan.
- c) Wherever practical, multi-unit residential housing will be located near a Major Road as shown on "Schedule B". This supports transit service and also helps maintain the integrity of single-unit and two-unit housing neighbourhoods;
- d) Wherever feasible, major multi-unit residential projects will be located within reasonable distance of one of Esquimalt's commercial areas in order to encourage walking and cycling;
- e) A mix of housing types will be provided in multi-unit residential areas in order to provide visual interest and to meet the varying housing needs of Esquimalt's current and future residents;
- f) Wherever desirable and achievable, consideration will be given for special needs and assisted housing, including seniors, disabled persons and families.
- g) Within the areas designated on "Schedule A" as Townhouse Residential, Multi-Unit, Low-Rise Residential and Multi-Unit, High-Rise Residential, the following criteria will be used to evaluate development proposals requiring an application for rezoning:
 - o The massing and height of the project will respond sensitively to the prevailing character of the immediate neighbourhood. This will vary by location;

- The project will relate to the street. Its exterior finishes, scale, treatment of parking areas, and landscaping, will enhance the appearance of the neighbourhood and contribute positively to the streetscape;
 - The proponent will demonstrate that the neighbourhood has been consulted in a fair and meaningful way, and that residents' concerns have been appropriately responded to in the proposal; and
 - Where new multi-unit residential projects are proposed, they should not “land-lock”, otherwise isolate, or negatively affect the development potential of adjacent parcels. Projects must either consolidate the isolated parcels or leave a sufficient area available to allow for the eventual redevelopment of the adjacent land.
- h) Development proposals with heights and /or densities greater than those set out in policies 2.2.4.2 to 2.2.4.4. may be considered, where appropriate, through variances to zoning and/or parking regulations and density bonusing of floor-space where new affordable, accessible or special needs housing units or amenities are provided for the benefit of the community.

- i) For the purposes of density bonuses, “amenities” may include, but not be limited to:

- Privately-owned, publicly-accessible open space;
- Public art;
- Contributions towards the enhancement of public recreation facilities;
- Contributions towards street and boulevard enhancements, including street furniture and decorative lighting;
- Daycare facilities; and
- Preservation of heritage structures or features.



- j) In new multi-unit residential developments, secure bicycle storage for residents should be provided in the ratio of 1.5 storage spaces per dwelling unit. In addition to the residents' parking, each multi-unit building should have six (6) bicycle lock-up spaces for the use of visitors.

A bicycle storage requirement may be waived or varied in a Development Permit where, in the opinion of Council, there is no demonstrated need, such as in a congregate care facility.

2.2.4.2 Townhouse Residential

In the Townhouse Residential areas designated on “Schedule A”, new buildings up to three storeys with a Floor Area Ratio of up to 0.70 may be acceptable provided the neighbours are consulted and the design responds effectively to both its site



Development Permit Area No. 1 – Multi-Unit Residential

9.3.1 Scope

All land designated Multi-Unit Residential on Schedule “C” are part of DPA No. 1.

9.3.2 Category

Section 919(1)(f) of the *Local Government Act* – form and character, multi-family residential.

9.3.3 Justification

This Plan emphasizes the importance of protecting residential neighbourhoods and encouraging a high quality of construction for new development. It is essential that new multi-unit residential development not have a negative impact on, or be out of character with, existing residential neighbourhoods. The primary objective of Development Permit Area No. 1 is to ensure that the development of multi-unit residential sites is compatible with surrounding uses.

9.3.4 Requirements of Owners of Land within the Development Permit Area

a) Owners of land within Development Permit Area No. 1 must not do any of the following without first obtaining a development Permit in accordance with the guidelines for this Development Permit Area:

- i) subdivide lands; or
- ii) construct or alter a building or structure;

without first obtaining a Development Permit in accordance with the guidelines of this Development Permit Area.

b) Exemptions:

The following do not require a development permit:

- i) construction of buildings or structures less than 10 square metres in area;
- ii) minor additions to existing dwellings where the floor area of the addition does not exceed 10 percent of the ground floor area of the dwelling;
- iii) emergency repairs to existing structures and public walkways where a potential safety hazard exists;
- iv) fences;
- v) the cutting of trees as permitted upon application under the municipal tree protection bylaw; and
- vi) placement of signs less than 1.5 sq. metres in area.

9.3.5 Guidelines for Owners of Land within the Development Permit Area

a) The size and siting of buildings that abut existing single- and two-unit and townhouse dwellings should reflect the size and scale of adjacent development and complement the surrounding uses. To achieve this, height and setback restrictions may be imposed as a condition of the development permit.

- b) New buildings should be designed and sited to minimize visual intrusion onto the privacy of surrounding homes and minimize the casting of shadows onto the private outdoor space of adjacent residential units.

- c) High-density multi-unit residential buildings or mixed commercial/residential buildings in commercial areas with a zero front setback should be designed so that the upper storeys are stepped back from the building footprint, with lower building heights along the street front.



- d) Landscaping of multi-unit residential sites should emphasize the creation of an attractive streetscape, as well as provide privacy between individual buildings and dwellings, screen parking areas and break up large expanses of paving.
- e) Surface parking areas in multi-unit residential developments less than five storeys in height, will be situated away from the street and screened by berms, landscaping or solid fencing or a combination of these three.
- f) Underground parking will be provided for any multi-unit residential buildings exceeding four storeys.
- g) The retention of public view corridors particularly views to the water should be encouraged wherever possible.
- h) To preserve view corridors and complement natural topography, stepped-down building designs are encouraged for sloping sites.
- i) Retention and protection of trees and the natural habitat is encouraged wherever possible.
- j) Townhouses will be designed such that the habitable space of one dwelling unit abuts the habitable space of another unit and the common wall overlap between adjoining dwellings shall be at least 50 percent.
- k) Site lighting in multi-unit residential developments should provide personal safety for residents and visitors and be of the type that reduces glare and does not cause the spill over of light onto adjacent residential sites.
- l) Garbage receptacle areas and utility kiosks should be screened by solid fencing or landscaping or a combination of the two.
- m) For waterfront sites, retention of natural features and existing trees should be a priority in site planning considerations.
- n) When any existing single-unit residence or duplex residence is being redeveloped to a multi-unit residential use by adding on of one or more dwelling units, such addition will be designed so that all of the units form a cohesive whole. In order to achieve cohesiveness:
 - i) both, the existing and proposed structures will be in the same architectural style;
 - ii) variations between the roofline of the existing building and any proposed addition(s) will be no greater than 1.5 metres;

- iii) roof styles and pitches must be complementary;
- iv) architectural features such as sloping roofs and dormers should be incorporated into the design to unite the various parts of the structure; and
- v) the existing and proposed structure will be constructed using the same or complimentary exterior finishes including roofing materials, window treatments, door styles and other finishing details.
- o) Within the area bounded by Tillicum, Craigflower, Lampson and Transfer Streets, redevelopment to multi-unit residential use will require that vehicular access to these sites be off Lampson Street rather than Tillicum, in recognition of the high levels of traffic currently using Tillicum Road.
- p) To create a more aesthetic and functional design that links each multi-unit residential project with the streetscape, the following guidelines are recommend:
 - i) Avoid long, narrow parcels with minimal road frontage (consolidate one or more parcels where necessary);
 - ii) Place parking areas away from the street; and
 - iii) Design porches and windows overlooking the street to increase personal interaction and safety.



November 3, 2017

Madam Mayor and Respected Councilors
Township of Esquimalt
1229 Esquimalt Road
Esquimalt B.C.
V9A 3P1

Dear Madam Mayor and Respected Councilors,

I am the developer and general partner for Corvette Landing which is the development proposed for 669 Constance Ave. in the Township of Esquimalt.

By way of a brief history I came to the GVA in 1976 to visit my twin brother who was studying history at the University of Victoria. I fell in love with Victoria and its surrounding areas and moved here in 1978 to continue my studies in Psychology. I received my Bachelor's degree in 1980. I would have stayed but Law School beckoned and that journey began.

I practiced law in Edmonton for approximately 34 years and while I am currently not practicing law I am still a member in good standing with both the Canadian Bar Association and the Alberta Bar Association.

It was during the last 10 years of my law practice that I began to transition out of law and into land development. The transition has been successful for me.

In 1982 my parents moved to Esquimalt and I have been a dedicated visitor ever since. While my father has passed in April of 2001, my Mother (93) and 5 of my 11 siblings now call the GVA home. I also have 3 nephews and 6 grand nephews and nieces that now reside here, and trips home are truly trips home to be with my family. It has been my great pleasure to have been able to purchase the site of the new Corvette Landing here in Esquimalt. I have had the opportunity to speak with the Mayor and Senior administration about this project and we have received a very warm and professional welcome.

Our goal with 669 Constance is to create a landmark building on what we view as a cornerstone property in Esquimalt. We have teamed with Oliver Lang, owner of LWPAC Architectural firm and a host of other professionals to create what we truly believe will be a world class building.

Our research has shown us, that people who serve our community have been under served by the real estate market. This same research has shown us that the service sector is quickly being shut out of the market. Prices are rising and opportunities to purchase quality homes are becoming scarce and getting difficult to secure. We define the service sector as those who have dedicated their working life in the service of others. This list of Professionals includes but is not limited to:

- * Police Officers and Staff;
- * Fire Department Members and Staff;
- * Teachers and Staff;
- * Medical Personnel;
- * Military Officers, NCO's, Civilian Staff and so many more.

Our goal with Corvette Landing is to create a development that supplies Market Affordable Homes to this very important sector of the Esquimalt community, our community.



We know that history of Esquimalt dates back to 1912 and that the real estate market in Esquimalt hasn't always appropriately reflected the vibrancy of the community. Our intent with this project is to bring to the City a new and vibrant residential community. The Corvette Landing will be a smart structure that reflects the progressive direction of Esquimalt. These new homes will have Passiv Haus Certification, and a design that takes into consideration our neighbours and the overall community. This will be a building that is not only in compliance with the OCP but also supports the spirit of the OCP.

With our off-site systems approach and modern building methodology and the latest research in construction we will have these new homes on the market in the coming months rather than the coming years. We plan to create homes that are inspiring to live in and improve the quality of the lives of the residents and the community as a whole.

Corvette Landing is intended to inspire progressive development within the neighbourhood and within the greater community of Esquimalt. Recently we spent the day visiting our neighbours. We shared our project vision and heard a number of comments. In order to be certain that all of our neighbours knew of our intentions, we canvassed every home within two city blocks of our project and dropped leaflets about Corvette Landing. We also visited the senior management and Command Team at the Esquimalt Naval Base and were very encouraged by their response.

We are hopeful that you, madam Mayor and Council and the Township of Esquimalt, will embrace our development as warmly and confidently as the Corvette Landing Team has.

Yours Sincerely,

Casey O'Byrne B.A. LLB.

original signed by:

25 October 2017

Attn: Mayor Barb Desjardins and Council
Township of Esquimalt
1229 Esquimalt Road
Esquimalt, BC V9A 3P1



ARCHITECT'S NARRATIVE - CORVETTE LANDING RE-ZONING APPLICATION

Dear Mayor Desjardins, Dear Councillors of Esquimalt,

as follows, please accept our Rezoning application for the Corvette Landing project, located at 658-662 Admirals Road and 669 Constance Avenue.

1. Executive Summary

The proposed Corvette Landing project is located in the Township of Esquimalt, in the Esquimalt Harbour neighbourhood in close proximity to the Naval Base and the Dockyards. Situated at the corner of Admirals Road and Naden Way, it is a significant urban development site. The site spans the length of the block of Naden way along a green space towards Constance Avenue. The proposed building is for a residential building. It will offer 83 market affordable homes with a broad range of home types, from 350sf 1BR/studios to 960sf 3BR family homes. Designed as a high quality building, it will serve as an urban development catalyst for the community of Esquimalt. The new building will advance the creation of a vibrant, diverse and prosperous community, as a new paradigm, through its unique combination of affordability, livability and sustainability

The building will be certified Passive House standard, one of the globally leading standards for sustainability and energy efficiency. The project is proposed to be built using engineered BC produced mass-timber technology, providing a low carbon footprint and highly durable construction. Built through off-site prefabrication, the project will minimize its impact on construction related noise, and traffic, while substantially reducing the length of the construction time itself.

2. Urban Design Approach and Response to Esquimalt Official Community Plan

1. **Healthy Community:** The project will meet OCP objectives to further a healthy community as per OCP 1.8.2-1.8.5. It will create 'a healthy, active and livable community' with quality housing and adequate green space, creating a strong sense of community for the tenants and the township. The project is committed through Passive House certification, the use of renewable materials and extensive landscaping of the ground plane and roof-tops, to "protect and enhance the natural environment while accommodating change and development".
2. **Street enhancements on Constance Avenue:** The proposal provides for improvements of the interface of the adjacent part of Constance Avenue to the parking lot of the Navy yard. It is proposed to replace the existing unkept green strip and fencing.
3. **Parking:** The building is proposed to have 83 underground (OCP 9.3.5.f) parking stalls in a 1:1 ratio to the number of homes. This will include the allocation for required guest parking. The building will provide bicycle parking at a ratio of 1:1.5 for a total of 125 in addition to a bicycle service station and 6 lockable bicycle parking stalls for guests.
4. **Building Height and Density:** The proposed building complies with Building Bylaw No. 2446 Schedule A Land Use Designation for Multi-Unit High Rise Residential (5+ Storeys) and OCP 2.2.4.4 building height of up to 12 storeys and an acceptable FSR of 3.0. The proposed height is 10 storeys above adjacent ground at Admirals Road, 5/6 storeys above adjacent ground on Constance Avenue with a total height of 12 storeys. The proposed density is 2.5 FSR.
5. **Housing:** The proposed building aspires to meet and exceed the expectations of the OCP 3.3 for Housing to create "attractive and affordable communities, for ... owners .." "Homeownership has benefits to the homeowner and to the community as a whole. Some of the benefits include a sense of pride and community, security of tenure, increased control over residential environment, ability to build equity ..." The building will create a range of housing types, as per 3.3.1.a. The building recognizes the needs of families as per OCP 3.3.2.d. The building offers homes with the opportunity to work from home, aiding the Township's goal towards a more prosperous community (OCP Section 8) in advancing "technology and knowledge-based business".
6. **Smart Construction and Greenhouse Gas Emission Reduction:** In compliance with OCP 3.6 Smart Design and Construction the building provides a long lists of features to bring much needed innovation in sustainability to Esquimalt. These include an explicit commitment to low energy Passive House certification, use of mass-timber structural system, and the use of renewable materials where feasible to reduce carbon footprint that is embodied or construction related and operational through the use of energy. As such, the building will satisfy ambitious

objectives as per OCP 7.1.2.6 Greenhouse Gas Emission Reduction Targets, It is conceivable for the building to become carbon neutral in the future if the Township were to provide renewable energy based hydronic district energy (OCP 9.8.5.c). Please see below under Systems and Prefabrication for additional detail on Smart Construction. CPTED measures have been considered.

- 7. Design Response:** The buildings have been designed to “minimize visual intrusion onto the privacy of surrounding homes and minimize the casting of shadows ...” (OCP 9.3.5 b-d) The predominant building mass has been placed along the Northern edge of the property along the adjacent green space to maximize the visual separation to the neighbours on the South. South facing facades will have no living room windows or balconies. Homes along Constance Avenue face West with beautiful views to the water and mountains across the adjacent Navy Yard parking lot with no impact on neighbours. The building form minimized overshadowing of adjacent residential properties. The landscape architecture emphasizes the creation of an attractive residential area street scape, with the parking entrance well screened and tucked away off Constance Avenue. In response to OCP 9.8.5 Design Guidelines: The building captures passive solar energy in the winter through south facing homes orientation, while mitigating heat gain through the external walkways and vertical courtyard screens/vertical gardens that act as shading devices (OCP 9.8.5.a and b, and 9.9.12)). There will be a priority to use high quality and locally sourced materials, provide friendly and transparent lobby and amenity spaces that are visible from the street and weather protected entries (OCP 9.8.5 f through j). The building will provide use of indigenous landscape species, will be bird friendly and careful lighting design to avoid impact on neighbours and dark skies. (OCP 9.8.5.u through x). The building form maximizes the creation of community and livability.

3. Specific Design Considerations

1. Livability

1. Instead of the typical one-fits-all approach we offer a systematic and scalable approach to provide an unprecedented combination of affordability, livability, and sustainability in the creation of living and connected communities.
2. The proposed buildings is a contemporary courtyard buildings, following an evolution of urban housing typologies that have proven to provide highly livable solutions around the world for centuries. IC+LWPAC have pioneered their synthetic evolution in Vancouver for over a decade through award winning projects.
3. The people-focused home design (not unit thinking) offers homes that are highly efficient, yet superbly livable, virtually without any interior hallways, with excellent proportions, adaptability and practicality.
4. Due to the courtyard configuration, each home has 2 sided exposures with abundant daylight, a strong sense of the outdoors, vertical gardens and urban context, and access to natural cross ventilation. Natural Cross ventilation, for natural cooling leads to increased comfort and eliminates the need for mechanical air conditioning systems.
5. Flexible layouts lead to choice, with a broad range of homes to reflect broad needs of varying demographics ranging from singles, to live/work to families and multigenerational living.
6. Living spaces are visually open with uncluttered layouts, to empower people to create their homes.
7. Quiet bedrooms are provided at the courtyard side for each home, away from arterial traffic noise. Research in environmental psychology tells us that air pollution, noise and crowding can corrode mental health and social wellbeing. People need quiet and calm spaces at home in order to recharge, especially in dense urban settings.
8. Systems built, the homes and common areas provide a high perceived quality, leading to pride of tenancy and sense of belonging.
9. The homes are designed to maximize an individuals need of privacy, comfort and wellness.
10. Each home will have a below ground secure storage locker.

2. Community

1. Optimizing the number and arrangement of housing units in a development is a critical aspect of both affordability and sociability. Courtyard buildings with open circulation system of walkways, social landings and mesh enclosed experiential staircases lead to a high degree of social interaction and sense of community. What might seem like insignificant encounters with neighbours are actually the basis for a rich community life.
2. Vertical gardens extend the natural sense of each home to be connected to nature. Vertical screens that rise from across the northern edges of the east-west walkways provide articulation, solar gain control and mediate privacy.
3. The open presence of the building design and home entries create a heightened degree of identification with a feeling of belonging and a truer sense of home.
4. Common roof top gardens with opportunities for urban agriculture and common amenity for collective activities create strong communities, instead of high turnover rates and vandalism. Vertical gardens and open circulation system convert the typically dark and drab double corridors of today's housing projects into delightful common amenities. When people enjoy direct contact with nature, they are more likely to appreciate their environment and engage in sustainable living. Providing a warm, welcoming environment where people cook and eat together can be one of the strongest measures for improving community health.
5. Gated courtyards allows children to play and move more freely in accordance with City guidelines.

3. Quality and Beautiful Simplicity

1. Considered Design, simple, elegant with lasting quality is something not typically associated with affordable housing, but considered essential for successful market affordable housing as long term homes.
2. Unique presence of a carefully designed building to its context and its material and urban presence leads to a heightened degree of personal identification with a sense of place. Natural materials in wood, anodized aluminum and galvanized metals with careful detailing, precision assembly, and clarity of expression will convey a true sense quality of simple yet playful elegance.

4. Sustainability

1. LWPAC+IC's Platforms-for-Life 'EcoSystem' proposed for the Corvette Landing project is based on the predominant use of renewable materials. Cross-Laminated-Timber (CLT) panels are the primary material for the platforms cluster and structural system. It has been engineered to allow for structures up to 16 storeys, built from panelized open spatial modules. The material and panelization is ideal to combine renewable resources with state of the art CNC / Robotic precision fabrication. Equally the focus is on minimizing heat loss and cooling requirements through Passive House design with certification that includes a highly airtight pre-fabricated building-envelope.
2. Through the use of mass-timber the buildings will have a low carbon footprint, both embodied and operational,
3. Off site prefabrication creates less waste and trips to construction site,
4. Passive House is part of the systems DNA, lowering energy consumption from 100kwh/m2 up to 10kwh/m2 by factor of 10X. PHPP modelling has shown that the design of the Corvette Landing project has eliminated need for cooling systems through solar gain control and natural cross ventilation,
5. The buildings can be Net Zero ready through the future inclusion of renewable energy source, such as renewable hydronic District Energy.
6. Quality, robustness and airtight building envelopes with high comfort, provide building outstanding longevity,
7. Tenant electricity consumption and cost are reduced due to abundant daylight. Operators electrical consumption and cost are reduced because of the exterior circulation system with no need of artificial lighting during the day, and no need for pressurization and associated mechanical systems' maintenance cost of fans, filters and pumps due to the open stairs and walkways.
8. The team has a proven sustainability and Passive House team track record for over a decade.

5. Operations Considerations

1. Longevity to enhance affordability through reduced building depreciation, lowered maintenance cost and increased sustainability. The high quality systems build assemblies ensure are designed for 60-100 year life-cycle span vs typical 25-40 years.
2. The design and the systems adaptability allow to future-proof adaptation to different demographics, ensuring long term vibrant social communities.

3. The Passive House and open courtyard designs lead to a substantial reduction of mechanical and electrical systems with lowered maintenance and replacement cost.

6. Proven Solutions for a New Paradigm - Platforms-for-Life housing systems technology

1. The underlying platform design for the proposed buildings is shared and follows a systems technology specifically developed for urban housing over the last 15 years. We have created a proven generative technology that is both replicable and adaptable to follow IC+LWPAC's mantra: **Do more with less and create many from one common holistic platform housing systems technology.**
2. The system is based on the use of highly complete off-site prefabricated 'beyond-the-box' spatial components. The structural system is using mass-timber technology, buildable up to 16 storeys, that meets building code requirement through alternative solutions. Our approach is supported by the Chief Building Officials Office of the City of Vancouver (see attached letter). The technology is used broadly in Europe and Vancouver is now home to the tallest wood building in the world: UBC Brock Commons has just been complete with 18 storeys. Our team brings world class expertise to this technology and we have and are delivering currently \$69,000,000 worth of projects to BC.
3. As part of the system, the building envelope is also fully prefabricated allowing for highly effective integration of Passive House performance.
4. Off-site prefabrication allows for an accelerated project delivery schedule by up to 50%, through parallel on-site and off-site construction, reducing construction financing, carrying costs and exposure to escalation.
5. Contrary to conventional modular prefabrication, the Platforms-for-Live system provides a high quality product, designed to take full advantage of state of the art CNC and robotics assisted high precision machining/milling and assembly of components, leading to a 21st century industrial design quality integrated product. This requires a level of pre-construction integration and coordination that virtually eliminates typical change order processes, reduces risks and contingencies, while enhancing quality control.
6. Off-site prefabrication substantially reduces waste. Construction related noise and traffic on the neighbourhood is substantially reduced
7. The system is adaptable and replicable, and it can be readily transferred to various other sites in Esquimalt. Continuity through multiple successive projects further deepens affordability by reducing design and fabrication related factory overhead.

Sincerely,


Oliver Lang, Architect AIBC, Principal LWPAC, President Intelligent City



GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services at 250.414.7108** for clarification.

**New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt

Adopted on January 10th, 2011



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”
 [Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards			
<i>Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.</i>			
1	Are you building to a recognized green building standard? If yes, to what program and level? We will be constructing to achieve the Passive Home Standard.	Yes ✓	No
2	If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? We are constructing to a Passive Home standard and have brought RDH Building Science to ensure we are achieving it.	Yes	No
3	Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them. Rainscreen, High Insulation, Triple Glazing	Yes ✓	No
4	What percentage of the existing building[s], if any, will be incorporated into the new building?	0 %	
5	Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project. Prefabricated Mass-timber Construction sourced primarily in BC.		
6	Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? We will be using modular construction techniques in order to reduce waste and utilize recycled products where possible	Yes ✓	No
7	Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? We will be using an engineered wood product. For which parts of the building (e.g. framing, roof, sheathing etc.)? Framing and Roofing.		
8	Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these.	Yes	No ✓
9	List any products you are proposing that are produced using lower energy levels in manufacturing.	Wood	
10	Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Our project will be utilize recycled materials where we can.	Yes ✓	No
11	Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?	Yes	No ✓

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures			
12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? N/A	Yes	No
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements? N/A	Yes	No
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements? Toilets will exceed the BC BC requirements.	Yes ✓	No
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? Faucets will exceed the BC BC requirements.	Yes ✓	No
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?	Yes ✓	No

Storm Water				
17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	No	N/A ✓
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?	Yes ✓	No	N/A
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____	Yes ✓	No	N/A
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	Yes ✓	No	N/A
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____	Yes ✓	No	N/A
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes ✓	No	N/A
23	What percentage of the site will be maintained as naturally permeable surfaces? Please refer to the Landscape Architectural plans			_____%

Waste water				
24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____	Yes ✓	No	N/A

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species? Please refer to the Landscape Architectural plans _____ Could your site design be altered to save these trees? Have you consulted with our Parks Department regarding their removal?	Yes ✓	No	N/A
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26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? <u>Please refer to the Landscape Architectural plans</u>	Yes ✓	No	N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds?	Yes	No ✓	N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. <u>Please refer to the Landscape Architectural plans</u>	Yes ✓	No	N/A
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island?	Yes ✓	No	N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	Yes	No	N/A ✓
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	Yes	No	N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property?	Yes ✓	No	N/A
33	Will topsoil will be protected and reused on the site? <u>Please refer to the Landscape Architectural plans</u>	Yes ✓	No	N/A

Energy Efficiency

Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.

34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? <u>Passive House Certification.</u>	Yes ✓	No	N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting?	Yes ✓	No	N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? <u>100%</u> 100% of living and bedroom spaces will be illuminated by sunlight.	Yes ✓	No	N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. <u>We are certainly exploring these options.</u> If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____	Yes ✓	No	N/A
38	Has the building been designed to be solar ready?	Yes	No	N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	Yes	No ✓	N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards? <u>Triple glazed in order to achieve Passive Home standards.</u>	Yes ✓	No	N/A
41	Are energy efficient appliances being installed in this project? If so, please describe.	✓		
42	Will high efficiency light fixtures be used in this project? If so, please describe.	Yes ✓	No	N/A
43	Will building occupants have control over thermal, ventilation and light levels?	Yes ✓	No	N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	Yes ✓	No	N/A
45	Will underground parking areas have automatic lighting?	Yes ✓	No	N/A

Air Quality				
<i>The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.</i>				
46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	Yes ✓	No	N/A
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. _____	Yes	No	N/A
48	Will the building have windows that occupants can open?	Yes ✓	No	N/A
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	Yes ✓	No	N/A
50	Will fresh air intakes be located away from air pollution sources?	Yes ✓	No	N/A
Solid Waste				
<i>Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.</i>				
51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. <u>Please refer to the HazMat Building report in the drop box.</u>	Yes ✓	No	N/A
52	Will materials be recycled during the construction phase? If so, please describe. <u>This project will be built using advanced offsite construction systems and techniques which will ultimately reduce waste.</u>	Yes	No ✓	N/A
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	Yes ✓	No	N/A
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes	No	N/A ✓
Green Mobility				
<i>The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.</i>				
55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	Yes ✓	No	N/A
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes	No	N/A ✓
57	Is access provided for those with assisted mobility devices?	Yes ✓	No	N/A
58	Are accessible bike racks provided for visitors?	Yes ✓	No	N/A
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	Yes ✓	No	N/A
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input checked="" type="checkbox"/> plug-ins for electric vehicles			
Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.				

A0 GENERAL

A0.0	COVER PAGE + PROJECT DATA AND RATIONALE
A0.1	VISUALIZATIONS
A0.2	SITE PLAN
A0.3	SHADOW STUDIES

A1 PLANS

A1.0	TYP. PARKING
A1.1	L1 FLOOR PLANS
A1.2	L2 FLOOR PLANS
A1.3	L3 FLOOR PLANS
A1.4	L4 FLOOR PLANS
A1.5	L5 FLOOR PLANS
A1.6	L6 FLOOR PLANS
A1.7	L7 FLOOR PLANS
A1.8	L8 FLOOR PLANS
A1.9	L9 FLOOR PLANS
A1.10	L10 FLOOR PLANS
A1.11	L11 FLOOR PLANS
A1.12	L12 FLOOR PLANS
A1.13	L12 FLOOR PLANS

A3 SECTIONS

A3.1	WEST - EAST SECTION THRU RAMP
A3.2	WEST - EAST SECTION THRU COURTYARD
A3.3	NORTH - SOUTH SECTION

A4 ELEVATIONS

A4.1	EAST ELEVATION
A4.2	WEST ELEVATION
A4.3	NORTH ELEVATION
A4.4	SOUTH ELEVATION



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Not for construction
 All Dimensions to be verified on-site

#	Date	Issued / Revision
1	Oct 27, 2017	ISSUING APPLICATION 1
2	Oct 27, 2017	ISSUING APPLICATION 1
3	Oct 27, 2017	ISSUING APPLICATION 1
4	Sept 15, 2017	ISSUING APPLICATION
5	Date	Issued / Revision

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Project:
CORVETTE LANDING
 669 Constance Avenue,
 858, 860, 882 Admirals Road,
 Esquimalt (BC), V8A 4W9
 Legal Lot Description:
 P.L.D. 004574451
 Lot 1
 Plan WSP13563

A0.00

Title:
COVER + PROJECT DATA AND RATIONALE

Scale:	Title: cs-00
Date: Sept 15, 2017	Drawn by: JAC
Drawn by: JAC	Reviewed by: DL
Reviewed by: DL	Revision: 1

Executive Summary

The proposed Corvette Landing project is located within the Township of Esquimalt. Within the Esquimalt Harbour neighbourhood in immediate proximity to the Naval Base and the Dockyards the future Corvette Landing is situated at the corner of Admirals Road and Naden Way. We believe that it is a very significant urban development site. The site spans the length of the block of Naden Way along a green space towards Constance Avenue. The proposed building is, in accordance with the municipal land use zoning, planned to be a high-density residential construction. As the plan is today, it will offer 83 market affordable homes consisting of a broad range of types and floor plans ranging from 350sf 1BR/studios to 960sf 3BR family homes. Designed as a high-quality building, it will serve as an urban development catalyst for the community of Esquimalt. The new building will advance the creation of a vibrant, diverse and prosperous community, as a new paradigm, through its unique combination of affordability, livability and sustainability.

The building will be a certified Passiv Haus standard, one of the globally leading standards for sustainability and energy efficiency. The project is proposed to be built using engineered BC produced mass-timber technology, providing a low carbon footprint and highly durable construction. Built through off-site prefabrication, utilizing the most modern technologies, the project will not only minimize site construction-related noise, and traffic, it will ultimately reduce construction waste while substantially reducing the length of the construction time itself

The location provides excellent connectivity to public transit and shopping in walkable distance. It is expected that some future tenants will work in close proximity, being able to walk to work. The site is also located on both the commuter and recreational bicycle pathways, facilitating biking as a viable alternative to automotive transport.

Please refer to the Architects Letter to Mayor and Council for the detailed project rationale.

Mix of Homes:

Studio	5
1BR	16
1BR + Tech.	15
2BR	41
3BR	6
TOTAL:	83

Rezoning
For Rezoning – Corvette Landing
 ALL DIMENSIONS ARE IN SQM (unless otherwise specified)
CORVETTE LANDING – 669 Constance Ave
 (all dimension in sqm unless otherwise noted)

Storeys	FSR AREA	GROSS RESIDENTIAL AREA	WALKWAY AREA	
12	102.38	119.57	17.37	
11	136.57	156.82	30.94	
10	203.92	232.44	44.41	
9	303.51	342.72	53.33	
8	437.48	490.25	82.78	
7	536.89	600.06	116.87	
6	583.52	656.08	118.73	
5	697.79	782.80	126.81	
4	722.41	808.63	127.46	
3	478.26	540.14	90.49	
(Ground)	2	456.15	516.73	63.08
1	232.54	266.35	0.00	
Total	4,891	5,513	872	

Parking Area and Count (sqm)			
(parking) -1	1,556	Regular	69
(parking) -2	1,223	HC	3
(parking) -3	1,223	Small	14
(parking) -4	585	Total Res.	72
		Visitors	11
Total	3,364	Grand Total	83

Lockers and Bike Storage	
Unit Storage	83
Bike Stalls	125
Plaza Bike Sta	6

Site Area	
Site Area	1,936
FSR	2.53
Coverage area (enclosed)	903
Coverage (not including walkways and stairs)%	46.6%
Walkways and Stairs Lot Coverage	9.6%
Building Height (above Admirals) (m)	33.76
Building Height (above Grade) (m)	35.94

Vertical Circulation			
	per floor (sqm)	# of floors	total
front	27	10	271
back	14	6	84
Overall total			355

Wall Area		
	full wall	half wall
total	621	311

Sellable Area	
(to mid wall)	5,202
Amenity	240
Mezzanine	960
Above Ground Gross Area	6,980

1 PROJECT DATA



2 SOUTH-WEST AERIAL PERSPECTIVE VIEW



3 NORTH-WEST AXONOMETRIC VIEW

Client:
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 Vancouver, BC, V6E 2K4
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 Phone: 604 684 9995



Not for construction
 All Dimensions to be verified on-site

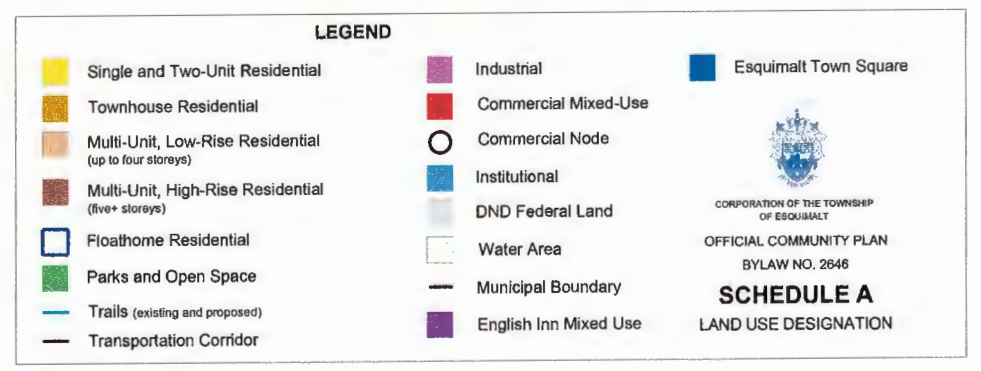
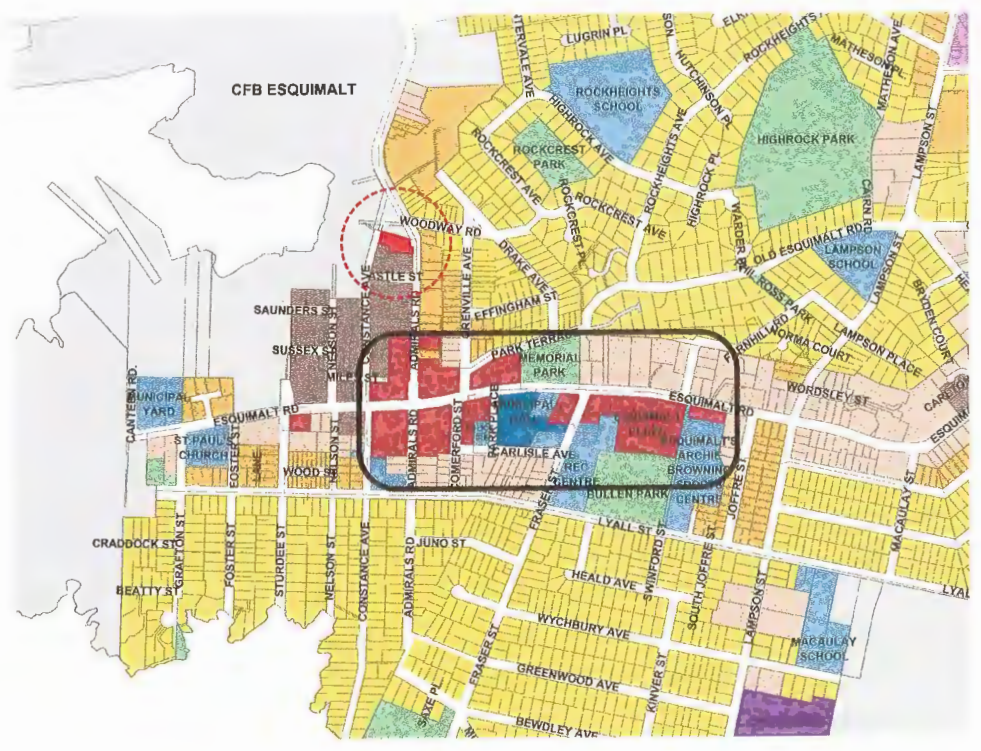
Date	Issued / Revision
1 Oct 27, 2017	REVISION APPLICATION 3
1 Oct 2, 2017	REVISION APPLICATION 2
1 Sept 15, 2017	REVISION APPLICATION 1

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Project:
CORVETTE LANDING
 669 Constance Avenue,
 495, 490, 662 Admirals Road,
 Esquimalt (BC), V9A 8W9
 Legal Lot Description:
 P.L.S. 05074511
 Lot 1,
 Plan VP12563

A0.01
 Title:
COVER + PROJECT DATA AND RATIONALE
 Scale: 1:1 (A0)
 Date: Sept 15, 2017 DWG #:
 Drawn: MC
 Reviewed: OL Revision:





Corporation of the Township of Esquimalt
OFFICIAL COMMUNITY PLAN
 Schedule B₂
CYCLING ROUTES *
 [see legend below]

CYCLING ROUTES *
 Commuter Only Routes
 Commuter & Recreational Routes
 Recreational Routes
 Future Commuter & Recreational Route
 Future Recreational Route
 * Refer to the Bicycle Network Plan 2001 for more detailed mapping of the Bicycle Network



Corporation of the Township of Esquimalt
OFFICIAL COMMUNITY PLAN
 Schedule B₁
ROAD NETWORK
 Major Roads
 Residential Collector Roads

Note:
 Parts of these major roads and collector roads are also part of the Bicycle Network [see Cycling Routes map]. Cycling is a recognized form of transportation and is permitted on all municipal roads.

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Not for construction
 All Dimensions to be verified on-site

Date	Issued / Revision	Reasoning Application
Oct 17, 2017		PRELIMINARY APPLICATION
Oct 7, 2017		ADDITIONAL MATERIAL
Sept 15, 2017		ADDITIONAL MATERIAL

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Project:
CORVETTE LANDING
 649 Constance Avenue,
 650, 650, 652 Admirals Road,
 Esquimalt (BC), V8A 4M7
 Legal Lot Description:
 P.L.D. 004574051
 Lot 1
 Plan V8P13563

A0.02
 Title:
CONTEXT MAPS
 Scale: File: c1_m
 Date: Sept 15, 2017 DWG #:
 Drawn: JAC
 Reviewed: DK Revision:
 (triangle symbol)



1 ADMIRALS RD. - NORTH APPROACH



2 ADMIRALS RD. / NADEN WAY CORNER - NORTH-EAST APPROACH



3 CONSTANCE AVE. - WEST APPROACH



4 ADMIRALS RD. - SOUTH EAST APPROACH



Client:
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Not for construction
 All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIALS
Oct 3, 2017	REVISION APPLICATION 2 - ADDITIONAL MATERIALS
Sept 15, 2017	REVISION APPLICATION

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Project:
CORVETTE LANDING
 682 Constance Avenue,
 658, 646, 682 Admirals Road,
 Esquimalt (BC), V9A 6P9
 Legal Lot Description:
 P.L.S. 004519451
 Lot 1
 Plan V9P13363

A0.03
VISUALIZATIONS
 Title:
 Scale: File: 01.00
 Date: Sept 15, 2017 DWG #:
 Drawn: AC
 Reviewed: OL Revision:



1 SITE PLAN
scale 1:150



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Not for construction
All Dimensions to be verified on-site

Date	Description	By
Oct 27, 2017	REVISION APPLICATION 3	
Oct 2, 2017	REVISION APPLICATION 2	
Sept 15, 2017	REVISION APPLICATION 1	
1	Issue 1	Issued 1 Revision

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Project:
CORVETTE LANDING
648 Constance Avenue,
658, 660, 662 Admirals Road,
Esquimalt (BC), V8A 6W9
Legal Lot Description:
P.L.D. 00574451
Lot 1
Plan Y013363



A0.04

SITE PLAN	
Scale:	File: es_01
Date: Sept 15, 2017	DWG #:
Drawn: JAC	
Reviewed: OX	Revision:

RECEIVED
 OCT 27 2017
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

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Not for construction
 All Dimensions to be verified on-site

Date	Issued / Revision
3 Oct 27, 2017	REVISION APPROVALS ADDITIONAL MATERIALS
2 Oct 2, 2017	REVISION APPROVALS ADDITIONAL MATERIALS
1 Sept 15, 2017	REVISION APPROVALS

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Project:
CORVETTE LANDING
 649 Constance Avenue,
 458, 460, 462 Admiral Road,
 Esquimalt (BC), V1A 6N9
 Legal Lot Description:
 P.I.D. 004574451
 Lot 1
 Plan: YSP13583

A0.05
 Title:
SHADOW STUDIES
 Scale: 1/8" = 1'-0"
 Date: Sept 15, 2017 DWG #:
 Drawn: MC
 Reviewed: DL Revision:



1 SHADOW STUDY: JUNE 21, 9:00AM



2 SHADOW STUDY: JUNE 21, 4:00PM



3 SHADOW STUDY: SEPT. 22 / MAR. 20, 9:00AM



4 SHADOW STUDY: SEPT. 22 / MAR. 20, 4:00PM

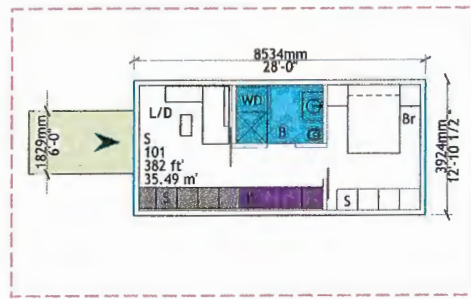


5 SHADOW STUDY: DEC. 21, 9:00AM

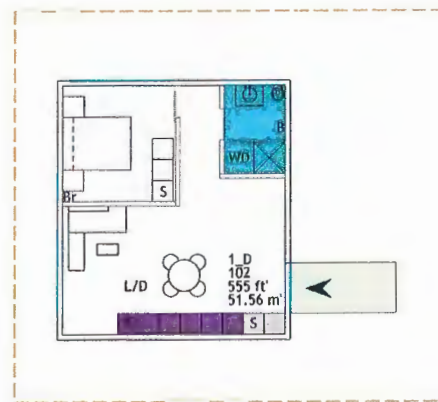
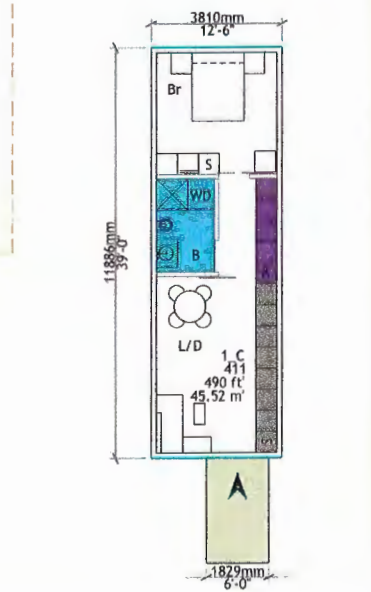
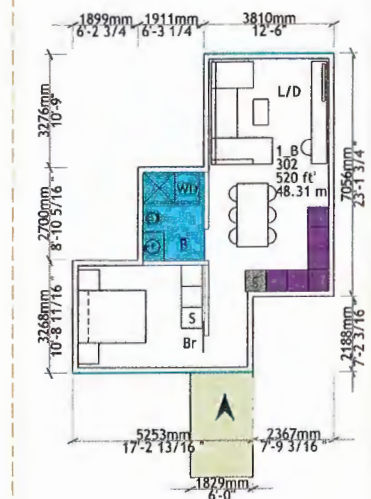
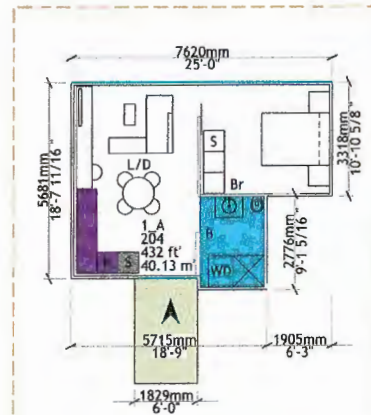


6 SHADOW STUDY: DEC 21, 4:00PM

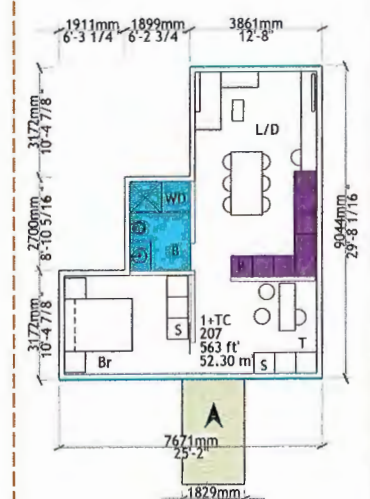
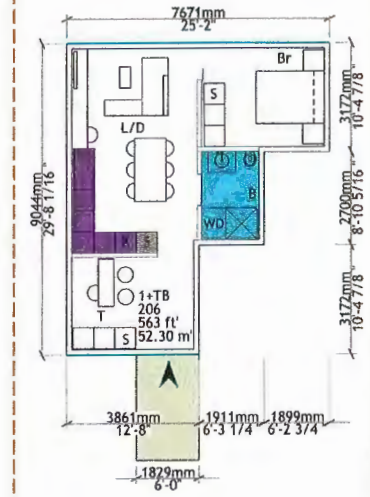
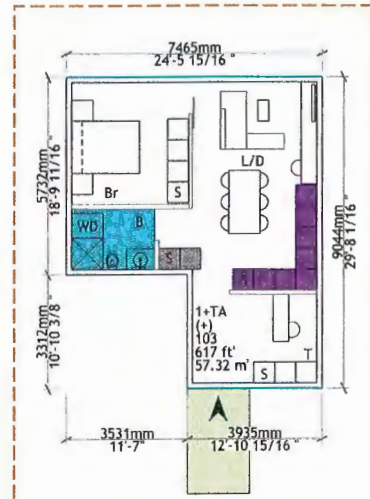
NOTE: SITE AS A WHOLE IS DARKER AND SHADOWED AT THESE HOURS IN WINTER SINCE TIMES ARE VERY CLOSE TO SUNRISE AND SUN SET



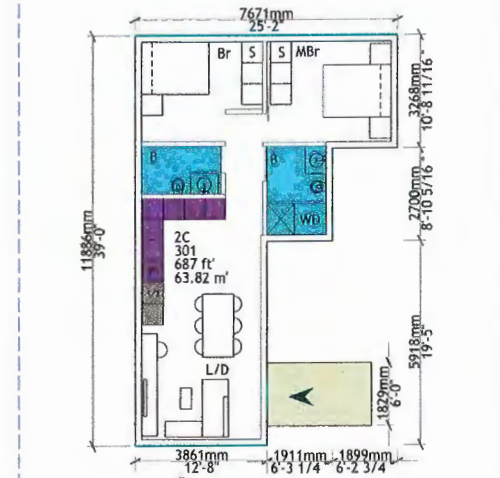
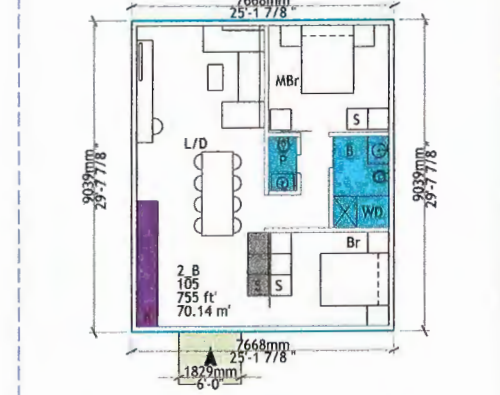
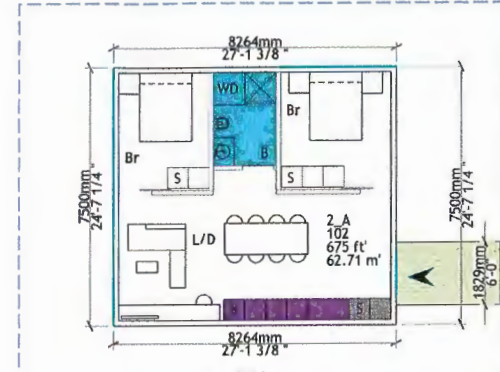
1 STUDIO HOME TYPE
scale 1:100



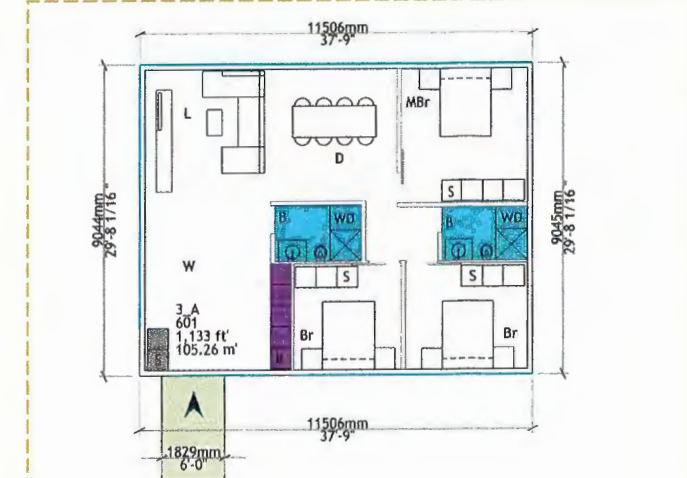
2 1 BR HOME TYPE
scale 1:100



3 1 BR + TECH HOME TYPE
scale 1:100



4 2 BR HOME TYPE
scale 1:100



5 3 BR HOME TYPE
scale 1:100

Storage	Kitchen	S - Storage	B - Bathroom
Bathroom	Bridge	K - Kitchen	BR - Bedroom
Entrance		L - Dining	W - Workspace
		LD - Living	WD - Washer Dryer

1BR + T = 1 Bedroom + Technology Space
1BR (+) = Larger than average
(-) = Smaller than average



Client:
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Not for construction
All Dimensions to be verified on-site

1	Oct 27, 2017	REVISION APPLICATION 1
2	Oct 27, 2017	REVISION APPLICATION 2
3	Sept 15, 2017	REVISION APPLICATION 3
4	Date	Issued / Revision

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Project:
CORVETTE LANDING
444 Constance Avenue,
S5B, 640, 662 Admirals Road,
Esquimalt (B.C.), V8A 4A9
Legal Lot Description:
P.L.D. 004574451
Lot 1
Plan VPP13563

A1.00

Title:	TYPICAL HOME TYPES
Scale:	File: c.u.00
Date:	Sept 15, 2017 DWG #:
Drawn:	JAC
Reviewed:	DL Revision:



Client:
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Not for construction
 All Dimensions to be verified on-site

Date	Issued / Revision
Oct 17, 2017	ISSUING APPLICATION
Oct 2, 2017	ISSUING APPLICATION
Sept 15, 2017	ISSUING APPLICATION
Date	Issued / Revision

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Project:
CORVETTE LANDING
 648 Constance Avenue,
 658, 660, 662 Admirals Road,
 Esquimalt (BC), V1A 4W9
 Legal Lot Description:
 P.L.D. 00474431
 Plan V1P13563

A1.01

Title:
P4 PARKING

Scale:	File:
Scale: 1:100	File: c1_01
Date: Sept 15, 2017	DWG #: 1
Drawn: JAC	
Reviewed: OL	Revision: 1

1 P4 PARKING FLOOR PLAN
 scale 1:100



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 OF ESQUIMALT
 DEVELOPMENT SERVICES

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Not for construction
 All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION: APPLICATION 1 - ADDITIONAL MATERIAL
Oct 7, 2017	REVISION: APPLICATION 1 - ADDITIONAL MATERIAL
Sept 15, 2017	REVISION: APPLICATION
Date	Issued / Revision

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Project:
CORVETTE LANDING
 649 Cordance Avenue,
 550, 650, 842 Admirals Road,
 Esquimalt (BC), V9A 6W9
 Legal Lot Description:
 P.L.S. 004974481
 Lot 1
 Plan VP13363

1 P3 PARKING FLOOR PLAN
 scale 1:100

A1.02

1 P3 PARKING

Scale: File: 41_01
 Date: Sept 15, 2017 DWG #:
 Drawn: AC
 Reviewed: OL Revision:



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OCT 27 2017

CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

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Not for construction
All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIAL
Oct 2, 2017	REVISION APPLICATION 2 - ADDITIONAL MATERIAL
Sept 15, 2017	REVISION APPLICATION
8	Date Issued / Revision

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Project:
CORVETTE LANDING
449 Constance Avenue,
448, 449, 442 Admirals Road,
Esquimalt (BC), V8A 6M9
Legal Lot Description:
P.L.O. 00474451
Lot 1
Plan VP13563

A1.03

FIG. 1:
P2 PARKING

Scale:	File: OL.M
Date: Sept 15, 2017	Sheet #:
Drawn: MC	
Reviewed: OL	Revision: A

1 P2 PARKING FLOOR PLAN
scale 1:100



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OCT 27 2017
 CORP OF TOWNSHIP
 OF ESQUIMALT
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Not for construction
 All Dimensions to be verified on-site

Date	Revision / Revision
04.17.2017	REVISION APPLICATION 1 - ADDITIONAL MATERIAL
04.27.2017	REVISION APPLICATION 2 - ADDITIONAL MATERIAL
09.15.2017	REVISION APPLICATION 3

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Project:
CORVETTE LANDING
 689 Constance Avenue,
 855, 460, 413 Admirals Road,
 Esquimalt (BC), V8A 6H9
 Legal Lot Description:
 71.0. 00574431
 Lot 1
 Plan V913563

1 P1 PARKING FLOOR PLAN
 scale 1:100

A1.04

Title:
P1 PARKING

Scale:	File:
Scale: 1:100	File: a104
Date: Sept 15, 2017	Drawn: JC
Reviewed: OL	Revision: 1



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OCT 27 2017
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

1 L1 FLOOR PLAN
 scale 1:100

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Not for construction
 All Dimensions to be verified on-site

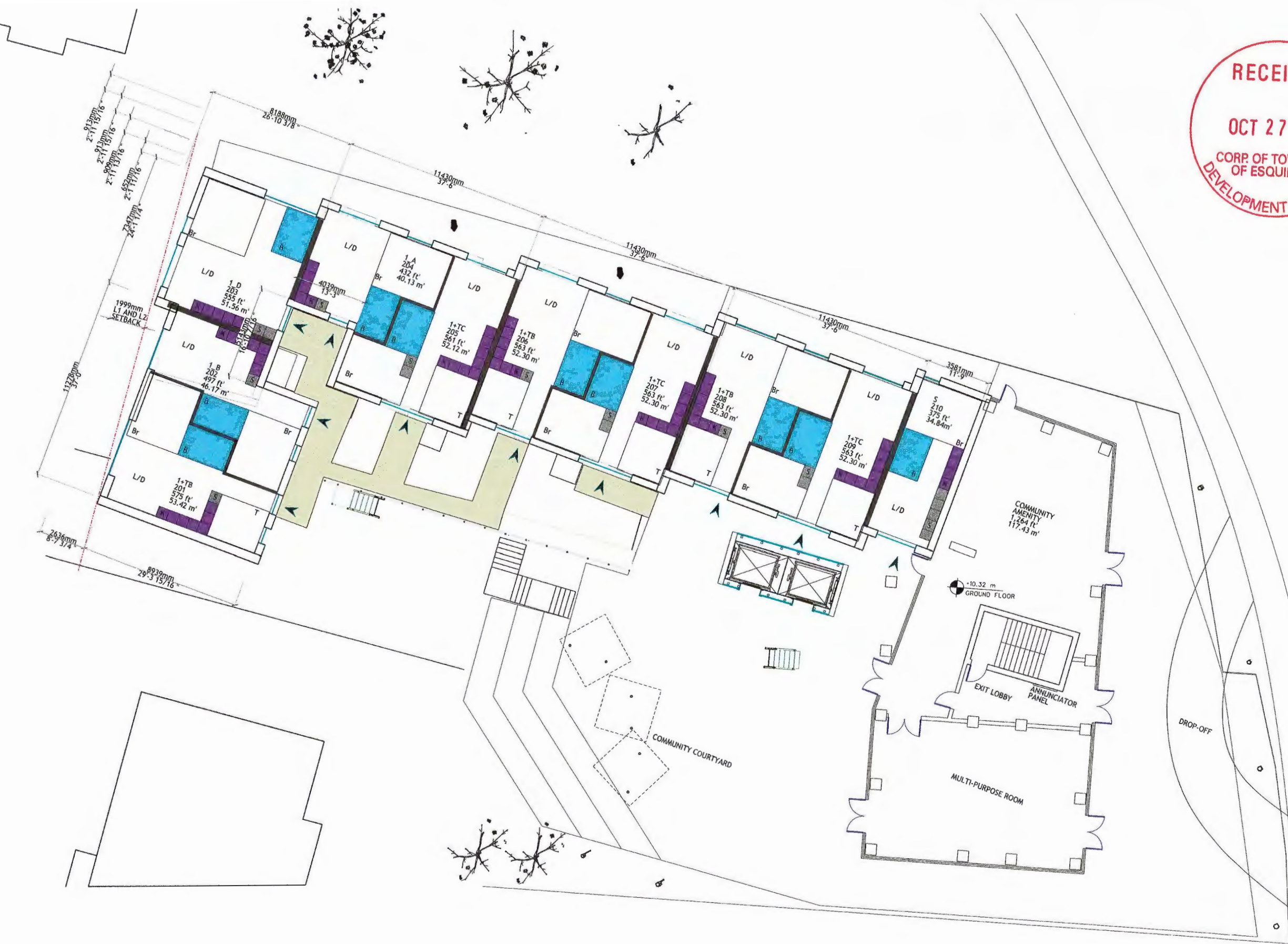
Date	Issued / Revision
Oct 27, 2017	REVISION APPLICATION 1 -
Oct 2, 2017	REVISION APPLICATION 2 -
Sept 15, 2017	REVISION APPLICATION 3 -

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Project:
CORVETTE
LANDING
 640 Constance Avenue,
 650, 660, 663 Admirals Road,
 Esquimalt (BC), V8A 6W9
 Legal Lot Description:
 P.I.D. 004574451
 Lot 1
 Plan YP13563

A1.05
L1 FLOOR PLANS

Scale:	File:
Date: Sept 15, 2017	DWG #:
Drawn: JAC	
Reviewed: OK	Revision:



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OCT 27 2017
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

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REGISTERED ARCHITECT
OCT 26 2017
 OLIVER LANG
 BRITISH COLUMBIA

Not for construction
 All Dimensions to be verified on-site

1 Oct 27, 2017	ISSUING APPLICATION 1
2 Oct 2, 2017	ISSUING APPLICATION 2
3 Sept 15, 2017	ISSUING APPLICATION
4 Date	Issued / Revision

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Project:
CORVETTE LANDING
 604 Constance Avenue,
 450, 460, 462 Admin. Bldg.
 Esquimalt (BC), V9A 6Y9
 Legal Lot Description:
 P.L.C. 0047451
 Lot 1
 Plan VP1351

A1.06

Title:
L2 FLOOR PLAN

Scale:	File:	01_00
Date:	Drawn:	JAC
Drawn:	Drawn #:	
Reviewed:	Checked:	DK
Reviewed:	Checked:	

1 L2 FLOOR PLAN
 scale 1:100



RECEIVED
OCT 27 2017
 CORP OF TOWNSHIP OF ESQUIMALT
 DEVELOPMENT SERVICES

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Not for construction
 All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIAL
Oct 2, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIAL
Sept 15, 2017	REVISION APPLICATION

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Project:
CORVETTE LANDING
 645 Cordova Avenue,
 455, 460, 462, 462A Admirals Road,
 Esquimalt (BC), V9A 6P9
 Legal Lot Description:
 P.L.D. 00457451
 Lot 1
 FRA YP13363

A1.07
 Title:
L3 FLOOR PLANS
 Scale: 1/8" = 1'-0"
 Date: Sept 15, 2017 DWG #:
 Drawn: NC
 Reviewed: OK Revision:

L3 FLOOR PLAN
 scale 1:100



1 L4 FLOOR PLAN
scale 1:100

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J&K Consulting
Neil Doss
1190 B Street Hastings Street
Vancouver, BC V6C 2B4
Email: neil@jandkconsulting.com
Phone: 604 684 5995



Not for construction
All dimensions to be verified on-site

NO	DATE	DESCRIPTION
1	Oct 27, 2017	ISSUED FOR PERMIT APPLICATION 1 - ADDITIONAL MATERIALS
2	Oct 2, 2017	ISSUED FOR PERMIT APPLICATION 1 - ADDITIONAL MATERIALS
3	Sept 15, 2017	MECHANICAL APPLICATION
4	DATE	ISSUED / VERSION

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Project:
CORVETTE LANDING
649 Constance Avenue
636, 640, 643 Admirals Road
Langemark (BC), V1A 0H9
Legal Lot Description:
P.I.D. 00497-051
Lot:
Plan VPP13563

A1.08

Title:
L4 FLOOR PLANS

Scale:	File:
Date: Sept 15, 2017	CHG #1
Drawn: AC	
Reviewed: DL	Revision:



RECEIVED

OCT 27 2017

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Client:
Standing Stone
Developments Inc.
Casey O'Drime, Troy Grant
1002 101a Ave SW
Edmonton Alta, T5J 3G2
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Phone: 604.737.7600

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Not for construction
All dimensions to be verified on-site

Date	Issued / Revision
1	Oct 27, 2017
2	Oct 2, 2017
3	Sept 15, 2017

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Project:
CORVETTE LANDING
489 Constance Avenue,
608, 609, 612 Admirals Road,
Esquimalt (BC), V9A 6H9
Legal Lot Description:
P.L.D. 004974451
Lot 1
Plan VP13563

A1.09

LS FLOOR PLANS

Scale: File: CL.00
Date: Sept 15, 2017 DWG #:
Drawn: JMC
Reviewed: OK Revision:

1 LEVEL 5 FLOOR PLAN
scale 1:100



Client:
Standing Stone Developments Inc.
 Casey OByrne, Troy Grant
 10020 101st Ave NW
 Edmonton, Alta. T5J 3G2
 Email: casey@obyrnegroup.ca, troystandinggroup.com
 Phone: 780.253.8537 (Troy)

Architect:
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 Other Lang, Architect ABC
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 Phone: 604.737.7600

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 205 West 4th Avenue
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Building Code:
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 400 Government Street, Suite 950
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 Email: info@esquimalt.ca
 Phone: 250 593 4448 Ext 112

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 Phone: 250 388 7417

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 Email: info@landform.ca
 Phone: (250) 388 3336

Geotechnical Engineer:
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 Phone: 250 409 3111

Traffic:
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 1100 B West Hastings Street
 Vancouver, BC, V6E 3A4
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 Phone: 604 681 9195



Not for construction
 All dimensions to be verified on-site

Date	Issued / Revision
Oct 17, 2017	ISSUING APPLICATION
Oct 2, 2017	ISSUING APPLICATION
Sept 15, 2017	ISSUING APPLICATION

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Project:
CORVETTE LANDING
 669 Constance Avenue,
 458, 460, 667 Admirals Road,
 Esquimalt, BC, V8A 6W9
 Legal Lot Description:
 P.I.D. 00434451
 Lot 1
 Plan V013363

A1.10
 Title:
L6 FLOOR PLANS
 Scale: 1/8" = 1'-0"
 Date: Sept 15, 2017 DWG #:
 Drawn: JIC
 Reviewed: OK Revision:
 (triangle symbol)



1 L6 FLOOR PLAN
 scale 1:100



RECEIVED
OCT 27 2017
 CORP OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

1 L7 FLOOR PLAN
 Scale 1:100

Client:
Standing Stone Developments Inc.
 Casey O'Brien, Troy Grant
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 Email: casey@standingstone.ca, troyc@standingstone.ca
 Phone: 780.363.8537 (Troy)

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Not for construction
 All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION APPLICATION 1
Oct 2, 2017	ADDITIONAL MATERIAL REVISION APPLICATION 1
Sept 15, 2017	PREVIOUS APPLICATION

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Project:
CORVETTE LANDING
 689 Constance Avenue,
 689, 690, 692 Admirals Road,
 Esquimalt (BC), V9A 6H9
 Legal Lot Description:
 P.L.O. 004924451
 Lot 1
 Plan VP13583

A1.11
 Title:
L7 FLOOR PLANS
 Scale: Plan: 1:100
 Date: Sept 15, 2017 DWG #:
 Drawn: AC
 Reviewed: OL Revision:



1 LB FLOOR PLAN
scale 1:100

Client:
Standing Stone Developments Inc.
Casey D'Byrne, Troy Grant
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Not for construction
All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION: APPLICATION 1 - ADDITIONAL MATERIALS
Oct 2, 2017	REVISION: APPLICATION 2 - ADDITIONAL MATERIALS
Sept 15, 2017	REVISION: APPLICATION

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Project:
CORVETTE LANDING
648 Constance Avenue,
858, 850, 852 Admirable Road,
Esquimalt (BC), V9A 6R9
Legal Lot Description:
P.I.D. 004574451
Lot 1
Plan YP1353

A1.12
Title:
LB FLOOR PLANS
Scale: 1:100 (Rev: CL00)
Date: Sept 15, 2017 DWG #:
Drawn: JAC
Reviewed: OK

RECEIVED

OCT 27 2017

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**



1 L9 FLOOR PLAN
Scale 1:100

Client:
**Standing Stone
Developments Inc.**
Casey O'Brien, Troy Grant
10020 101a Ave NW
Edmonton Alta, T5J 3G2
Email: casey@standingstone.ca,
troy@standingstone.ca
Phone: 780.263.8537 (Troy)

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Robert Kalkay
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Phone: +1 604 735 1423

Building Envelope
B2B Building Science Inc.
Moriz Fiedler
214 W 8th Avenue
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Building Code
G&K CONSULTANTS LTD
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Not for construction
All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	BEYOND APPLICATION 3 - APPROVAL MATERIALS
Oct 2, 2017	BEYOND APPLICATION 1 - APPROVAL MATERIALS
Sept 15, 2017	BEYOND APPLICATION
DATE	Issued / Revision

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Project:
CORVETTE LANDING
440 Constance Avenue,
430, 440, 442 Admirals Road,
Esquimalt (BC), V9A 6W9
Legal Lot Description:
P.L.S. 004974451
Lot 1
Plan YIP13263

A1.13

Title:
L9 FLOOR PLANS

Scale: File: c:\10
Date: Sept 15, 2017 DWG #:
Drawn: MC
Reviewed: OL Revision:



RECEIVED
OCT 27 2017
 CORP OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

1 L10 FLOOR PLAN
 scale 1:100

Client:
Standing Stone Developments Inc.
 Casey O'Brien, Troy Grant
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 Phone: 780.263.8537 (Troy)

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 Oliver Lang, Architect AIBC
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 Phone: 604 684 9992



Not for construction
 All Dimensions to be verified on-site

Rev	Date	Description
1	Oct 17, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIALS
2	Oct 7, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIALS
3	Sept 15, 2017	REVISION APPLICATION 1
4	Date	Issued / Revision

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Project:
CORVETTE LANDING
 487 Constance Avenue,
 530, 540, 557 Admiralty Road,
 Esquimalt (BC), V9A 6H9
 Legal Lot Description:
 P.L.O. 004974651
 Lot 1
 Plan VP13563

A1.14
 Title:
L10 FLOOR PLANS
 Scale: File: c1_10
 Date: Sept 15, 2017 DWG #:
 Drawn: JAC
 Reviewed: OK Revision:



RECEIVED

OCT 27 2017

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

1 L11 FLOOR PLAN
scale 1:100

Client:
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Casey O'Byrne, Troy Grant
1022 101a Ave NW
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Email: casey@obymgroup.ca,
troy@obymgroup.com
Phone: 780.263.8537 (Troy)

Architect:
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Lang Wilson Practice in Architecture Culture
Other Lang, Architect ABC
3353 West 4th Avenue
Vancouver, BC V6R 1H6, Canada
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Phone: 604.737.7600

Structural:
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Not for construction
All Dimensions to be verified on-site

Rev	Date	Issued / Revision
1	Oct 27, 2017	RESPONDING APPLICATION 3 - ADDITIONAL MATERIAL
2	Oct 2, 2017	RESPONDING APPLICATION 2 - ADDITIONAL MATERIAL
3	Sept 15, 2017	RESPONDING APPLICATION
4	Date	Issued / Revision

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Project:
CORVETTE LANDING
649 Cordance Avenue,
656, 660, 662 Admirals Road,
Esquimalt (B.C.), V8A 4A9
Legal Lot Description:
P.L.O. 004374451
Lot 1
Plan VP13563

A1.15

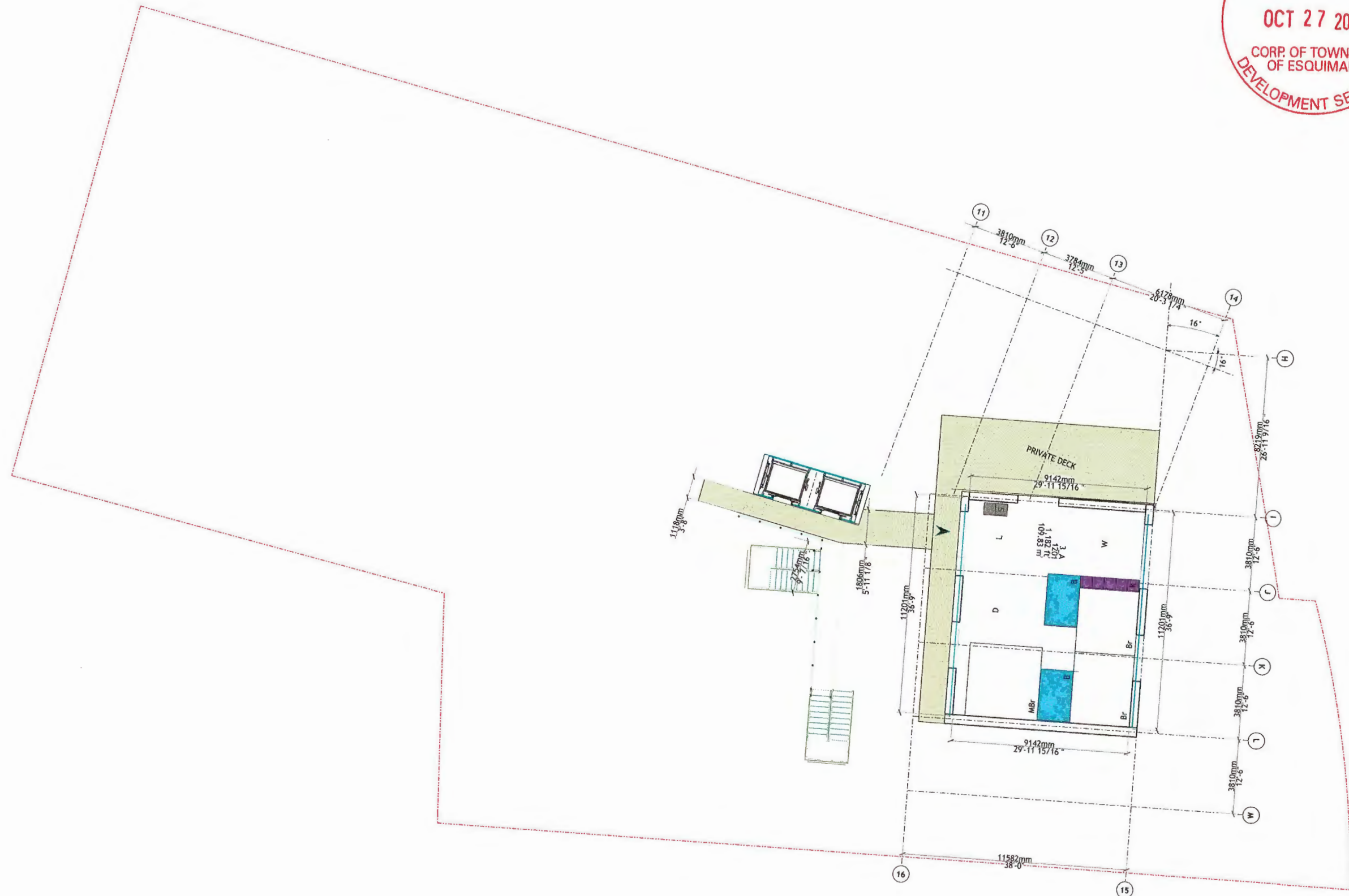
TITLE:
L11 FLOOR PLANS

Scale:	File:
Scale: 1:100	File: cl.dwg
Date: Sept 15, 2017	DWG #: 1
Drawn: JAC	
Reviewed: OK	Revision: 1

RECEIVED

OCT 27 2017

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**



1 L12 FLOOR PLAN
scale 1:100

Client:
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Other Lang, Architect AIBC
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Building Code
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Email: ken@amcgroup.ca
Phone: 604-684-5995



All Dimensions to be verified on-site

Date	Issued / Revision
1 Oct 27, 2017	REVISION APPLICATION 1 - ADDITIONAL MATTERS
2 Oct 2, 2017	REVISION APPLICATION 2 - ADDITIONAL MATTERS
3 Sept 15, 2017	REVISION APPLICATION 3
4 Date	Issued / Revision

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Project:
**CORVETTE
LANDING**
669 Constance Avenue,
558, 660, 662 Admirals Road,
Esquimalt (B.C.), V8Y 4W7
Legal Lot Description:
P.I.D. 004574451
Lot 1
Plan VP13563

A1.16

Title:
L12 FLOOR PLANS

Scale:	File: cl. 00
Date: Sept 15, 2017	DWG #:
Drawn: JAC	
Reviewed: DL	Revision: A

T.O. ELEVATOR SHAFT
144.61' (44.08m)

ROOFTOP
141.11' (43.01m)

LEVEL 12
131.36' (40.04m)

LEVEL 11
121.61' (37.07m)

LEVEL 10
111.86' (34.09m)

LEVEL 9
102.11' (31.12m)

LEVEL 8
92.36' (28.15m)

LEVEL 7
82.61' (25.18m)

LEVEL 6
72.86' (22.21m)

LEVEL 5
63.11' (19.24m)

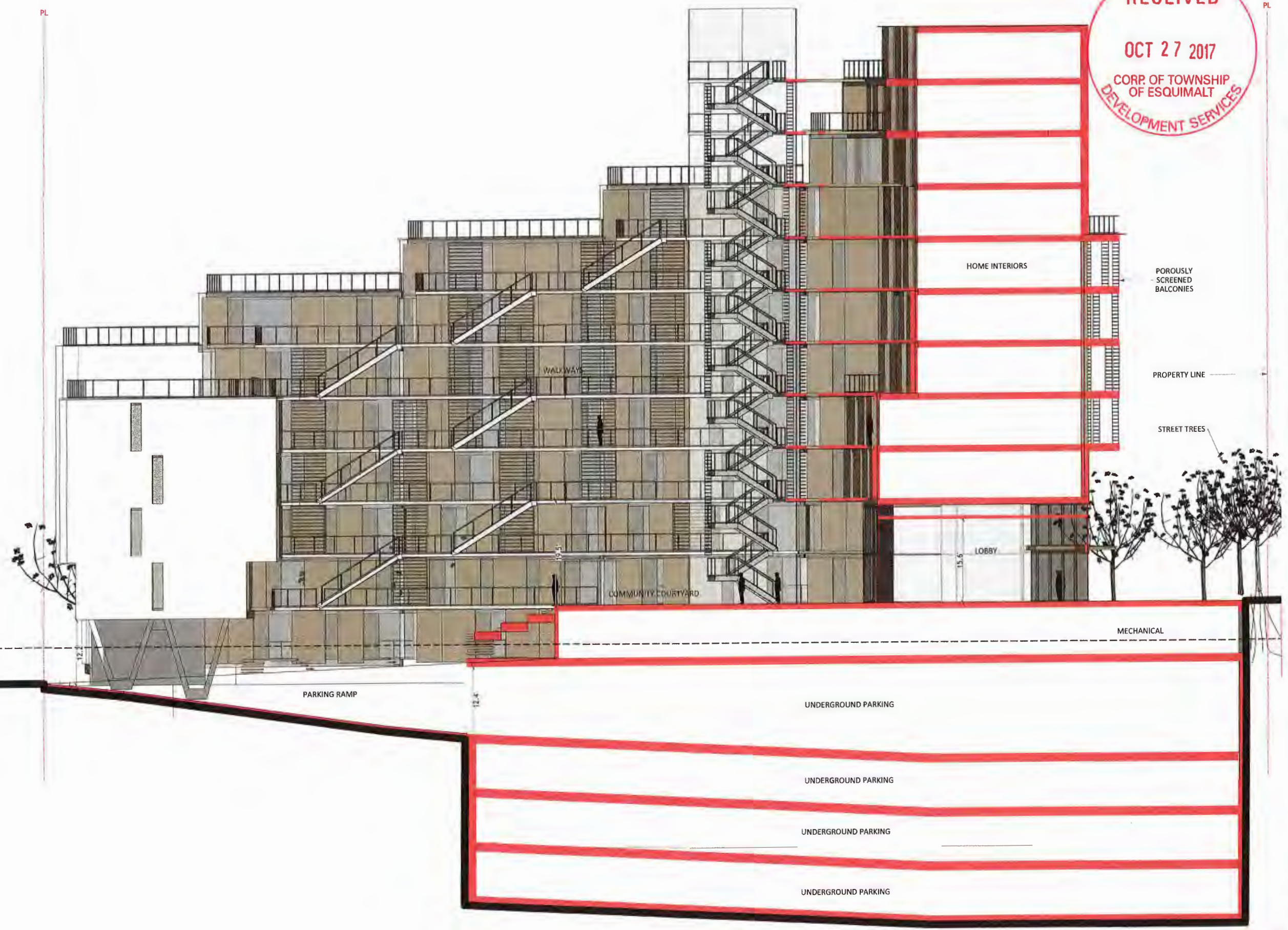
LEVEL 4
53.36' (16.26m)

LEVEL 3
43.61' (13.29m)

LEVEL 2 (GROUND)
33.86' (10.32m)

AVERAGE GRADE
26.71' (8.14m)

LEVEL 1
24.11' (5.98 m)



RECEIVED

OCT 27 2017

CORP. OF TOWNSHIP OF ESQUIMALT

DEVELOPMENT SERVICES

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REGISTERED ARCHITECT
OLIVER LANG
OCT 26 2017
BRITISH COLUMBIA

Not for construction
All dimensions to be verified on-site

3	Oct 27, 2017	REVISION APPLICATION 3
2	Oct 2, 2017	REVISION APPLICATION 2
1	Sept 15, 2017	REVISION APPLICATION 1
#	Date	Issued / Revision

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Project:
CORVETTE LANDING
649 Courtenay Avenue,
478, 480, 482 Adairville Road,
Esquimalt (BC), V8A 6A9
Legal Lot Description:
P.L.D. 004574451
Lot 1
Plan VP13553

A3.01

WEST-EAST SECTION
THRU RAMP

Scale:	File:	CL-10
Date:	Drawn:	Rev:
Revised:	Checked:	Revised:

1 EAST-WEST SECTION (through ramp)
scale 1:100

T.O. ELEVATOR SHAFT
144.61' (44.08m)

ROOFTOP
141.11' (43.01m)

LEVEL 12
131.36' (40.04m)

LEVEL 11
121.61' (37.07m)

LEVEL 10
111.86' (34.09m)

LEVEL 9
102.11' (31.12m)

LEVEL 8
92.36' (28.15m)

LEVEL 7
82.61' (25.18m)

LEVEL 6
72.86' (22.21m)

LEVEL 5
63.11' (19.24m)

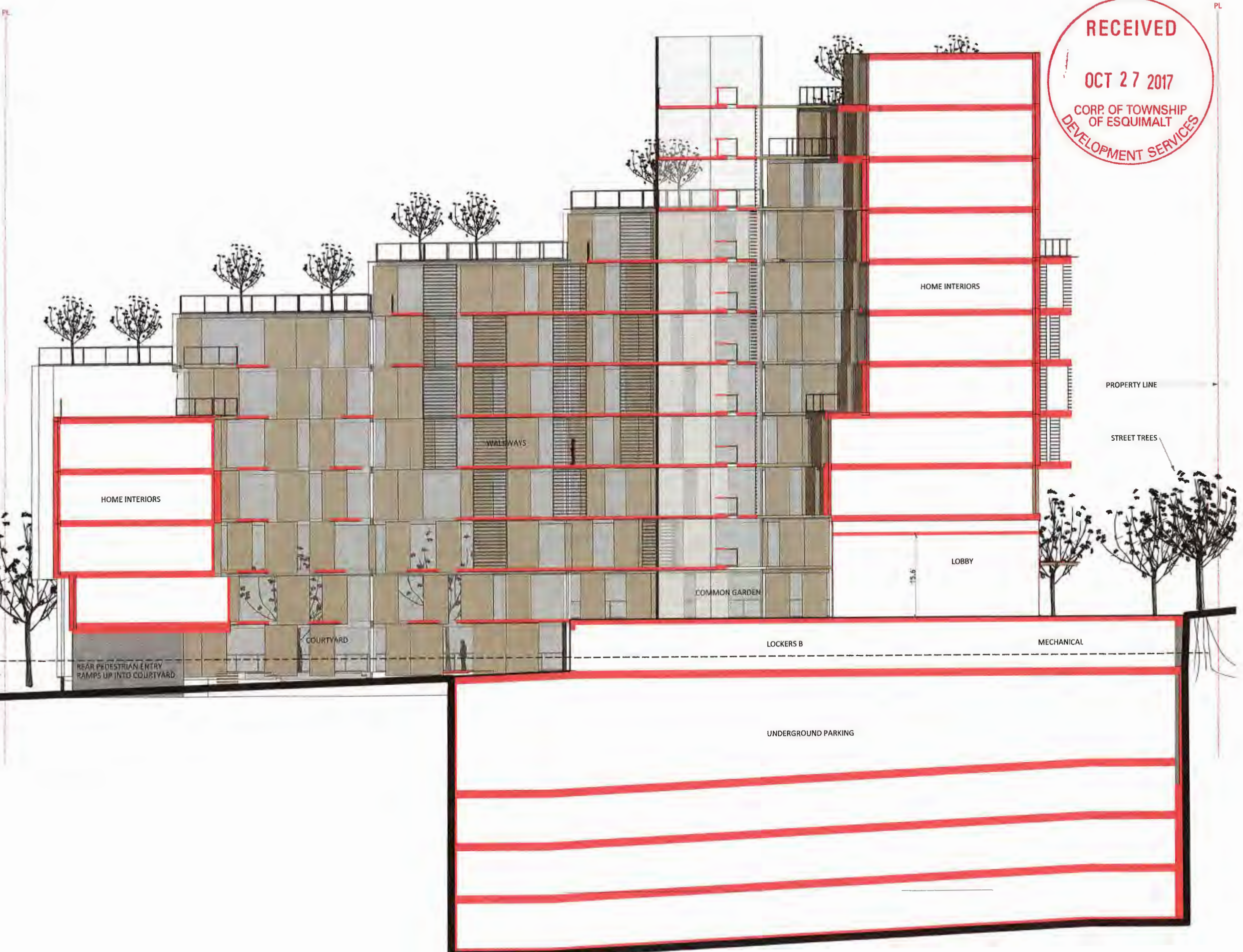
LEVEL 4
53.36' (16.26m)

LEVEL 3
43.61' (13.29m)

LEVEL 2 (GROUND)
33.86' (10.32m)

AVERAGE GRADE
26.71' (8.14m)

LEVEL 1
24.11' (7.33m)



RECEIVED

OCT 27 2017

**CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**

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Developments Inc.**
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Not for construction
All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION APPLICATION
Oct 2, 2017	ADDITIONAL MATERIALS
Sept 15, 2017	REVISION APPLICATION
Sept 15, 2017	REVISION APPLICATION

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Project:
**CORVETTE
LANDING**
649 Constance Avenue,
438, 649, 652 Admirals Road,
Esquimalt (B.C.), V9A 6W9
Legal Lot Description:
P.L.D. 004574451
Lot 1
Plan VP13363

A3.02

Title:
**WEST-EAST SECTION
THRU COURTYARD**

Scale: 1/4" = 1'-0"

Date: Sept 15, 2017 DWG #

Drawn: JC

Reviewed: DL

T.O. ELEVATOR SHAFT	144.61' (44.08m)
ROOFTOP	141.11' (43.01m)
LEVEL 12	131.36' (40.04m)
LEVEL 11	121.61' (37.07m)
LEVEL 10	111.86' (34.09m)
LEVEL 9	102.11' (31.12m)
LEVEL 8	92.36' (28.15m)
LEVEL 7	82.61' (25.18m)
LEVEL 6	72.86' (22.21m)
LEVEL 5	63.11' (19.24m)
LEVEL 4	53.36' (16.26m)
LEVEL 3	43.61' (13.29m)
LEVEL 2 (GROUND)	33.86' (10.32m)
AVERAGE GRADE	26.71' (8.14m)
LEVEL 1	24.11' (7.34m)



1 NORTH - SOUTH SECTION (looking East)
scale 1:100

RECEIVED
OCT 27 2017
CORP OF TOWNSHIP
OF ESQUIMALT
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Not for construction
All Dimensions to be verified on-site

Date	Issued / Revision
Oct 27, 2017	REVISION APPLICATION 1
Oct 2, 2017	ADDITIONAL MATERIAL
Oct 2, 2017	REVISION APPLICATION 2
Oct 2, 2017	ADDITIONAL MATERIAL
Sept 15, 2017	REVISION APPLICATION
DATE	ISSUED / REVISION

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Project:
CORVETTE LANDING
699 Cormorant Avenue,
695, 695, 692 Admirals Road,
Esquimalt (BC), V8A 6W9
Legal Lot Description:
P.L.D. 004314451
Lot 1
Plan YP13563

A3.03
Title:
NORTH-SOUTH SECTION
Scale: 1/4" = 1'-0"
Date: Sept 15, 2017 DWG #:
Drawn: JAC
Approved: OL Revision: A

T.O. ELEVATOR SHAFT
144.61' (44.08m)

ROOFTOP
141.11' (43.01m)

LEVEL 12
131.36' (40.04m)

LEVEL 11
121.61' (37.07m)

LEVEL 10
111.86' (34.09m)

LEVEL 9
102.11' (31.12m)

LEVEL 8
92.36' (28.15m)

LEVEL 7
82.61' (25.18m)

LEVEL 6
72.86' (22.21m)

LEVEL 5
63.11' (19.24m)

LEVEL 4
53.36' (16.26m)

LEVEL 3
43.61' (13.29m)

LEVEL 2 (GROUND)
33.86' (10.32m)

AVERAGE GRADE
26.71' (8.14m)

LEVEL 1
24.11' (5.98m)



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OCT 27 2017

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

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Developments Inc.
Casey O'Syme, Troy Grant
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REGISTERED ARCHITECT
OLIVER LANG
OCT 26 2017
BRITISH COLUMBIA

Not for construction
All Dimensions to be verified on-site

Date	Issued / Revision
Oct 17, 2017	REVISION APPLICATION 1 -
Oct 2, 2017	ADDITIONAL MATERIAL -
Sept 15, 2017	REVISION APPLICATION 1 -
Sept 15, 2017	ADDITIONAL MATERIAL -
Sept 15, 2017	REVISION APPLICATION 1 -
Sept 15, 2017	ADDITIONAL MATERIAL -

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Project:
CORVETTE LANDING
669 Constance Avenue,
650, 660, 640 Admirals Road,
Esquimalt (BC), V8A 6N9
Legal Lot Description:
Plan 1
Plan W913563

A4.01

Title:
EAST ELEVATION

Scale:	File: CLM
Date: Sept 15, 2017	DWG #:
Drawn: HC	
Reviewed: OL	Revision:

T.O. ELEVATOR SHAFT
144.61' (44.08m)

ROOFTOP
141.11' (43.01m)

LEVEL 12
131.36' (40.04m)

LEVEL 11
121.61' (37.07m)

LEVEL 10
111.86' (34.09m)

LEVEL 9
102.11' (31.12m)

LEVEL 8
92.36' (28.15m)

LEVEL 7
82.61' (25.18m)

LEVEL 6
72.86' (22.21m)

LEVEL 5
63.11' (19.24m)

LEVEL 4
53.36' (16.26m)

LEVEL 3
43.61' (13.29m)

LEVEL 2 (GROUND)
33.86' (10.32m)

AVERAGE GRADE
26.71' (8.14m)

LEVEL 1
24.11' (5.98 m)



1 WEST ELEVATION
scale 1:100

RECEIVED
OCT 27 2017
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Client:
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Developments Inc.**
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Phone: 780.363.8537 (Troy)

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Not for construction
All dimensions to be verified on-site

REV	DATE	DESCRIPTION
3	Oct 27, 2017	REVISION APPLICATION 1
2	Oct 2, 2017	REVISION APPLICATION 1
1	Sept 15, 2017	REVISION APPLICATION 1
#	Date	Drawn / Revision

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Project:
**CORVETTE
LANDING**
659 Constance Avenue,
658, 660, 662 Admirals Road,
Esquimalt (BC), V9A 6N9
Legal Lot Description:
P.L.O. 004574451
Lot 1
Plan VPP13963

A4.02
Title:
WEST ELEVATION
Scale: File: 04_00
Date: Sept 15, 2017 DWG #:
Drawn: JMC
Reviewed: OL Revision:

RECEIVED

OCT 27 2017

CORP. OF TOWNSHIP OF ESQUIMALT DEVELOPMENT SERVICES

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 Ken Shea
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 Email: ken@abegroup.com
 Phone: 604 684 5995

REGISTERED ARCHITECT
OLIVER LANG
OCT 26 2017
BRITISH COLUMBIA

Not for construction
 All Dimensions to be verified on-site

1	Oct 13, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIAL
2	Oct 2, 2017	REVISION APPLICATION 2 - ADDITIONAL MATERIAL
3	Sept 15, 2017	REVISION APPLICATION 3
4	Date	Issued / Revised

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Project:
CORVETTE LANDING
 648 Constance Avenue,
 439, 440, 442 Admirals Road,
 Esquimalt (BC), V9A 6P9
 Legal Lot Description:
 P.L.S. 004314931
 Lot 1
 Plan YP13563

A4.03

Title:
NORTH ELEVATION

Scale: 1/8" = 1'-0"
 Date: Sept 15, 2017 DWG #:
 Drawn: NC
 Reviewed: CK

- T.O. ELEVATOR SHAFT
144.61' (44.08m)
- ROOFTOP
141.11' (43.01m)
- LEVEL 12
131.36' (40.04m)
- LEVEL 11
121.61' (37.07m)
- LEVEL 10
111.86' (34.09m)
- LEVEL 9
102.11' (31.12m)
- LEVEL 8
92.36' (28.15m)
- LEVEL 7
82.61' (25.18m)
- LEVEL 6
72.86' (22.21m)
- LEVEL 5
63.11' (19.24m)
- LEVEL 4
53.36' (16.26m)
- LEVEL 3
43.61' (13.29m)
- LEVEL 2 (GROUND)
33.86' (10.32m)
- AVERAGE GRADE
26.71' (8.14m)
- LEVEL 1
24.11' (7.35m)



1 NORTH ELEVATION
 scale 1:100

T.O. ELEVATOR SHAFT
144.61' (44.08m)

ROOFTOP
141.11' (43.01m)

LEVEL 12
131.36' (40.04m)

LEVEL 11
121.61' (37.07m)

LEVEL 10
111.86' (34.09m)

LEVEL 9
102.11' (31.12m)

LEVEL 8
92.36' (28.15m)

LEVEL 7
82.61' (25.18m)

LEVEL 6
72.86' (22.21m)

LEVEL 5
63.11' (19.24m)

LEVEL 4
53.36' (16.26m)

LEVEL 3
43.61' (13.29m)

LEVEL 2 (GROUND)
33.86' (10.32m)

AVERAGE GRADE
26.71' (8.14m)

LEVEL 1
24.11' (5.98 m)

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OCT 27 2017

CORP. OF TOWNSHIP OF ESQUIMALT DEVELOPMENT SERVICES

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REGISTERED ARCHITECT
OLIVER LANG
OCT 26 2017
BRITISH COLUMBIA

Not for construction
All Dimensions to be verified on-site

Date	Issued / Revision
Oct 22, 2017	REVISION APPLICATION 1 - ADDITIONAL MATERIALS
Oct 2, 2017	REVISION APPLICATION 2 - ADDITIONAL MATERIALS
Sept 15, 2017	REVISION APPLICATION
	Date

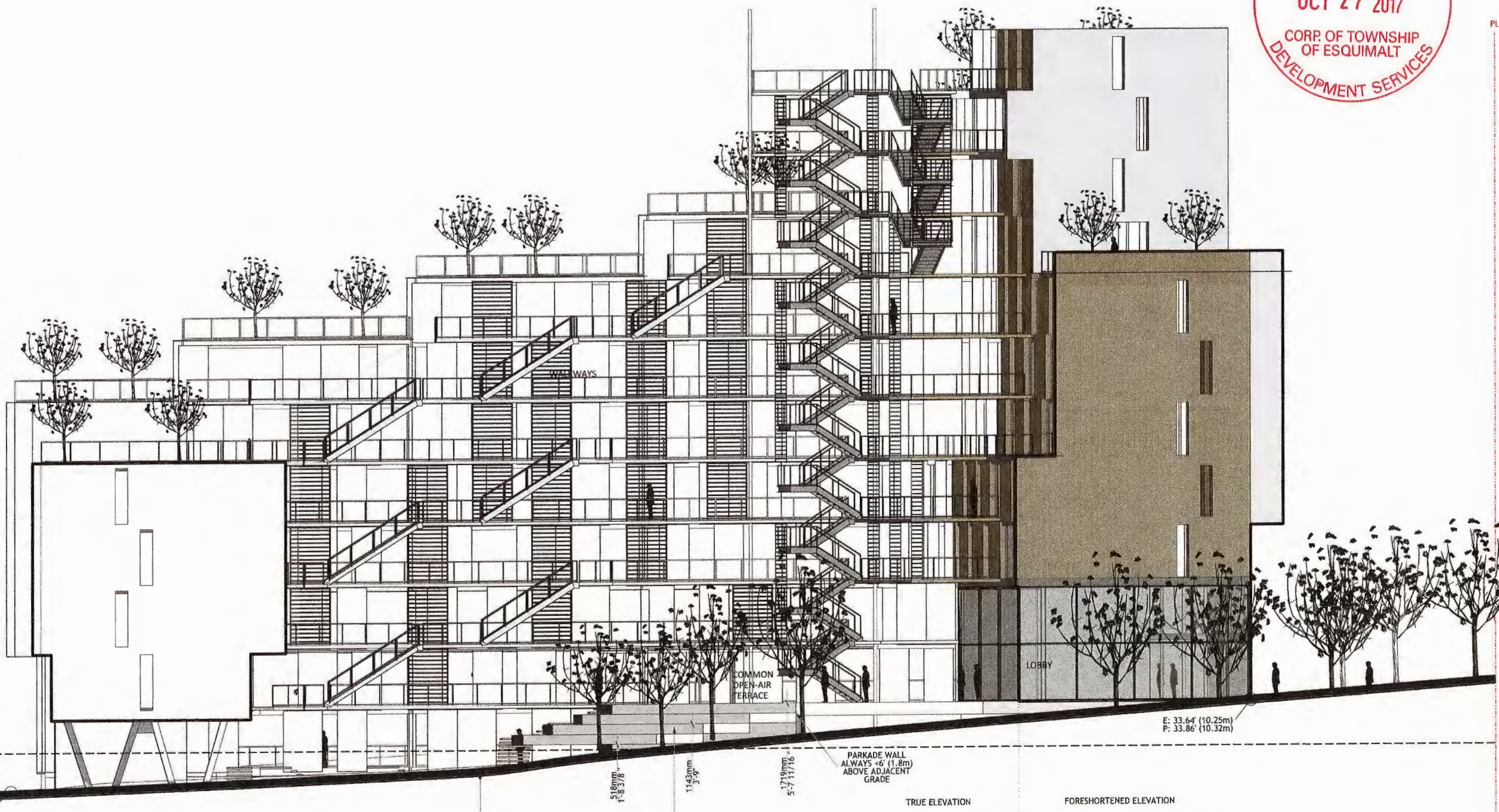
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Project:
CORVETTE LANDING
489 Constance Avenue,
554, 640, 682 Admirals Road,
Esquimalt (BC), V9A 6W9
Legal Lot Description:
P.L.S. 004521451
Lot 1
Plan V191363

A4.04

Title:
SOUTH ELEVATION

Scale: 1/8" = 1'-0"
Date: Sept 15, 2017 DWG #:
Drawn: MC
Reviewed: OL Revision: A



E: 20.83' (6.35m)
P: 19.61' (5.98 m)

EXISTING GRADE

COURTYARD EDGE
STEPS DOWN TO
MINIMIZE
PROTRUDING ABOVE
ADJACENT GRADE

PARKADE WALL
ALWAYS < 6" (1.5m)
ABOVE ADJACENT
GRADE

TRUE ELEVATION FORESHORTENED ELEVATION

1 SOUTH ELEVATION
scale 1:100



Reconstituted Oak Siding or White Wash Alternative



White Metal Panel Siding



White Fiber Cement Panel or Similar Panel



Eucalyptus Wood Siding or Similar



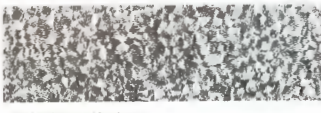
Board Form Concrete Base



Cedar Wooden Slats (screening)

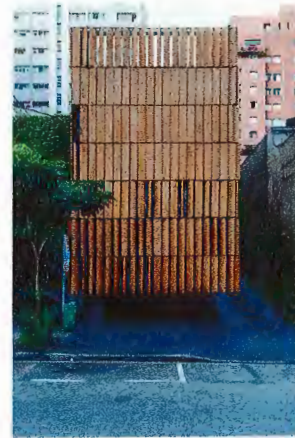


Black Window Frame



Galvalume Flashing

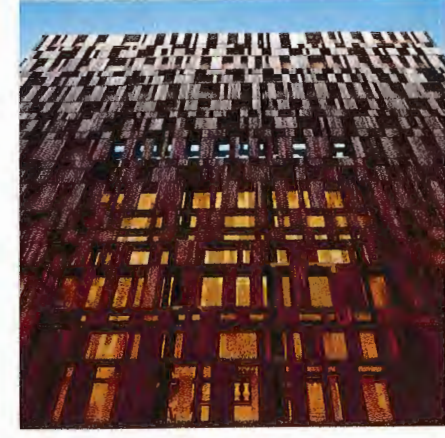
1 PROJECT COLOUR BOARD



Restaurante Bossa by Rosenbaum + Multi Randolph



Comte Vollenweider by Aldo Amoretti



Casas Consistoriales de Baeza by Viar Estudio

2 WOODEN SCREEN PRECEDENTS



Hoshinosato Annex by Kengo Kuma



Youth Centre in Tadley by Ayre Chamberlain Gaunt



Ostrava City Gate by Kuba & Pilaf Architekti

3 CO-EXISTENCE OF MATERIALS PRECEDENTS



Münchener Rückversicherungsgesellschaft by Sauerbruch Hutton Gesellschaft von Architekten



Edificio Diagonal Barcelona by David Chipperfield

4 COLOUR ACCENTS PRECEDENT

5 VARYING COLOUR PANELS PRECEDENT

Client: Standing Stone Developments Inc. Casey O'Byrne, Troy Grant 10050 101a Ave NW Edmonton, Alberta, T5J 3G2 Email: casey@standingstone.ca, troy@standingstone.ca Phone: 780.263.8537 (Troy)

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Building Envelope: BSH Building Science Inc. James Padgett 224 W 8th Avenue Vancouver, BC, V5Y 1A8 Email: james@bsb.com Phone: 604 673 1181 x 211

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Mechanical: AME Group Ken Shaw 1100-8 West Hastings Street Vancouver, BC, V6C 2X1 Email: ken@amegroup.ca Phone: 604 684 5995



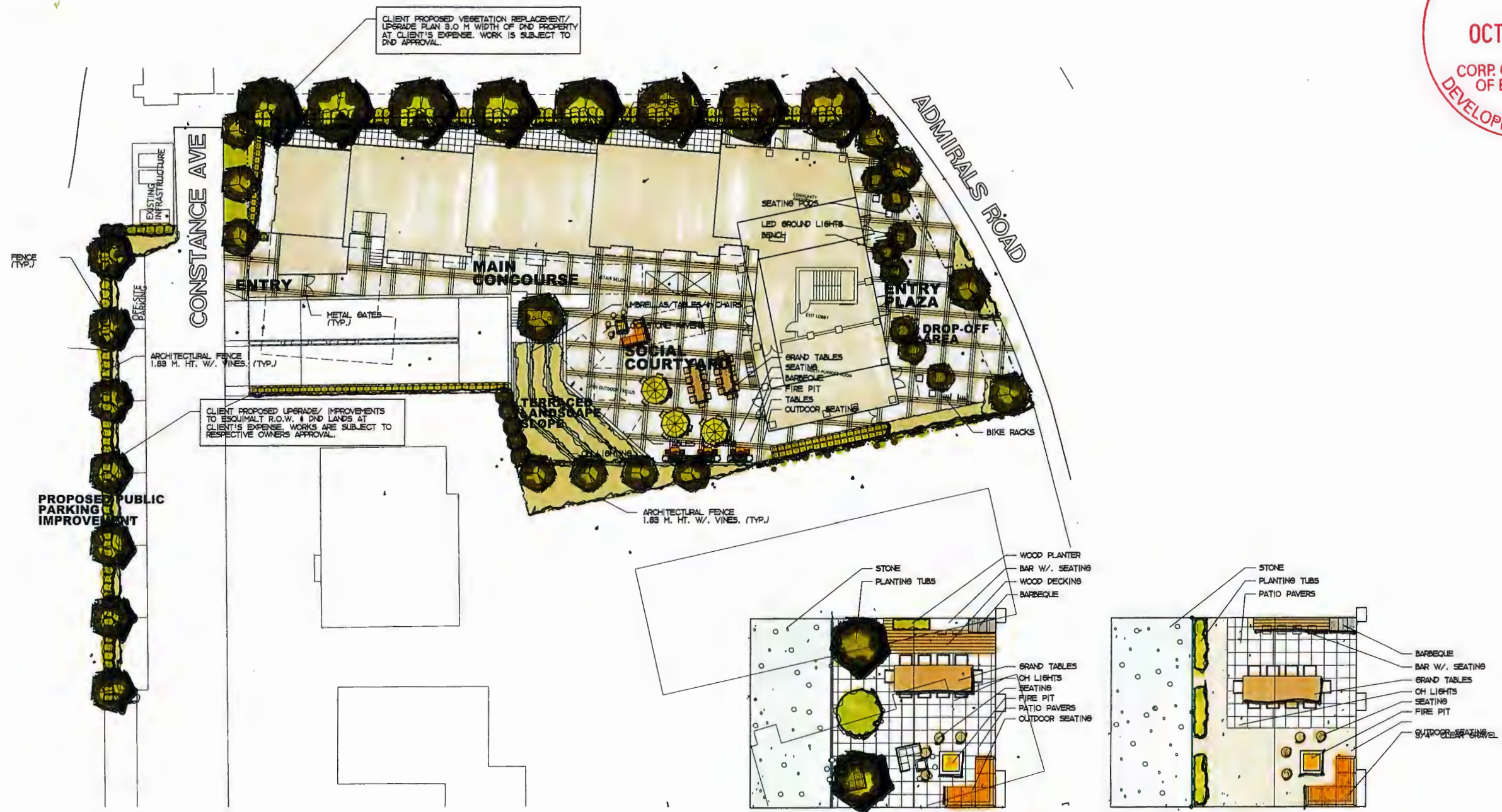
Table with 2 columns: Date, Description. Includes entries for Rezoning Application 1, 2, and 3.

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Project: CORVETTE LANDING 443 Constance Avenue, 656, 640, 642 Admirals Road, Esquimalt (BC), V8A 8W9. Legal Lot Description: P.L.S. 00021401 Lot 1 Plan VP13363

A4.05 Title: COLOUR BOARD + PRECEDENTS Scale: 1/8" = 1'-0" Date: Sept 15, 2017 DWG #: Drawn: HC Reviewed: OL Revision: A

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 DEVELOPMENT SERVICES



SITE PLAN
 SCALE: 1/200

TYPICAL RESIDENTS ROOF DECKS
 SCALE: 1/75

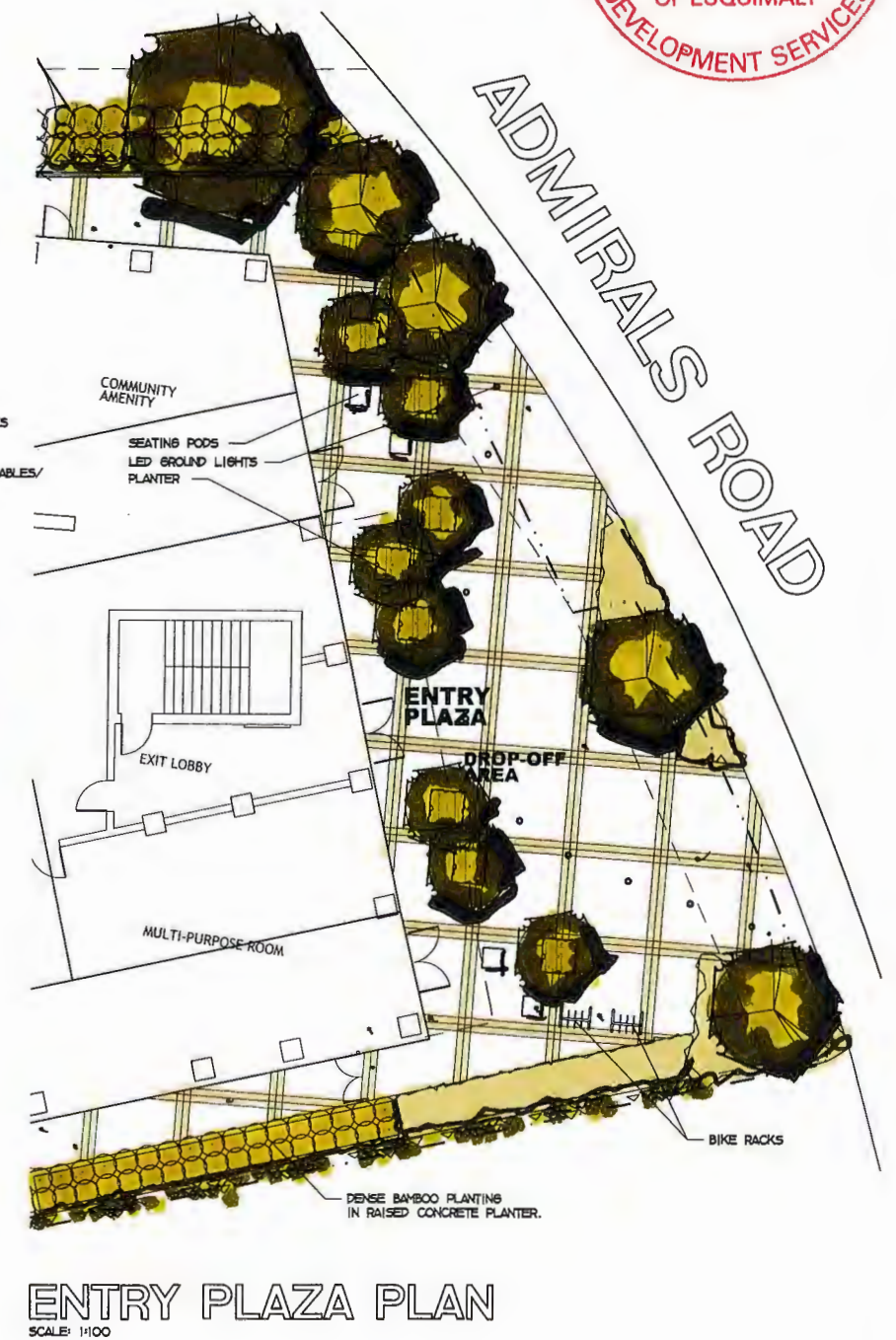
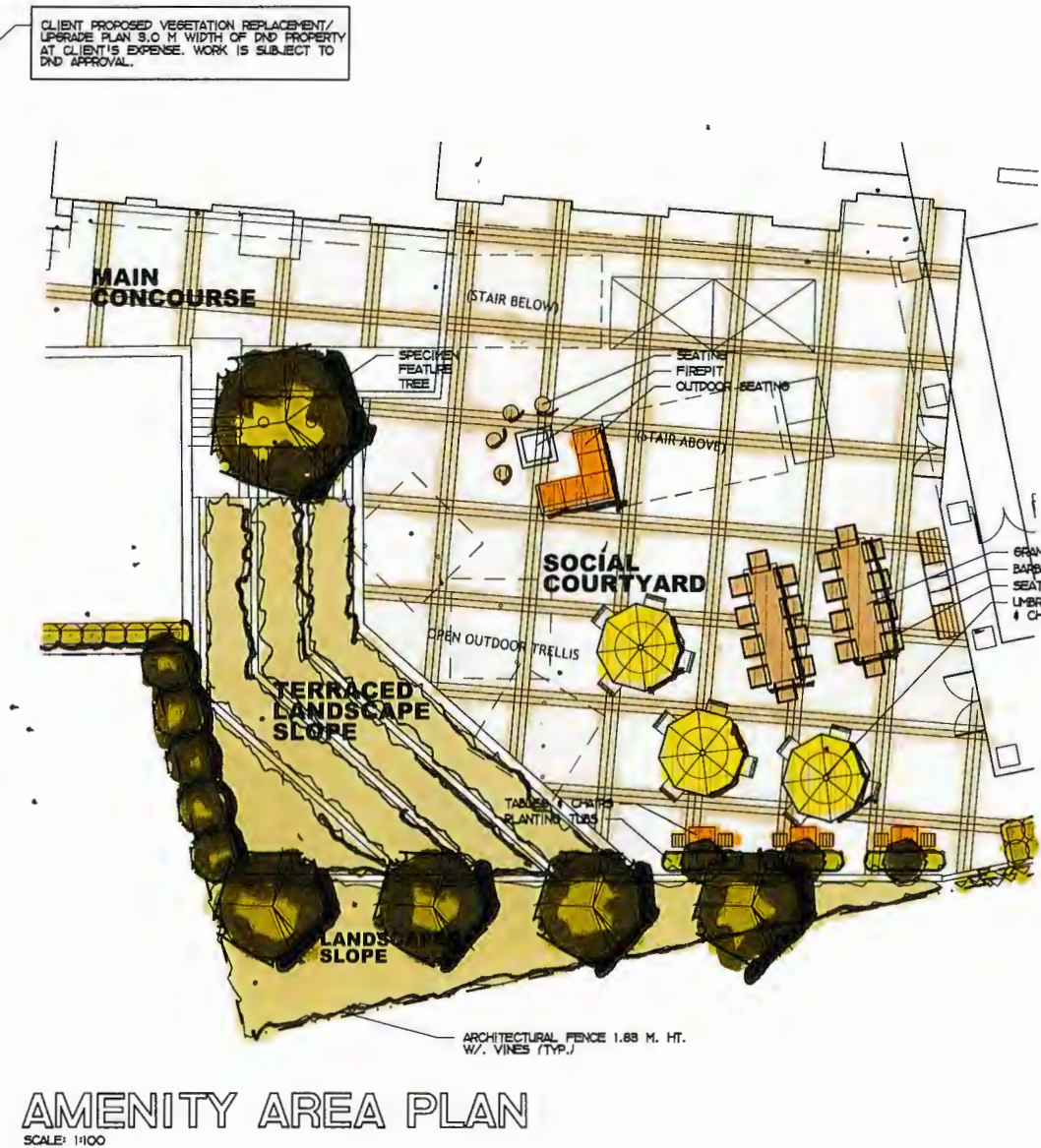
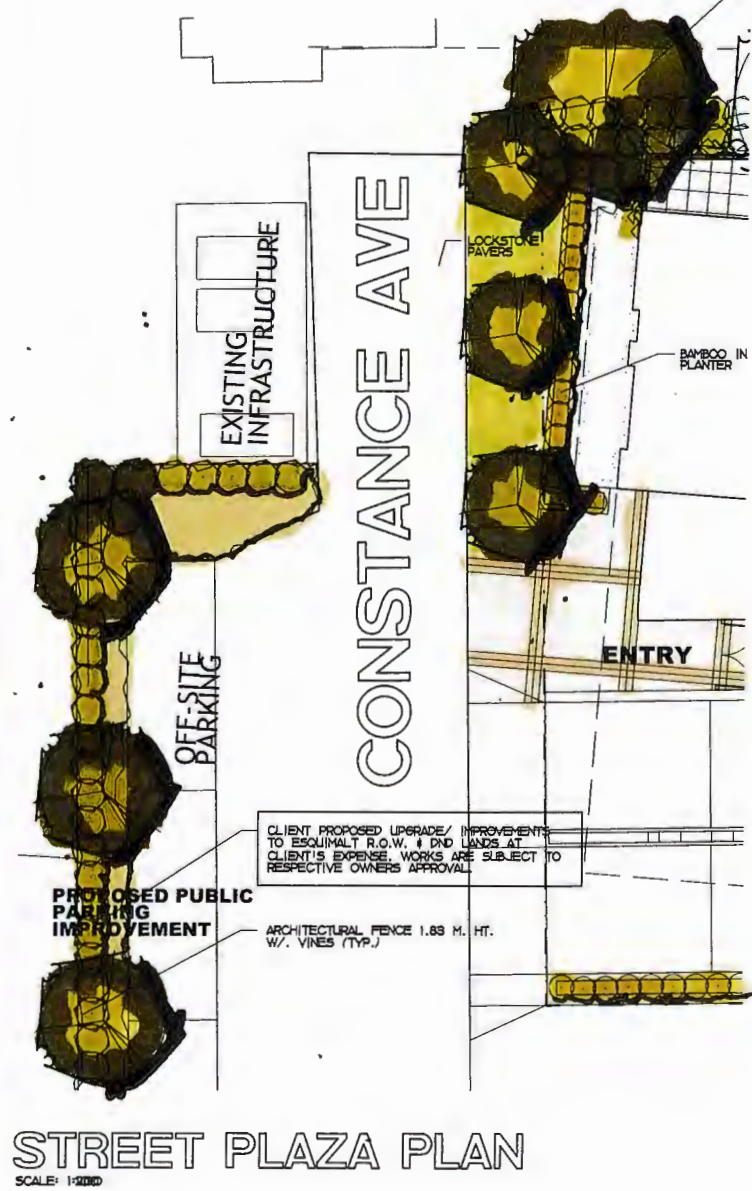
NO.	DATE	BY	REVISION

Lombard North Group
 LOMBARD NORTH GROUP (BC) INC.
 634 COMMERCE STREET,
 VICTORIA, BRITISH COLUMBIA V8W 1R1
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 EMAIL: lombard@lombard.ca

CORVETTE LANDING
 VICTORIA, B.C.

LANDSCAPE PLAN | P1

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OF ESQUIMALT
DEVELOPMENT SERVICES



NO.	DATE	BY	REVISION
1			
S.P.			
PROJECT	J.P.		
DATE	OCTOBER 27, 2017		
CL	PR4R7_DWS		
TITLE	441_17_01		

Lombard North Group
Lombard North Group (BC) Inc.
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TELEPHONE: (250) 388-1138
FAX: (250) 388-1132
EMAIL: lombard@lombard.ca

CLIENT NAME

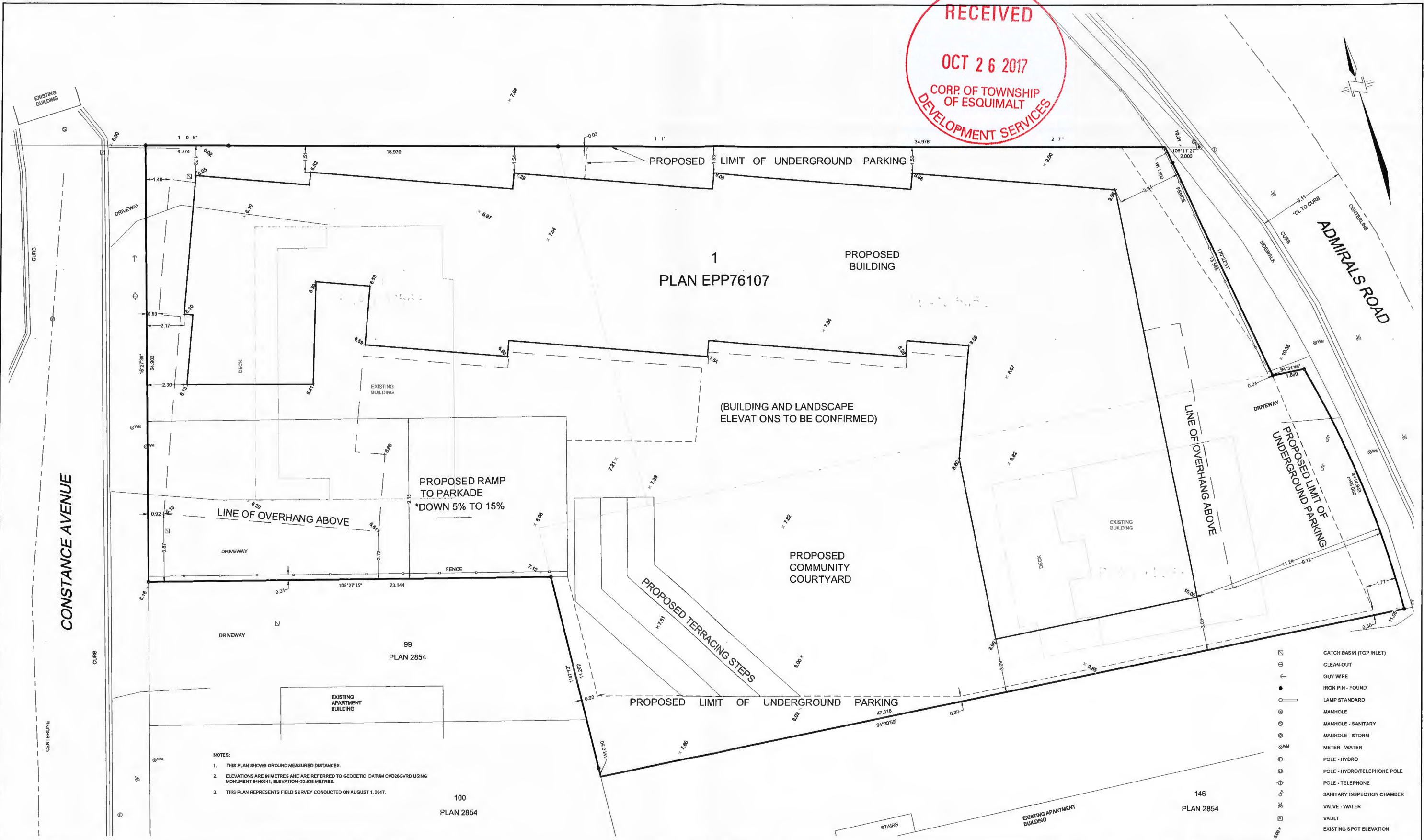
CORVETTE LANDING

VICTORIA, B.C.

DATE

LANDSCAPE PLAN | P2

RECEIVED
OCT 26 2017
 CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES



NOTES:
 1. THIS PLAN SHOWS GROUND MEASURED DISTANCES.
 2. ELEVATIONS ARE IN METRES AND ARE REFERRED TO GEODETIC DATUM CVD280VRD USING MONUMENT 84H0241, ELEVATION=22.528 METRES.
 3. THIS PLAN REPRESENTS FIELD SURVEY CONDUCTED ON AUGUST 1, 2017.

- ☐ CATCH BASIN (TOP INLET)
- ⊕ CLEAN-OUT
- GUY WIRE
- IRON PIN - FOUND
- LAMP STANDARD
- ⊙ MANHOLE
- ⊙ MANHOLE - SANITARY
- ⊙ MANHOLE - STORM
- ⊙ METER - WATER
- ⊙ METER - HYDRO
- ⊙ POLE - HYDRO/TELEPHONE POLE
- ⊙ POLE - TELEPHONE
- ⊙ SANITARY INSPECTION CHAMBER
- ⊙ VALVE - WATER
- ⊙ VAULT
- ⊙ EXISTING SPOT ELEVATION

Rev	Date	Description	Surv	Drawn	App'd
2	2017-10-27	GENERAL TEXT REVISIONS	JC	VE	GO
1	2017-10-25	FOR REVIEW	JC	VE	GO
0	2017-09-15	ORIGINAL ISSUE	JC	LM	GO

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0 1:100 5

ORIGINAL DWG. SIZE: ANSI D (22" x 34")
 ALL DIMENSIONS ARE IN METRES

McElhanney
 McElhanney Consulting Services Ltd.

Suite 500
 3560 Quadra Street
 Victoria BC
 Canada V8X 4A3
 Tel 250 370 9221

Approved Sealed

STANDING STONE DEVELOPMENTS INC.

**CORVETTE LANDING
 SITE PLAN TO ACCOMPANY
 A RE-ZONING APPLICATION**

662 Admirals Rd
 VICTORIA, BC

Drawing No.
03364-V-1

Project Number
 2113-03364-00

Rev.
 2