



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DESIGN REVIEW COMMITTEE AGENDA

WEDNESDAY, JUNE 14, 2017
3:00 P.M.

ESQUIMALT COUNCIL CHAMBERS

MEMBERS: Roger Wheelock (Chair) Wendy Kay
Ally Dewji Richard Iredale
Paul De Greeff Jill Singleton
Robert Schindelka

RESOURCE MEMBER: Cst. Franco Bruschetta [Non-Voting]

COUNCIL LIAISON: Councillor Beth Burton-Krahn
Councillor Olga Liberchuk

STAFF LIAISON: Bill Brown, Director of Development Services

SECRETARY: Pearl Barnard

I. CALL TO ORDER

II. LATE ITEMS

III. ADOPTION OF AGENDA

IV. ADOPTION OF MINUTES – MARCH 8, 2017

V. STAFF REPORT

1) DEVELOPMENT PERMIT

860 Esquimalt Road

[PID 001-122-134 Lot A Section 11 Esquimalt District Plan VIP42081]

PURPOSE OF APPLICATION:

The owner is proposing to extensively update the building including substantial changes to the exterior with new materials for the façade and new signage. A Development Permit for Development Permit Area No. 2 – *Commercial [Guidelines attached]* is required before a building permit can be issued.

The multiple signs do not all meet the requirements of Sign Regulation Bylaw 1996, No. 2252; therefore, a Development Variance Permit will also be required before a building permit can be issued.

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] **provide comments** to Council and the Director of Development Services on the exterior alterations and new signage proposed for 860 Esquimalt Road as illustrated in the architectural drawings prepared by James Kerr, Architect AIBC, stamped "Received May 29, 2017", for the property at PID 001-122-134, Lot A Section 11 Esquimalt District Plan VIP42081 [1149 Esquimalt Road]; **make a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the recommendation.**

2) REZONING APPLICATION
615 Fernhill Road
[PID 004-757-742 Lot B Section 11 Esquimalt District Plan 12446]

PURPOSE OF APPLICATION:

The applicant is requesting a change in zoning from the current RD-1 [Two Family Residential] zoning which currently regulates the subject property to a Comprehensive Development Zone [CD] to facilitate a new four storey, residential building containing 10 residential units.

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends that the application for rezoning to permit a new four storey, residential building containing 10 residential units and incorporating siting, height and massing consistent with architectural plans provided by MJM Architect Inc., stamped “Received May 30, 2017” for the property at PID 004-757-742, Lot B Section 11 Esquimalt District Plan 12446 [615 Fernhill Road], be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

VI. STAFF LIAISON STATUS REPORT

VII. NEW BUSINESS

VIII. NEXT REGULAR MEETING
July 12, 2017

IX. ADJOURNMENT



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY DESIGN REVIEW COMMITTEE
MEETING MINUTES

HELD

MARCH 8, 2017

ESQUIMALT COUNCIL CHAMBERS

MEMBERS PRESENT:	Paul De Greeff Jill Singleton Robert Schindelka Cst. Franco Bruschetta	Ally Dewji Wendy Kay Richard Iredale
REGRETS:	Roger Wheelock (Chair)	
STAFF LIAISON:	Bill Brown, Director, Development Services	
STAFF:	Trevor Parkes, Senior Planner	
COUNCIL LIAISON:	Councillor Olga Liberchuk	
SECRETARY:	Pearl Barnard	

I. CALL TO ORDER

The Chair called the meeting to order at 3:02 p.m.

II. LATE ITEMS

No late items

III. ADOPTION OF AGENDA

Moved by Jill Singleton, seconded by Wendy Kay: That the agenda be adopted as distributed. **Carried Unanimously**

IV. ADOPTION OF MINUTES – February 9, 2017 and February 16, 2017

Moved by Robert Scindelka, seconded by Richard Iredale: That the minutes of February 9, 2017 and February 16, 2017 be adopted as distributed. **Carried Unanimously**

V. STAFF REPORT

DEVELOPMENT PERMIT APPLICATION

“West Bay Triangle”

468 Head Street [Lot 8, Block H, Section 11, Esquimalt District, Plan 292]
470 Head Street [Lot 5, Block H, Section 11, Esquimalt District, Plan 292]
472 Head Street [Lot 4, Block H, Section 11, Esquimalt District, Plan 292]
515 Gore Street [Lot 1, Block H, Section 11, Esquimalt District, Plan 292]
509 Gore Street [Lot 2, Block H, Section 11, Esquimalt District, Plan 292]
922 Lyall Street [Strata Lot 1, Section 11, Esquimalt District, Strata Plan 509]
920 Lyall Street [Strata Lot 1, Section 11, Esquimalt District, Strata Plan 509]
918 Lyall Street [Lot 6, Block H, Section 11, Esquimalt District, Plan 292]
912 Lyall Street [Lot 7, Block H, Section 11, Esquimalt District, Plan 292]

Trevor Parkes, Senior Planner gave a brief overview of the project. Mr. Parkes explained that the Design Review Committee had considered this application at their February 9, 2017 meeting and at that time had expressed concerns relating to surface parking, street

trees and the enclosure of the triangle portal down to the parking garage. In response, the applicant has made amendments to the proposal with focus on the public realm improvements on all three frontages of the site.

Mark Lindholm, owner / applicant; Peter Hardcastle and Karen Hillel, Hillel Architecture; David Price and Max Tomaszewski, consultants were in attendance.

Peter Hardcastle gave a PowerPoint presentation. Mr. Hardcastle advised that eleven street trees have been added to the public realm, the width of the sidewalks on all three sides of the triangle has been increased to 2.15 metres, a landscape buffer has been added along Lyall Street, and a series of triangular sails has been added to screen the opening to the triangle.

The Chair thanked the applicant for the presentation.

Committee Members had the following questions and comments:

- Excellent presentation, a lot of work went into this project. The changes you came back with are beautiful and the extra public green space along the north side of Lyall Street is wonderful.
- Is the sidewalk on Head Street 2.4 metres wide? Mr. Hardcastle advised it is 2.3 metres wide.
- Is the surface parking area the only place where asphalt is being utilized within the landscape plan? Mr. Hardcastle advised that it is the only asphalt on the site but is something that could be easily reconsidered. A member suggested the applicant consider softer material for the parking lot surfacing.
- A member applauded the applicant for coordinating with the various departments to get that extra green space along Lyall Street.
- A Member asked if there had been a change to the number of surface parking spaces. Mr. Hardcastle advised that the zoning that is in place requires a certain number of spaces. He then explained that due to the very large CRD sanitary sewer main; it would be difficult to relocate any surface parking to the underground area. A member then commented that from an urban design point of view it would have been nicer to have less surface parking and more green space.
- A member asked about the fabric sails; how will they be maintained, what is the life of, angle and how will water move on them. Mr. Hardcastle gave a brief overview of the fabric sails. Members offered that better schematic drawings would have helped them to visualize the sails.
- Members liked the fabric sails and thought it was a unique solution, but felt green space would have been nicer. Screening through the use of vegetation would be more useful and a better solution.

Concerns were raised in regards to how the sails would be maintained and whose responsibility it would be to replace them when needed. If the sails are costly and require a lot of maintenance then the Strata will likely pass a motion to remove them.

- A member felt that the issues raised at the last meeting had not been addressed and commented that the sails are distracting from the main point; which was that the opening to the triangle could be usable courtyard space.

Mr. Hardcastle explained that with the legal documents and zoning in place, it would be quite problematic to enclose the triangle. If the triangle was enclosed it would have an impact on the site coverage, building area and the floor space ratio, which would require a rezoning and another public hearing. He also explained that there would be various building code issues as well.

- A member asked staff, if the parkade (opening to the triangle) was landscaped would it be included as lot coverage or treated as open space? Mr. Parkes advised it would be considered as lot coverage. A member then asked if a variance could be done rather than rezoning. Mr. Parkes advised that staff would have to look at the implications associated with enclosure of the opening, whether or not it would be a variance or if a rezoning would be required. Staff would have to do a full plan analysis to ensure it is still compliant with the zone.

RECOMMENDATION:

Moved by Paul De Greeff, seconded by Wendy Kay: That the Esquimalt Design Review Committee [DRC] recommends to Council that the application for a Development Permit authorizing the form and character of the proposed development to that shown on architectural plans provided by Hillel Architecture, stamped “Received March 2, 2017”, and the landscape plan prepared by Small and Rossell Landscape Architects, stamped “Received March 2, 2017”, and sited as detailed on the survey plan prepared by prepared by McIlvaney Riley Land Surveying Inc., stamped “Received February 8, 2017” for the six storey, commercial and residential mixed use building containing ground floor commercial space oriented toward Head Street and 73 residential units, proposed to be located on the “West Bay Triangle” lands, **be forwarded to Council with a recommendation for approval with the following conditions:**

That the applicant:

1. **consider alternative materials to ‘soften’ the western parking lot surfacing; and**
2. **consider fully, or at least partially, enclosing the triangle opening to the parking garage and include this area as usable courtyard space. DRC encourages the applicant to work with staff to address zoning issues and any other obstacles to realizing this design change.**

The reason: Enclosure of this opening would strengthen the access for residents to meaningful outdoor amenity space. **The Motion Carried Unanimously.**

VI. STAFF LIASON STATUS REPORT

1. The Esquimalt Town Square project is underway.
2. There will be an open house on March 30, 2017 for the Esquimalt Road Urban Design Guidelines. Mr. Brown will send members an update with the time and location.
3. The English Inn project is moving ahead.

A member asked if there was an update on the Legion project. Mr. Brown advised he had not heard anything.

VII. NEW BUSINESS

VIII. NEXT REGULAR MEETING

Wednesday, April 12, 2017

IX. ADJOURNMENT

On motion the meeting adjourned at 3:55 p.m.



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: June 14, 2017

STAFF REPORT

DATE: June 9, 2017

TO: Chair and Members of the Design Review Committee

FROM: Karen Hay, Planner
Bill Brown, Director of Development Services

SUBJECT: **DEVELOPMENT PERMIT**
860 Esquimalt Road
[PID 001-122-134 Lot A Section 11 Esquimalt District Plan VIP42081]

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] **provide comments** to Council and the Director of Development Services on the exterior alterations and new signage proposed for 860 Esquimalt Road as illustrated in the architectural drawings prepared by James Kerr, Architect AIBC, stamped "Received May 29, 2017", for the property at PID 001-122-134, Lot A Section 11 Esquimalt District Plan VIP42081 [1149 Esquimalt Road]; **make a recommendation to either approve, approve with conditions, or deny the application; and provide reasons for the recommendation.**

BACKGROUND:

Purpose of the Application

The owner is proposing to extensively update the building including substantial changes to the exterior with new materials for the façade and new signage. A Development Permit for Development Permit Area No. 2 – *Commercial [Guidelines attached]* is required before a building permit can be issued.

The multiple signs do not all meet the requirements of Sign Regulation Bylaw 1996, No. 2252; therefore, a Development Variance Permit will also be required before a building permit can be issued.

Staff Questions for the Design Review Committee's Consideration

Staff request the Design Review Committee provide comments on the following items as they relate to the OCP Design Guidelines, and on the appearance and impact of the proposed signage on the street scape and public realm:

1. That the changes to the exterior of the buildings, including cladding and new roof profile are appropriate.

2. Whether the existing landscaping (no changes proposed) creates an attractive streetscape.
3. Whether the signage plan is appropriate; note that the freestanding sign post is to remain where it is, with some changes to the 'head section' of the sign.
4. Whether the outdoor lighting provided is appropriate in providing light to pedestrian areas.
5. Whether more ornamental lighting would be a benefit to the area.

Context

Architect: James Kerr, Architect, AIBC

Applicant: Jeff Hanley, HanCon Constructors

Owners: Michelle Hallaran [Marco Investments Ltd.]

Property Size: Metric: 1852 m² Imperial: 19,935 ft²

Existing Land Use: Commercial

Surrounding Land Uses:

North: Sports Field
South: Multiple Family Residential
West: Commercial
East: Commercial

ISSUES:

Development Permit Guidelines

The proposed building envelope changes appear to be generally consistent with the Development Permit Area No. 2 - Commercial Guidelines. A few inconsistencies have been identified.

The current ornamental lighting on the building would be removed in favour of new down lighting, and lighting in the new 'boomerang' canopy. As illustrated in the elevations (sheet A2) and the 'Re-Image Design Book' (page 16) there would be light on the building that is designed primarily to highlight the signage. Some existing lighting is to remain in the parking lot, to serve the pedestrian areas, with no increased illumination foreseen to the neighbouring properties.

There is little pedestrian protection in the way of awnings or canopies on either the existing building or with the proposed changes. The canopy is primarily decorative, serving as an extension of the signage design, as it has no ceiling panel to shield pedestrians from rain or snow.

The parking areas do have some landscaping, including trees, which helps break up the expanse of black top in the area. The site plan illustrates that the landscaping will be maintained primarily as is, with this renovation. The majority of the plants appear to be well maintained. Some small river rock, or concrete paving to match existing surface treatments, is proposed in some of the worn out grassy areas; next to the parking curbs and immediately adjacent to the building.

The area is fairly well maintained with lighting and public access to all outdoor areas, therefore

there is no decrease to public safety foreseen with the proposed changes.

The building is not located at the property line but the use of an outdoor patio creates a positive connection with the street and sidewalk.

Signage

Due to the number and variety of signs, at least one variance is anticipated in order to implement the proposed signage design.

Note: All projects are subject to compliance with the BC Building Code, Esquimalt Subdivision and Servicing Bylaw, Esquimalt Zoning Bylaw and other Regulations and Policies set by Council.

ALTERNATIVES:

1. Forward the application to Council with a recommendation of **approval**.
2. Forward the application to Council with a recommendation of **approval including specific conditions**.
3. Forward the application to Council with a recommendation of **denial**.

860 Esquimalt Road

L'ecole
Brodeur
Field

901

856

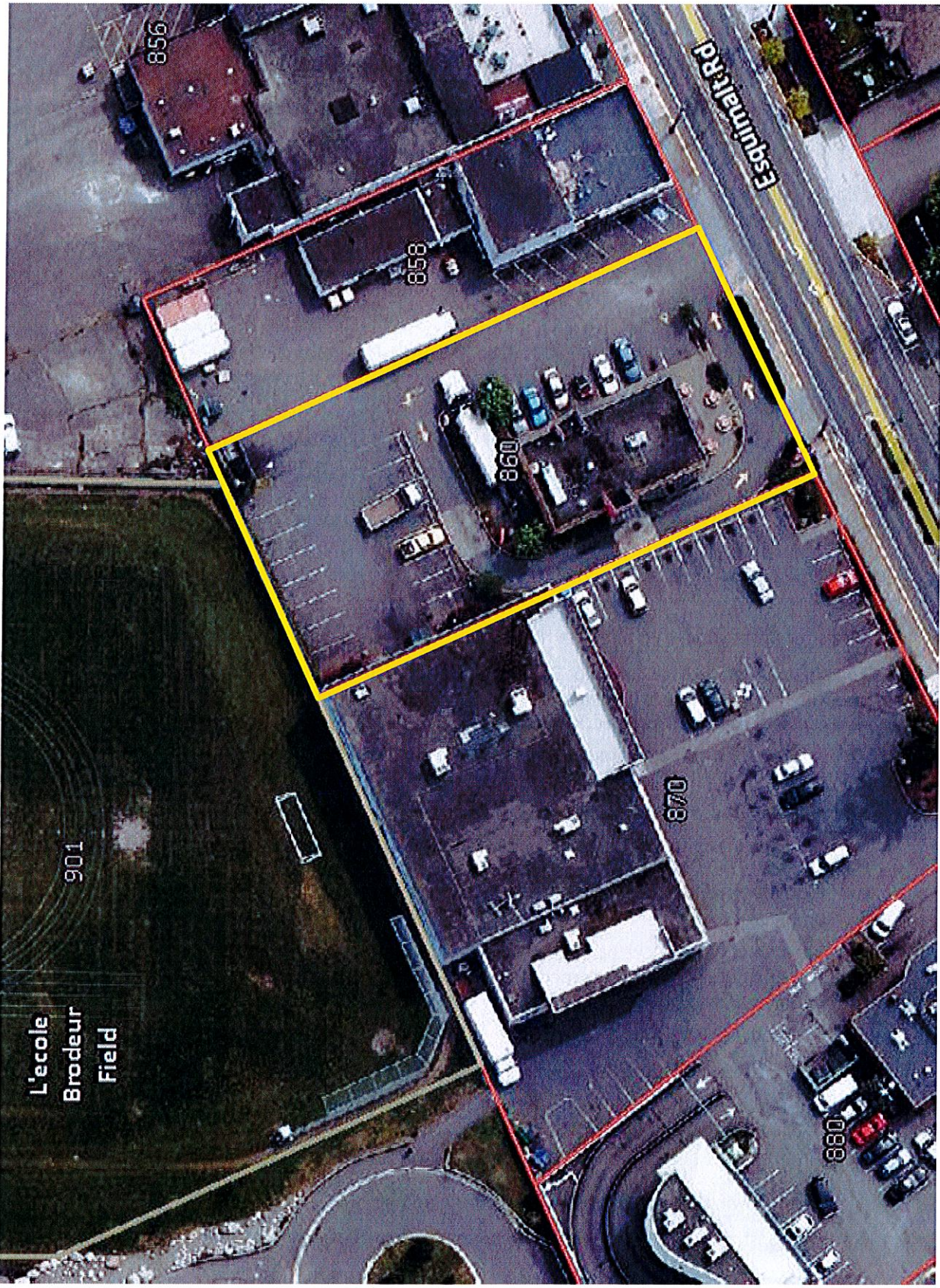
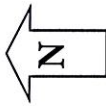
858

860

870

880

Esquimalt Rd



9.4 Development Permit Area No. 2 – Commercial

9.4.1 Scope

All lands designated Commercial on Schedule “C” are part of DPA No. 2.

9.4.2 Category

Section 919(1)(f) of the *Local Government Act* – form and character, commercial.

9.4.3 Justification

Traditionally, Esquimalt’s commercial areas have not been developed on the basis of a particular theme or concept. The design and form of commercial development has been rather haphazard and, as a result, the Esquimalt Village and other local commercial areas do not have the cohesiveness nor the attractiveness they could have.

When asked in a recent questionnaire to identify what they disliked most about Esquimalt, an overwhelming number of respondents identified the lack of a downtown commercial area, with appropriate shops and services, and the appearance of Esquimalt Road in the village core.

Where new development is to occur within Esquimalt’s commercial core, that development should add to the pedestrian appeal and overall appearance of the street through features such as easily accessible entrances, street furniture and public art, landscaping and attractive exterior finishing materials, and by their orientation to the street rather than to a parking lot or internal square.

The goals for Development Permit Area No. 2 are:

- a) to enhance the aesthetic image of Esquimalt’s commercial district, particularly those areas that are considered community focal points, such as the Village, the Head Street/Esquimalt Road intersection and major entrance points to the municipality;
- b) to revitalize existing commercial areas by encouraging a variety of businesses;
- c) to encourage growth in the tax base through diversified commercial development and redevelopment of existing commercial areas; and
- d) to encourage integrated residential/institutional/commercial uses in commercial areas.

9.4.4 Requirements of Owners of Land within the Development Permit Area

- a) Owners of land within Development Permit Area No. 2 must not do any of the following without first obtaining a development Permit in accordance with the guidelines for this Development Permit Area:
 - i) subdivide lands; or
 - ii) construct or alter a building or structure;without first obtaining a Development Permit in accordance with the guidelines of this Development Permit Area.
- b) Exemptions:

The following do not require a development permit:

 - i) construction of buildings or structures less than 10 square metres in area;

- ii) minor additions to existing structures where the floor area of the addition does not exceed 10 percent of the ground floor area of the structure;
- iii) emergency repairs to existing structures and public walkways where a potential safety hazard exists;
- iv) fences;
- v) the cutting of trees as permitted by the municipal tree protection bylaw; and
- vi) replacement or changing of existing signs, provided the sign area is not to be increased.

9.4.5 Guidelines for Owners of Land within the Development Permit Area

- a) Commercial building facades should be appropriate to a pedestrian shopping area with windows facing the street and doors opening onto the street rather than onto a courtyard or laneway. (See image)
- b) Ornamental lighting that not only highlights the building but also increases the amount of light falling onto pedestrian areas should be used wherever possible. However, commercial lighting should not create unnecessary glare or shine directly into neighbouring residential properties.
- c) Buildings should be designed and sited to minimize the creation of shadows on public spaces.
- d) Where possible, weather protection (i.e. awnings and canopies) should be provided above all pedestrian walkways including walkways to on-site parking areas.
- e) Off-street parking areas should be located either at the rear of commercial buildings or underground. Surface parking should be screened with landscaping. Large parking areas should contain additional islands of landscaping.
- f) The design of new commercial buildings, including areas use for parking, should incorporate Crime Prevention through Environmental Design (CPTED) principles.
- g) Buildings may be located at the front property line in order to create a pedestrian-oriented environment, except where vehicle visibility is affected and on those streets that have been identified as requiring future road widening.
- h) Landscape screening and fencing should be located around outdoor storage areas and garbage and recycling receptacles.
- i) Retention and protection of trees and the natural habitat is encouraged wherever possible.



A&W Restaurant, 860 Esquimalt Rd., Victoria BC

Exterior Materials & Finish Legend

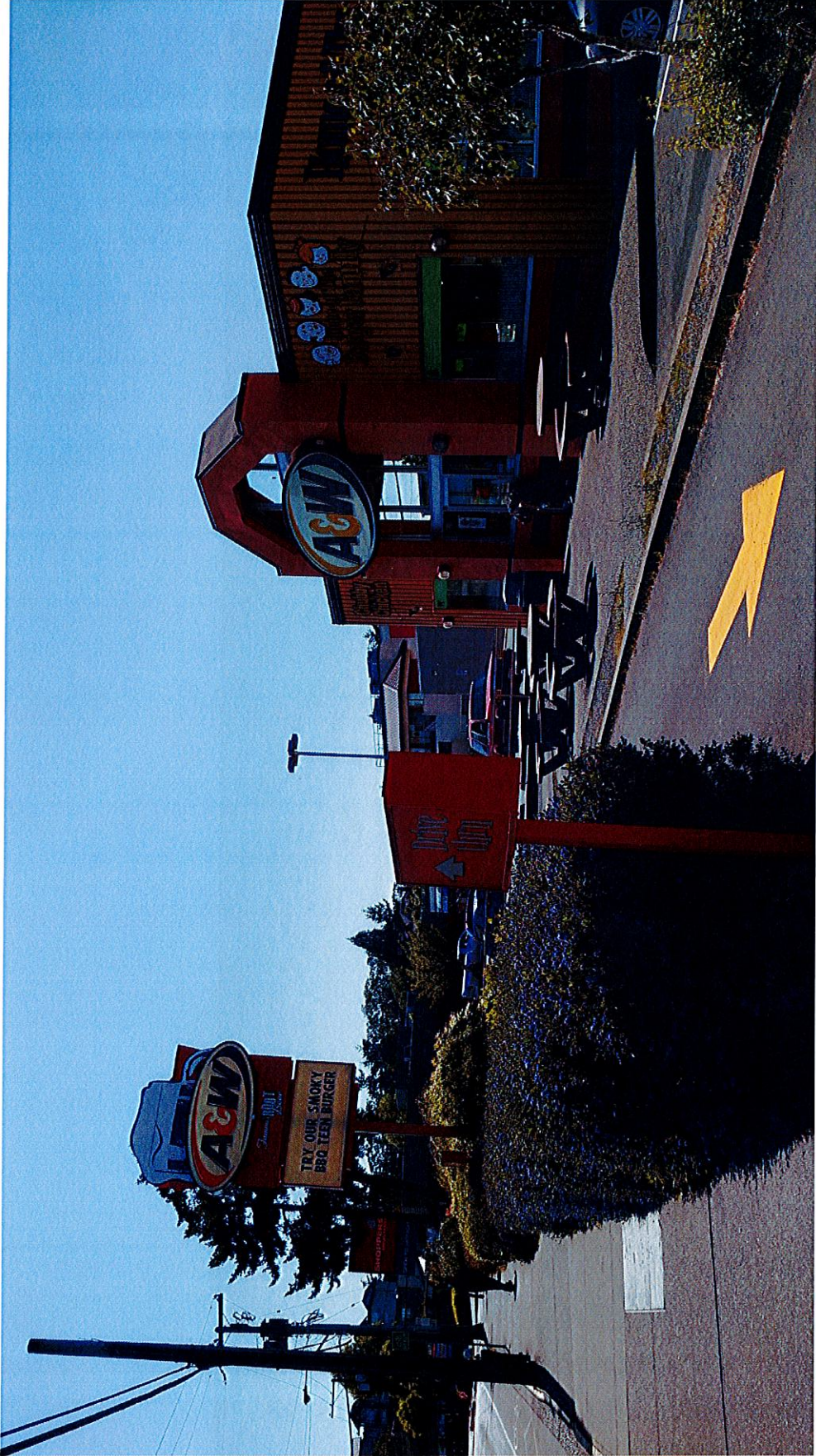
Standard Paint Colours (See note below)		Pantone	Swatch
Code	Manufacturer	Colour	
EP1	Benjamin Moore (Primarily for exterior walls and service doors)	Seed Brown 2096-10	
EP2	Benjamin Moore (Primarily for exterior menuboard, bollards, lot signs, order confirmation post, and painted checkerboard in some locations)	Rumba Orange 2014-20	
EP3	Benjamin Moore (Primarily for exterior walls)	Horizon OC-53	To match CL7
EP4	Benjamin Moore (Primarily for exterior base of walls)	Fainview taupe HC-85	
EP5	Any (Primarily for pole of existing pylon sign base for retrofits)	Silver	
EP6	Benjamin Moore (Primarily for painted checkerboard in some locations)	Rust 2175-30	
Fabrics	Manufacturer	Product	Finish/Colour
EV1	Eradi-Lite or Awnshade	Awning fabric Awning fabric	#2751 Orange (standard) #5123 Orange (standard)

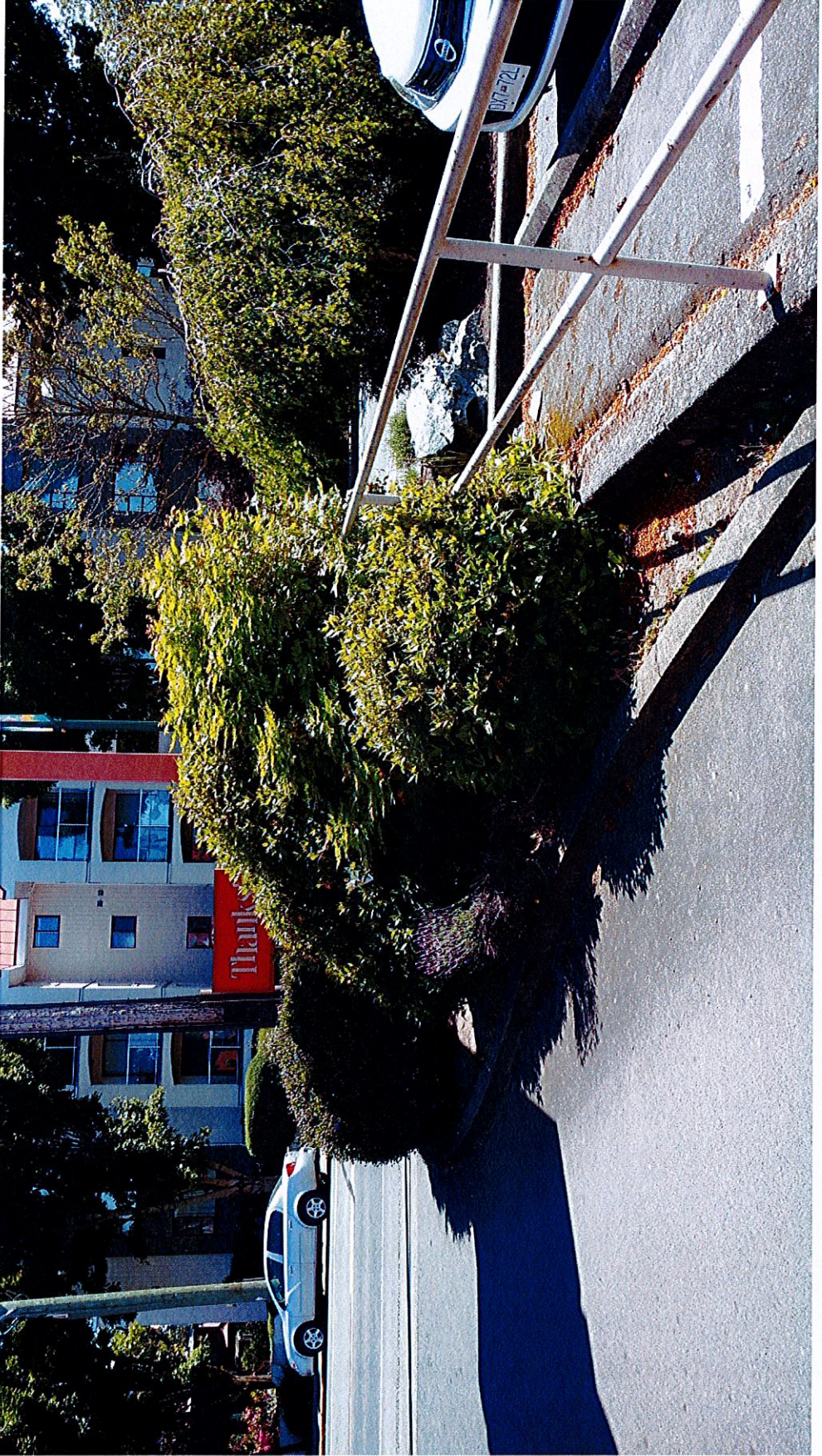
Metals	Description	Supplier	Finish/Colour	Swatch
CL3	6.25" Cement Plank Cedar mill lap siding Trim product shall be fry reglet fiber cement trim or similar (Primarily for exterior walls, includes starter track and other components)	James Hardie	Pre-painted Chestnut Brown or similar	
CL7	Ribbed Metal cladding (Primarily for new exterior cladding, 4-6 weeks lead time)	Vicwest Profile: CL 6025SR Gauge 26	Valspar WeatherX Bright White 56086	
FL1	Metal Flashing (Primarily for parapet flashing)	Source Locally	To match CL7	
FL4	Metal Flashing (Primarily for retrofitting bulkheads and former neon bands and above windows)	Source Locally	Metro Brown	
Other	Description	Supplier	Finish/Colour	Swatch
AW1	Illuminated Mini-Boomerang (Does not include space frame)	Lektron Inc. LED Light Band	A&W Orange	
Useful Contacts (See note below)				
Supplier	Phone	Rep	Web	
Benjamin Moore	(604) 607-3410	Jodi Reppert	www.benjaminmoore.ca	
Vicwest (for CL7 finishes)	(604) 946-5316	Kevin Bonogolski	www.vicwest.com	
Lektron Inc. LED Lighting Technology	(918) 622-4978 (USA)	Collin Washburn	www.lektroninc.com	
Albrite Lighting (for L1 light fixture)	(604) 828-5923	Alan Searcy	www.abritelighting.com	
James Hardie	(604) 349-6585	Josh O'Keefe	www.jameshardie.com	

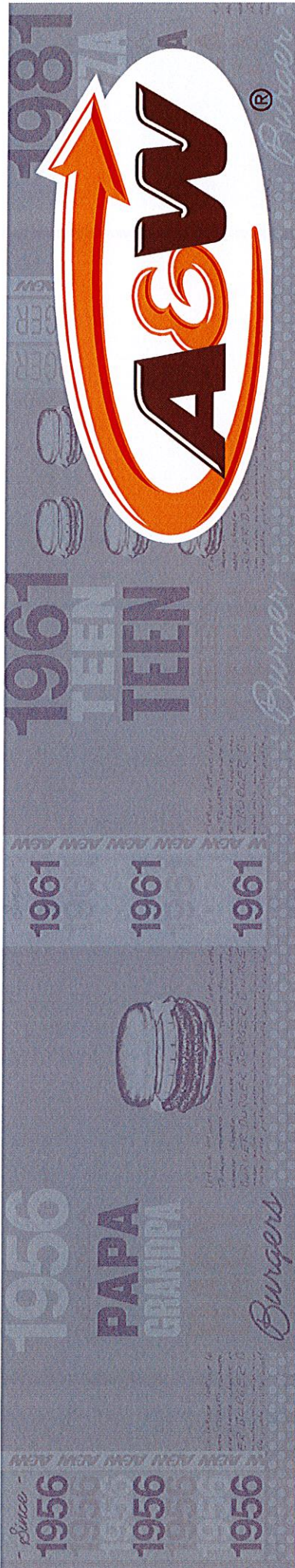
NOTE: 1) Paint colour specifications are provided for colour reference only, do not sample from this page. The type of paint (latex, oil-base, etc.) and finish (eggshell, high-gloss, etc.) will vary depending on the application and is further detailed in the Technical Notes.
 2) All contracts listed here, except Lektron Inc. are for reference only. Contractor can source similar matching product locally.

Site Landscaping Photos [James Kerr]









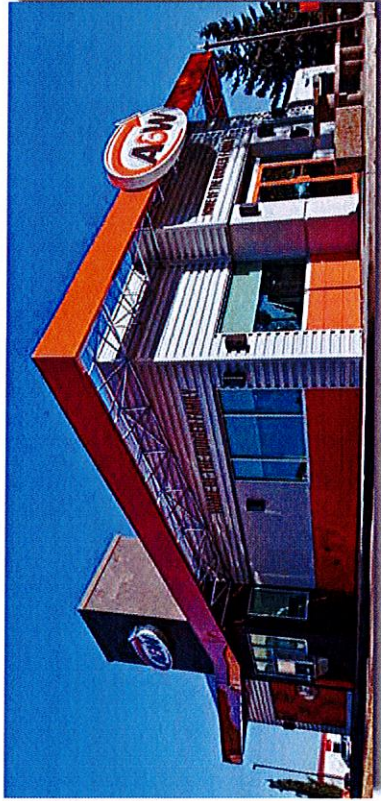
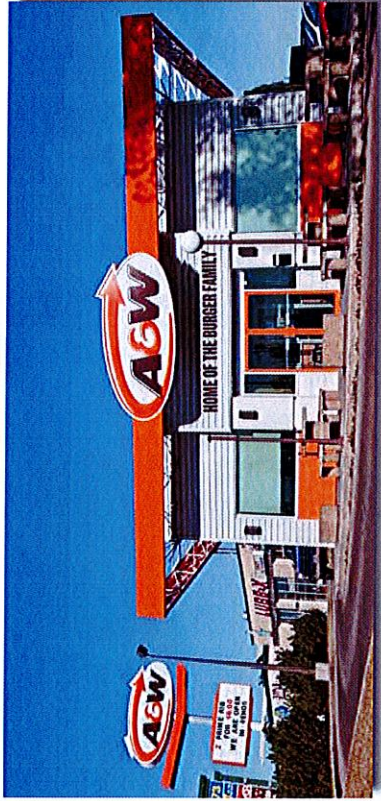
2014 Boomerang Re-Image Design Book



"B" style - Left Drive Thru
Release 5.0
2013.09.13



Exterior Work



6. Exterior: Technical Notes

The following notes are intended as a technical resource to supplement the scope of work outlined throughout the Re-Image Design book, as well as more detailed information about how the work should be carried out. Some items may not be part of your specific scope of work and appear here as options or alternatives.

Legend:

- ❖ Optional items at Franchisee's discretion
- ☒ Suggested environmental initiatives

6.1 NEW EXTERIOR A&W EQUIPMENT AND SIGNAGE

- A Legend of all A&W supplied equipment items for the re-image program is included in this Design Book for general reference.
- **A&W Equipment order must be placed by Franchisee. Lead time for equipment order is 5-6 weeks from date of purchase order. Deposit cheques and signage permit are required in advance of order placement.**
- Contractor is responsible for coordination of construction schedule to meet equipment delivery date.
- Cost and application for sign permits are the responsibility of the Franchisee; as is arranging for secure and insured warehousing to receive equipment delivery.
- Various Federal and Provincial bodies in Canada including Workman's Compensation Board and Ontario Occupational Health and Safety Act, now require Contractors to ensure the employees and subtrades working on site are not exposed to suspected contaminants or hazardous materials which may be present within existing buildings or on sites where they are working.
- A&W recommends the franchise operator determine any such requirements at the onset of their project, so it can be reviewed with the successful contractor and appropriate steps to ensure compliance with these regulations can be taken prior to the start of construction.
- For technical equipment specifications such as dimensions, materials, electrical requirements and/or plumbing requirements for **your specific restaurant**, refer to the Equipment List and accompanying Cut Sheets included with this Design Book.
- Installation of exterior signage is by the A&W signage supplier with exceptions noted in the Equipment Legend. All other related work, including supply and installation of plywood backing within walls, addition and/or relocation of electrical connections to suit new signage, final electrical connections, refinishing of existing sign support structures, and provision of new sign support structures is by Franchisee's Contractor.
- If a new concrete base is required for a pylon sign, it must be designed by a Structural Engineer and the Contractor must allow sufficient curing time for concrete prior to scheduling sign delivery and installation. Lead Time for new pylon sign is **12 weeks**.
- Locations of new logo signs, where different than existing, may require new plywood backing installed inside existing wall cavities to ensure adequate support.

STOP:

As part of A&W Standard, general contractor/electrician to ensure exterior signage and drive thru circuits are decoupled so that when the signage is turned off the menuboard is still working.

6.2 SIGNAGE REMOVAL AND DEMOLITION

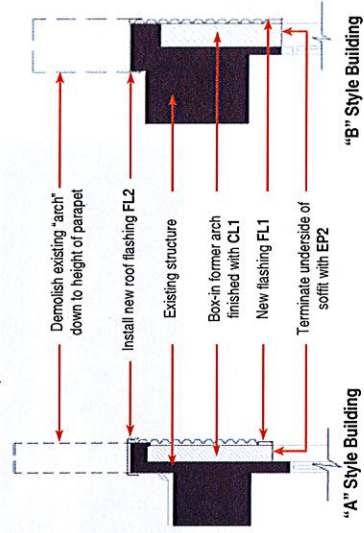
- Contractor to remove existing building signage to facilitate building alteration work.
- Demolish existing "arch" down to height of parapet, as shown below.



- Remove existing front glazing over entry within arch and metal cladding ("B" style only).
- Remove existing goose-neck lighting.

6.3 NEW CONSTRUCTION

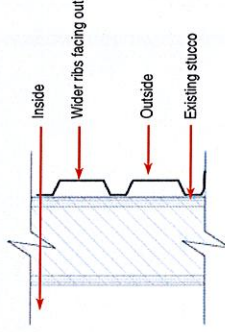
- Box-in former arch, complete with soffit on underside with EP2 finish and new cladding.



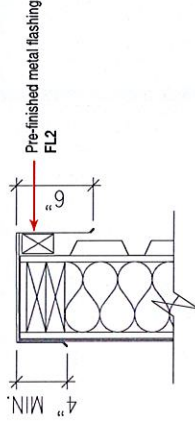
- Install new metal cladding as shown in the "Elevations Illustrating New Finishes" page.



- New metal cladding shall be installed with the ribs running in a horizontal orientation, with product-appropriate flashing and fasteners to prevent ingress of water into wall cavity. Shorter faces are inboard of taller faces. (See section below).



- Alternate cladding will be acceptable if profile and colour match specs.
- Remove existing roof flashing and replace with new FL2. Colour to match cladding.



6. Exterior: Technical Notes

6.5 LIGHTING

- Remove existing exterior lighting including gooseneck lamps and fixtures as per elevations.
- Where existing uplights occur on the front bulkhead to highlight the existing fin and/or burger family faces, these should be spilted to highlight the new "Home of The Burger Family" lettering; a minimum of two lights is required to illuminate the sign.
- Add new fixtures or relocate suitable existing fixtures to highlight new signage locations.
- Add twin-head spotlights mounted within the Boomerang canopy framework shining down at the HOTBF lettering. The Burger Family faces oval and building painted checkerboard as shown in elevations.

L1

Canlet Parmate
65212 - Two lampholders with matching waterproof box, Architectural Grey
Albrite Lighting



DO relocate/add up or down lighting as needed to provide illumination for new signage. Add twin head spotlights mounted up in space frame



DO NOT remove or leave the building without spotlighting. At night the signage will not be visible.

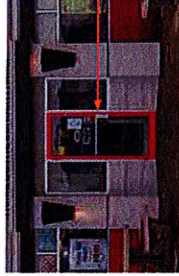
* Photos are for reference only, these are a R-style buildings

6.6 LED ILLUMINATED BAND - "26" BOOMERANG™

- Illuminated Boomerang band AW1, is to be supplied by Lektron Inc. and installed by Contractor. Contractor to contact Lektron Inc. directly to coordinate sizing and ordering of A&W 26" high LED band. See **Boomerang Section**.
- Contractor to provide exterior electrical hook-ups and make final connections. See **Boomerang Section**.
- Aluminum framework structure to be supplied and install by Contractor. See **Boomerang Section**.
- Front logo and bracket is supplied and installed by A&W supplier. Boomerang and frame work must not run behind logo's mounting brackets. Refer to bracket cut sheets in **Equipment Cut Sheet Section**.
- Boomerang must be installed prior to A&W supplier installing signage.

6.7 ORANGE PUBLIC DOORS

- All public doors must be orange as shown in **Elevations Illustrating New Finishes**. There are two choices available:
 - Choice 1:
Repaint all public entrance doors EP3 (orange) electrostatic paint application is preferred. Door handle and frame to be excluded. See **Painting, Technical Notes Section**.



Exclude door handle

- Choice 2:
Apply Orange Vinyl Door Kit on glass. Refer to cut sheet.



Vinyl applied to door glass

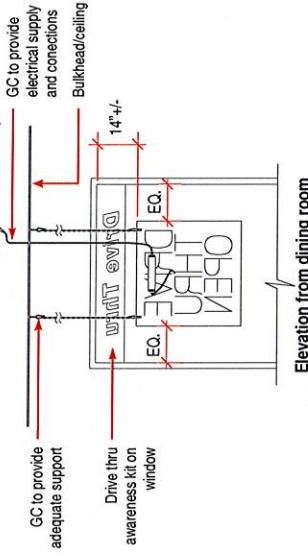
6.8 DRIVE THRU AWARENESS KIT

- Install Drive Thru Awareness Kit as per instructions on cut sheets.



6.9 FIRELIGHT DRIVE THRU SIGN

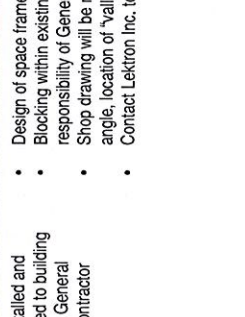
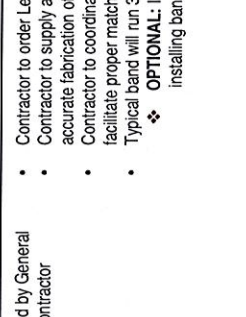
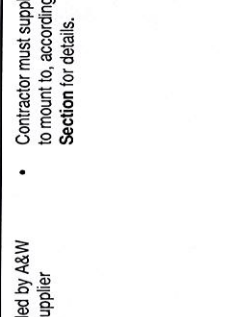
- Install firelight sign inside dining room facing the most visible window from the street.
- Sign should be installed as soon as exterior logos and signage come down.
- Provide wiring for 2 firelight drive thru signs (one extra for future).



6.10 SITE LANDSCAPING AND FURNITURE (Optional)

- Franchisee, at their discretion, may do additional work on site landscaping, fixtures or furniture such as: upgrade existing landscape and planted flower areas, repainting lot lines and curbs, repair and painting of fencing, replacement of patio umbrellas, skin coating of asphalt paving, repainting of bollards, addition of exterior lighting, and/or replacement of outdoor furniture.
- Preferred colours for site items are EP2 (brown) for fencing, patio lights, lamp standards, bike racks and building mounted garbage receptacles; EP3 (orange) for bollards, curbs and railings.
- OPTIONAL: patio furniture and umbrellas available thru A&W Equipment Services. Order directly through your A&W Equipment Services Representative.

7. Exterior: LED Illuminated Band - "Boomerang"

New Items	Description	Equip.#	Supplier	Installer	Notes
 <p>Space frame detail</p>	<p>24" high Clear Anodized Aluminum Space Frame</p>	<p>N/A</p>	<p>Fabricated locally and coordinated by General Contractor and Lektron Inc.</p>	<p>Installed and mounted to building by General Contractor</p>	<ul style="list-style-type: none"> • Design of space frame can vary. Example provided is for reference. • Blocking within existing building to support framework and light band are responsibility of General Contractor including Engineering if required. • Shop drawing will be required for space frame and should follow design intent, angle, location of "valley", distance from building as described in this book. • Contact Lektron Inc. to coordinate space frame fabrication as needed.
 <p>"B" style building</p>	<p>Illuminated 26" high LED Light Band</p>	<p>N/A</p>	<p>Fabricated by Lektron Inc.</p>	<p>Installed by General Contractor</p>	<ul style="list-style-type: none"> • Contractor to order Lektron band from supplier as indicated below. • Contractor to supply actual dimensions as requested by Lektron to allow for accurate fabrication of band to suit specific site conditions. • Contractor to coordinate framework fabrication with Lektron manufacturer in order to facilitate proper matching alignment of angles. • Typical band will run 3 sides and return into building to terminate. <ul style="list-style-type: none"> ❖ OPTIONAL: If site is highly visible on all sides, Franchisee has option of installing band on all 4 elevations at his/her discretion.
 <p>Logo bracket</p>	<p>Logo bracket</p>	<p>E915</p>	<p>A&W Supplier</p>	<p>Installed by A&W Supplier</p>	<ul style="list-style-type: none"> • Contractor must supply and install appropriate blocking and structure for front logo to mount to, according to provided cut sheet. Please see Equipment Cut Sheet Section for details.

MANUFACTURER CONTACT:

Lektron Inc. LED Lighting Technology

Phone: 918-622-4978

Web: www.lektroninc.com contact: Keith Hannah

Email: keith_hannah@lektroninc.com

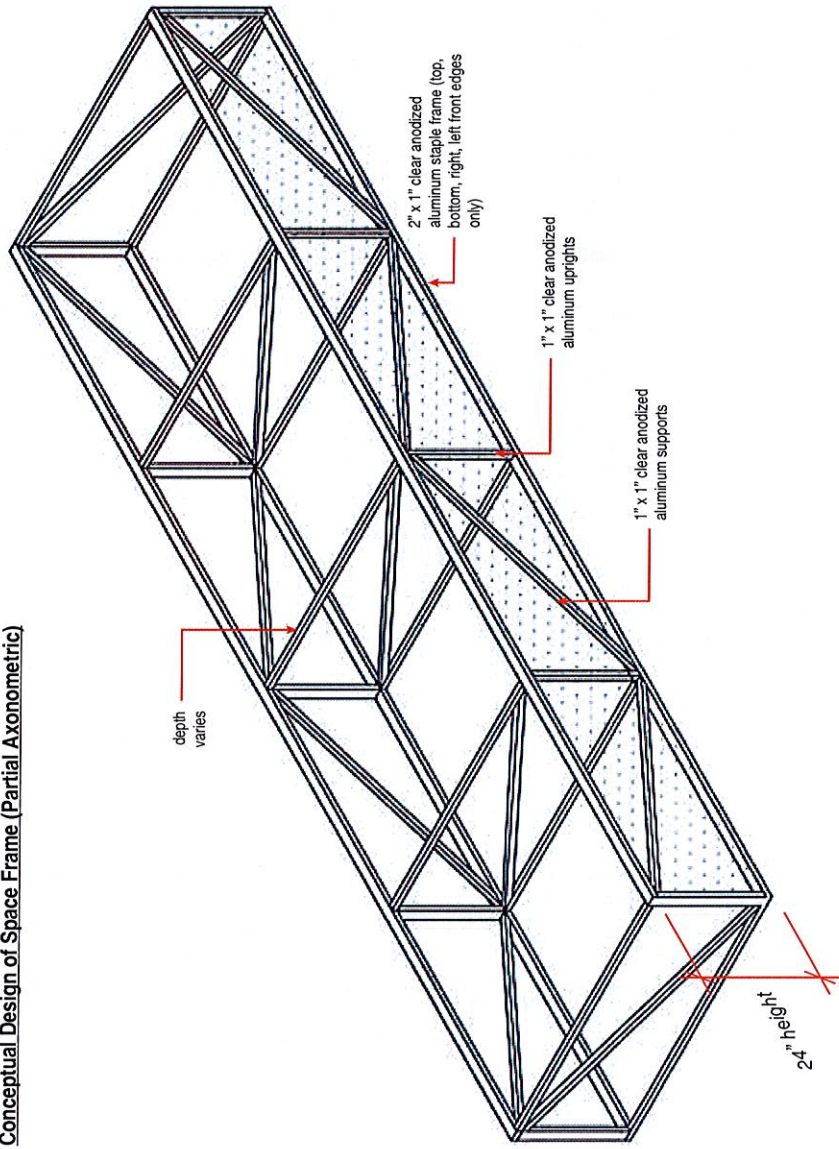
7. Exterior: LED Illuminated Band - "Boomerang"

7.1 GENERAL SCOPE OF WORK

- Clear anodized aluminum space frame is to be fabricated locally and is part of Contractor's scope of work.
- The illuminated Boomerang is manufactured by Lektron Inc. Installation to Aluminum space frame is part of the Contractor's scope of work.
- A&W will supply building elevations of original construction drawings to Lektron. Lektron will send a quote directly to Franchisee or Contractor.
- Contractor to coordinate final sizing and ordering of Boomerang directly with Lektron. Typically, top edge of boomerang at front elevation to be equal in height to top of existing roof parapet. Top edge of boomerang at back of building to terminate at bottom of parapet flashing, a minimum of 6" below parapet height. Valley of Boomerang to be 9' above ground. Refer to elevations for location of "valley" as per Lektron instructions. Contractor to ensure aluminum framework is designed to support specified Lektron illuminated band.
- When logo is to be installed in line with illuminated band, the illuminated band must stop behind logo to allow logo bracket mount directly to building face. Band must not be penetrated. See plan on next page for reference.
- Contractor is responsible for final measurements of the as-built conditions and the coordination of information required for placement of illuminated band order directly from Lektron.
- Contractor to provide electrical junction boxes and make final connections. Transformers are included in Lektron's package.
- Contractor to install new bollards painted EP3 (orange) as necessary to protect Boomerang corners from tall vehicles.
- **OPTIONAL** where appropriate: Contractor to install awning fabric EV1 (Erad-Lite #2751 Orange or Aw shade #5123 Orange) above side entrance doors to provide weather protection. Contact your local canopy fabric supplier. See photo below.



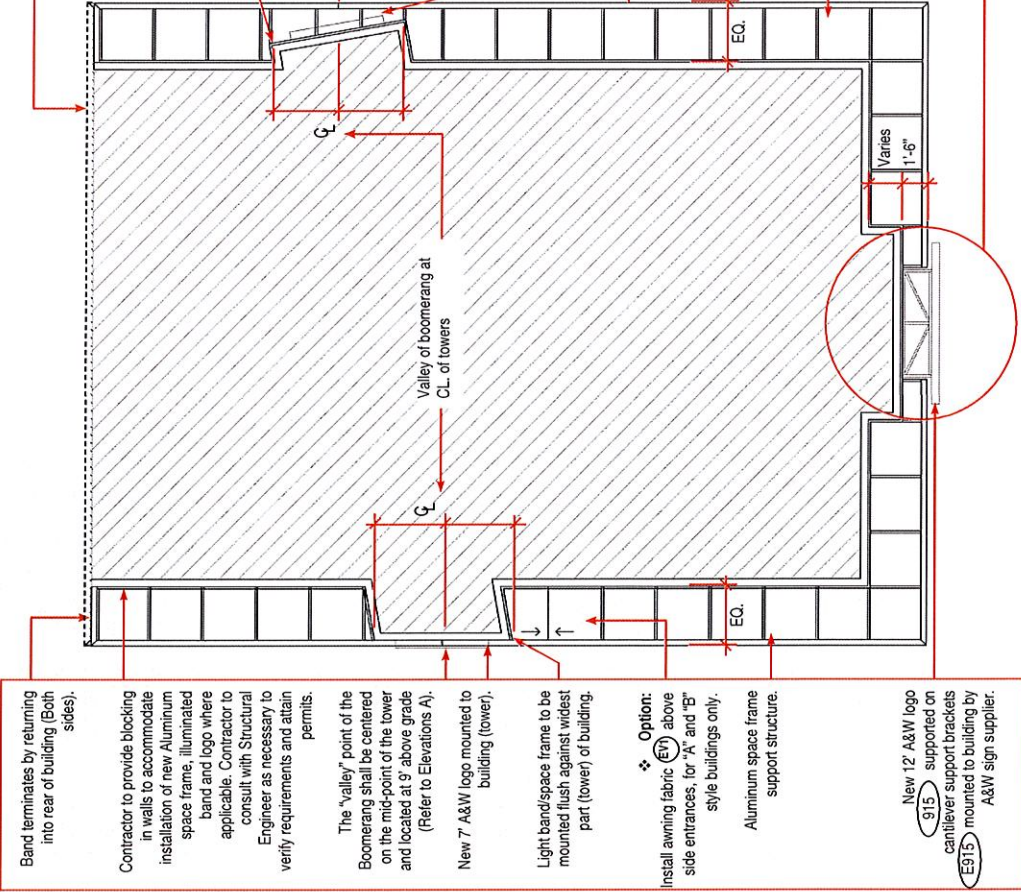
Conceptual Design of Space Frame (Partial Axonometric)



7. Exterior: LED Illuminated Band - "Boomerang"

7.2 "BOOMERANG" SPACE FRAME FOR "B" STYLE BUILDINGS

1) Roof Plan for "B" Style Buildings



❖ **OPTION :** Light band may wrap rear of building at owners discretion to suite visibility and site lines. Light band to be mounted on building. Franchisee to notify if back band is required at reimage@aw.ca.

Light band/space frame to be mounted at same distance as opposite side

The "valley" point of the Boomerang shall be centered on the lower and located at 9' above grade. See elevations.

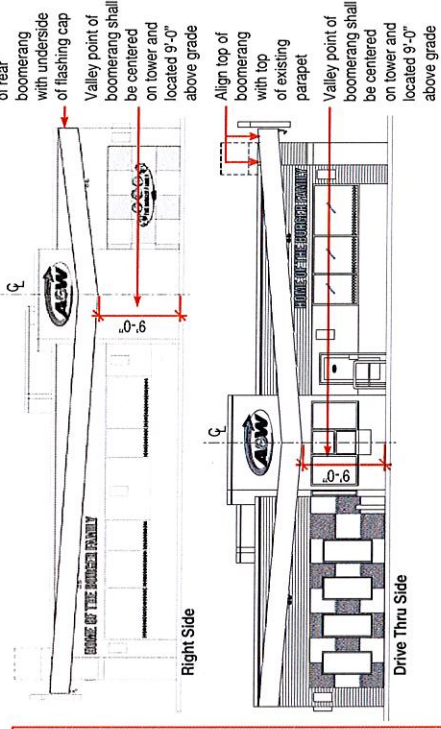
New 7' A&W logo mounted to building.

Illuminated band mounted to space frame.

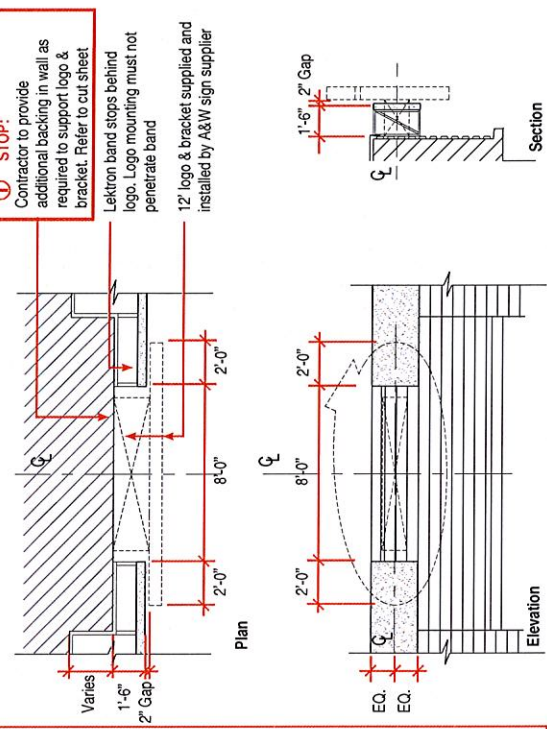
Electrical transformers for light band to be supplied by Lektron, installed by local trades either in ceiling space of building or within space frame. See Lektron install instructions for placement.

Refer to Detail B.

A) Elevations "B" Style Buildings



B) Mounting Bracket Supported Logo Detail



7. Exterior: LED Illuminated Band - "Boomerang"

1) Boomerang Housing and Lens

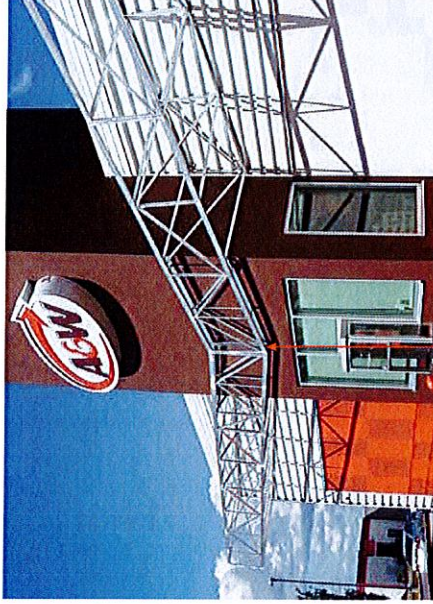


Lense shipped in continuous rolled piece

2 rows snapping LED tracks top and bottom

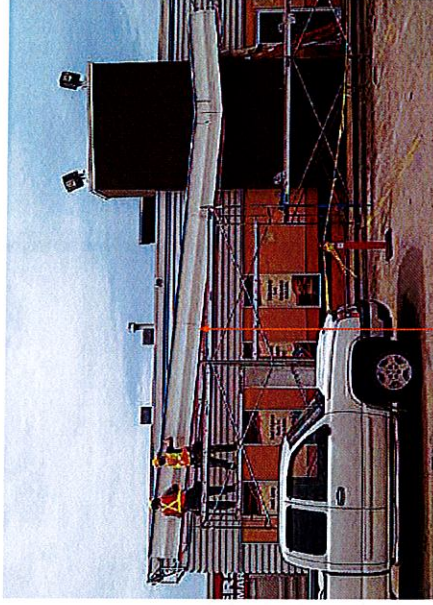
Can of light band

2) Space Frame



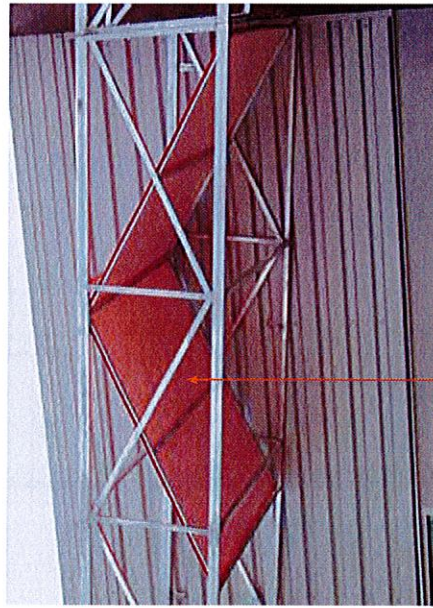
Valley of space frame centred on tower

3) Installation of Boomerang Housing



Typical 8' lengths bolted together

4) Canopy Entrance



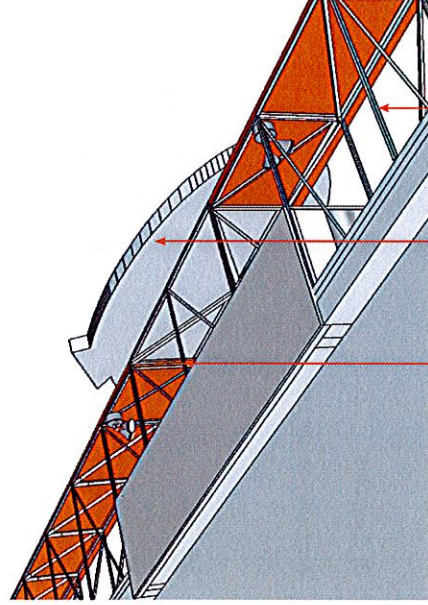
❖ Optional: Fabric weather protection built into space frame

5) Boomerang at Tower



Aluminium seam cover

6) Boomerang at Front



Stop light band behind logo, sign mounting hardware must not penetrate light band

New logo

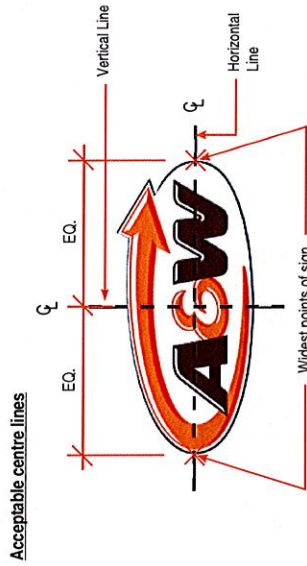
Space frame to suit

7. Exterior: LED Illuminated Band - "Boomerang"

7.3 LOCATION OF NEW LOGO

1) Identification of Centre Lines of 12' logo

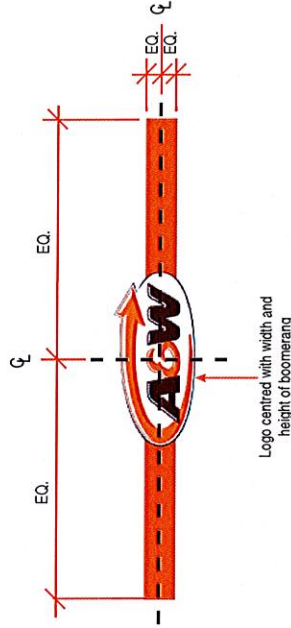
- It is extremely important to identify the correct centre lines of the 12' logo to ensure proper installation and alignment with Lektron band.
- To identify the vertical centre line: take the widest point of the logo, and divide it into two equal sections.
- To identify the horizontal centre line, draw an imaginary line between the two widest points.



Acceptable centre lines

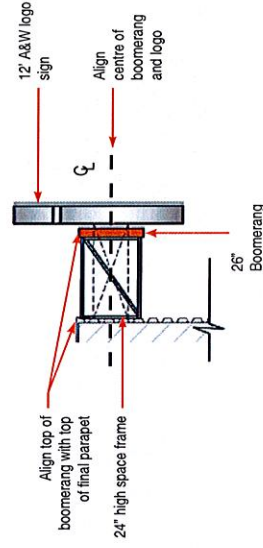
2) Location of Logo in Relation to the Lektron Boomerang

- Place the logo sign centred on the boomerang as indicated below.



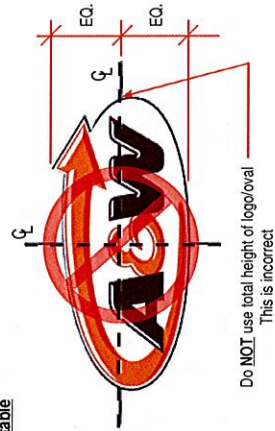
Logo centred with width and height of boomerang

Section of Front Boomerang



Section of Front Boomerang

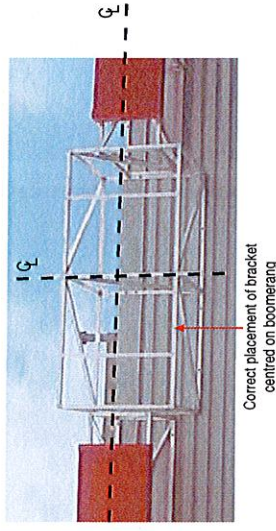
Unacceptable



Do NOT use total height of logo/oval. This is incorrect

3) Examples

Acceptable Boomerang and Logo Placement



Correct placement of bracket centred on boomerang

Unacceptable Logo Placement

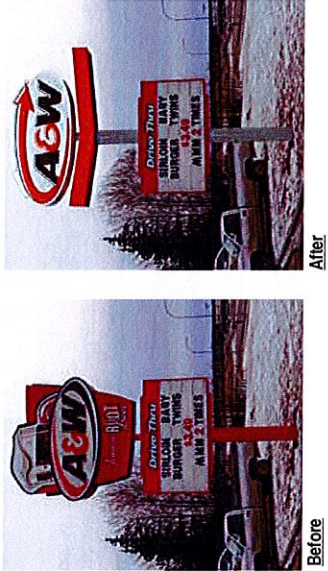
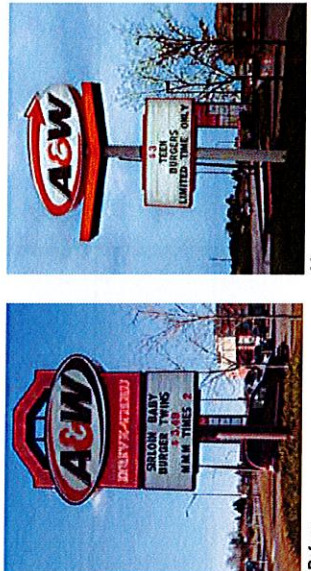
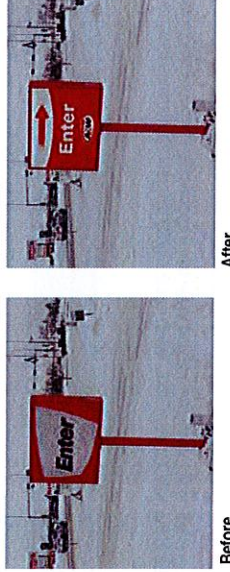


Centre line of logo should align with centre line of boomerang

STOP:

















- Ideally, the space frame and boomerang should be installed before the 12' A&W logo and bracket. In situations where the space frame is not ready, the logo and signage should be installed first to minimize the time the restaurant is without signage.
- It is critical for the General Contractor to follow this guide and take accurate measurements and communicate these measurements with signage supplier to ensure proper location of signs in relation to the Lektron band.
- Details shown are for generic buildings only, if site specific conditions are required due to City's bylaws, custom renderings will be provided by A&W.
- If anything is unclear in regard to location and/or installation of the logos, please e-mail us at reimage@aw.ca prior to proceeding.

8. Exterior: A&W Signage















<p>8.1 DESCRIPTION</p> <p>General</p> <ul style="list-style-type: none"> All signs must be updated. All signs must be updated through the National Signage Program supplied and installed by the approved National Signage Supplier, with the exception of drive thru lot sign faces and shared pylon sign faces. For the drive thru lot signs and shared pylon signs ONLY, Franchisees have the option of sourcing the faces of the signs locally. The necessary files can be downloaded from the A&W Xchange website. These sign faces can also be supplied by the approved National Signage Supplier and installed by contractor. Drive Thru lot sign content message (eg. logo, drive thru with arrow) to remain the same. Should there be content required that does not have corresponding artwork available for download, please e-mail reimage@aw.ca for assistance. All locally sourced sign faces must be approved by your Business Manager prior to production. 	<p>8.4 PYLON SIGNS TREATMENTS</p> <ul style="list-style-type: none"> Single pole "Root Beer Mug" pylon signs are to be retrofitted with a new head section supplied and installed by A&W supplier. Removal and disposal of head section to be done by A&W sign supplier. Contractor to refinish existing pole up to the height of the bottom of the existing readerboard by preparing surface and repainting silver (to match Pantone Silver 442C), readerboard to be repainted EP3 (orange). Ability to retrofit the existing pylon sign will depend on site survey results. Should the existing pylon not be suitable for retrofit, a new single pole pylon sign will need to be purchased and installed. 	<ul style="list-style-type: none"> Older generation single pole pylon signs with the "arch" feature may only be fitted with a new head section if: <ul style="list-style-type: none"> The existing base can be certified by an Structural Engineer that it is adequate to support the new head section. Proof of engineering certification required by A&W prior to shipping new sign. The existing pole is determined to be adequate to support the new head section. Original drawings of the concrete base may be available at your municipality if they were submitted at the time of original sign permit. Site survey will be required by A&W signage company. If pole and base are adequate, A&W's signage supplier will customize your sign a connection plate to adapt the standard pylon head section. NOTE: Sign will not be installed without written certification by Structural Engineer.
<p>8.2 ATTRIBUTE POSTERS</p> <ul style="list-style-type: none"> Refer to Exterior Elevations for location of existing attribute posters. 		
<p>8.3 LOT SIGNS RETROFIT</p> <ul style="list-style-type: none"> Existing sign cans and poles are to be repainted EP3, after proper surface preparation and retrofitted with new faces with new artwork. New sign faces should be lexan or polycarbonate. If site survey is required, it will be provided by A&W signage company. 		<ul style="list-style-type: none"> STOP: Where existing sign base certified by Engineer for reuse, new pylon sign baseplate will need to be manufactured to match existing base bolt pattern. Survey will be required prior to manufacturing. Advise your Equipment Services Rep at time of equipment order if this applies to your sign. STOP: If power lines are too close to the pylon sign, please contact your power utility company to ensure that Hydro regulations will allow for pylon retrofit. STOP: OPTIONAL: Replace readerboard faces if not in good condition, by recommendation of your Business Manager. Removal and install by A&W supplier.

New Signage Elements

All signs will be automatically updated to the latest specification by your Equipment Services Representative. The location and size of signs will not change. They will simply be replaced with the new versions in the same location. All text on the new signage will be in the new "Gotham" font, which has a slightly different appearance than the 2014 "Knockout" font. The design of the logo has not changed from the 2014 version, however, the logo signs are now LED illuminated.

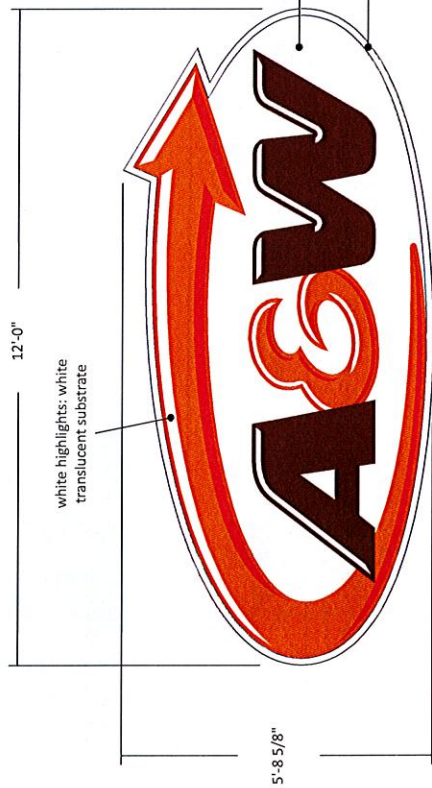
Old 2014 Signage	Description	Notes	Visual	Description	Notes
	12" lexan door logo Eq. # 136-1	Self-adhesive. 1 required for each service door.		No Change	12" lexan door logo Eq. # 1271526 Self-adhesive. 1 required for each service door.
	Etched vinyl door logo Eq. # 136-2	Self-adhesive. 1 required for each glass doors other than main entrances.		Replace with	Etched vinyl burger Eq. # 1288986 Self-adhesive. 1 required for each glass door.
	"Drive thru" Firelight Sign Eq. # 285	Hang inside a highly visible window.		Additional "Breakfast" firelight sign now required	"Drive Thru" Firelight Sign Eq. # D530 and "Breakfast" Firelight sign Eq.#D533 Hang in highly visible windows. Requires power. Discuss location with Business Manager.
	Orange vinyl door kit Eq. # 316	Orange tape to outline glass panes of entrance doors. Kit includes enough for 6 doors.		No Change	Orange vinyl tape Eq. # D912 Orange tape to outline glass panes of entrance doors. Kit includes enough for 6 doors.
	Welcome/Thanks decal Eq. # 317-1	Self-adhesive. 1 required for each glass entrance door.		Replace With	Etched vinyl burger Eq. # 1288986 Self-adhesive. 1 required for each glass door.
	Internally illuminated logos Eq. # 905, 910, 915	As per project elevations.		All Logos are now LED illuminated	Internally illuminated logos Eq. # X707-1, X710-1, X712-1 In same locations as previous. As per project elevations.
	Replacement lot sign faces Eq. # 920	Required to replace all existing.		Sign Faces now have new font	Replacement lot sign faces Eq. # X336-1 Required to replace all existing.
	Checkerboard window film Eq. # 932	Applied to dining room windows.		replace with two vinyl films from Impact 200	Green guarantees vinyl and white grass pattern vinyl Eq. # D918, D916 Applied to dining room windows.

New Signage Elements

Old 2014 Signs	Visual	Description	Notes	Visual	Description	Notes
HOME OF THE BURGER FAMILY		Non-Illuminated HOTBF letters. Eq. # 943, 944, 945, 946	1" thick cut-out letters painted brown. Pin or louvre mounted.		HOME OF THE BURGER FAMILY 1" thick cut-out letters painted black. Pin or louvre mounted.	"HOTBF" is higher priority, if the design only calls for one set of letters, they will be "HOTBF" and "GFMGF" will not be included.
Drive Thru		Internally illuminated "Drive Thru" letters Eq. # 950	Standard letters are 12' long, white letters on orange carrier box. Used only on select projects.		DRIVE THRU Internally illuminated "Drive Thru" letters Eq. # X345	Standard letters are 9' long, white letters on brown carrier box. Used only on select projects.
Quirky Checkerboard		"Quirky Checkerboard" printed aluminum panels Eq. # 967	Optional to replace painted checkerboard panel.		Benjamin Moore Aura Exterior Custom Mix Hardie Plank Fibre-Cement	See page 2 for detailed specifications.
Drive thru gateway sign		Drive thru gateway sign Eq. # 969	Optional.		Drive Thru Entry Portal Eq. # X353	Optional.
5' or 7' wide burger family sign		5' or 7' wide burger family sign Eq. # 975, 976	Usually mounted over quirky checkerboard.		Burger family cut-out Eq. # X608	Pin mounted. Usually located on side of building near the back.
Pylon retrofit head section		Pylon retrofit head section Eq. # 688	Required for all pylon signs. A site survey will determine if a standard retrofit is possible.		Pylon retrofit head section Eq. # X930-1	Required for all pylon signs. A site survey will determine if a standard retrofit is possible.
26" internally illuminated boomerang		Contractor to source directly from Lektron Inc.	Contractor to coordinate directly with Lektron Inc. for order and delivery.		26" internally illuminated boomerang Supplied by contractor	Contractor to coordinate directly with Lektron. Contractor to supply and install aluminum space frame for mounting of boomerang

NOTES:
 -it is now required to install the boomerang on all sides of the building including the back.
 -if your re-image design does not include a full boomerang around the building, it may be necessary to compensate with additional orange paint.
 -For an approved design solution, please contact the re-image coordinator at reimage@aw.ca or visit <https://xchange.awcca.ca> and navigate to: Everything A&W -> Working on my business -> Re-Image Program -> About Us

See Technical Drawings For Construction Details



Front View

Area: 51.5 sq. ft.
Approx. Weight: 370 lbs +/-

ELECTRICAL INFORMATION:
Total Load: 2.1 Amp / 120V. Use one (1) 15A circuit.
NOTE: FINAL HOOK-UP BY OTHERS

Specifications

Supply & install One (1) Exterior S/F logo (Boomerang Signband)

- Self-contained power
- Hinged cabinet painted white
- Lexan face c/w 1st surface vinyl
- Ex7 retainer painted white
- 8" white returns
- Agilight Daylight White LED's
- * Existing voltage TBC by Installer*
- Mounting structure supplied by PSG

Colours

- White: White translucent substrate / white paint
- Orange: 3M 3630-44 Orange vinyl
- Red: 3M 3630-43 Lt. Tomato Red vinyl
- Brown: 3M 3630-59 Dark Brown vinyl

Side View



Project ID	
Date:	07-08-2016
Scale:	3/8"=1'-0"
Sales:	R. Sigouin
Designer:	DF1
Rev. #:	
Date:	
Revision Note:	

<input checked="" type="checkbox"/> Master Artwork
<input type="checkbox"/> Conceptual Artwork
Information Required:

Electrical Requirements	
<input checked="" type="checkbox"/> 120V	<input type="checkbox"/> 347V
Other: _____	

*Voltage needs to be specified prior to customer approval	
Customer Approval	_____
Date	_____

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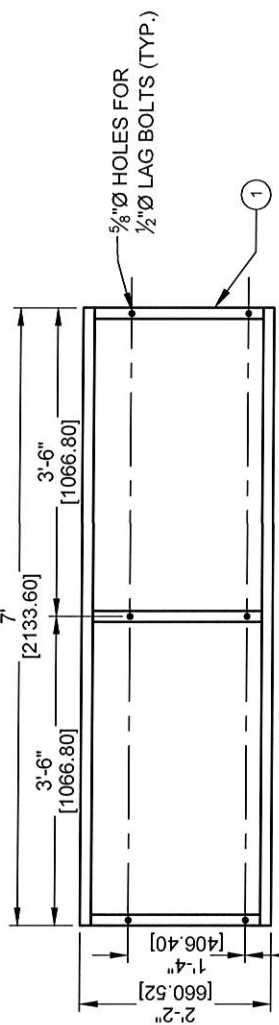
A&W
Various Locations

Sign Item	Page #
SG7	1/1

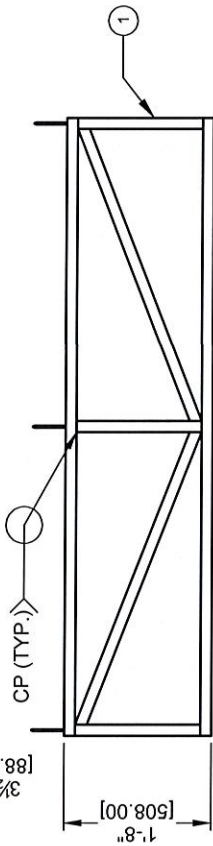
A&W 'B' STYLE MOUNTING BRACKET CONSTRUCTION DETAILS

SHIP LOOSE MATERIALS		BILL OF MATERIALS	
#	QTY.	#	QTY.
1	6 pc	1	827-47 LIT.
			MATERIAL (DESCRIPTION)
			1/2" x 1/2" x 125" ALUM. SQ. TUBE (FRAME)

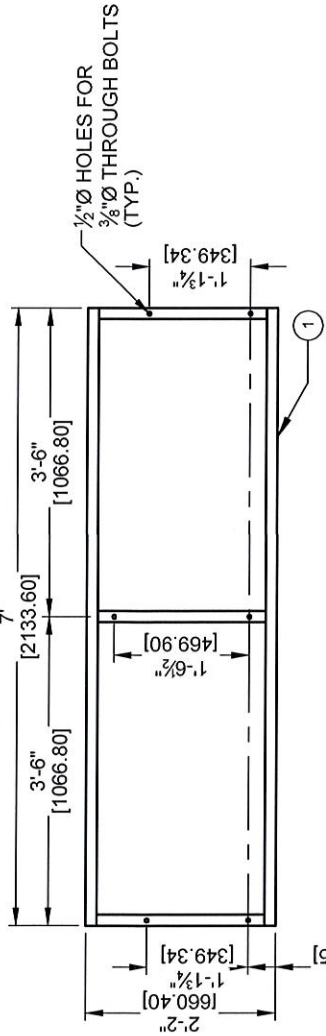
SHIP LOOSE MATERIALS		BILL OF MATERIALS	
#	QTY.	#	QTY.
1	6 pc	1	827-47 LIT.
			MATERIAL (DESCRIPTION)
			1/2" x 1/2" x 125" ALUM. SQ. TUBE (FRAME)



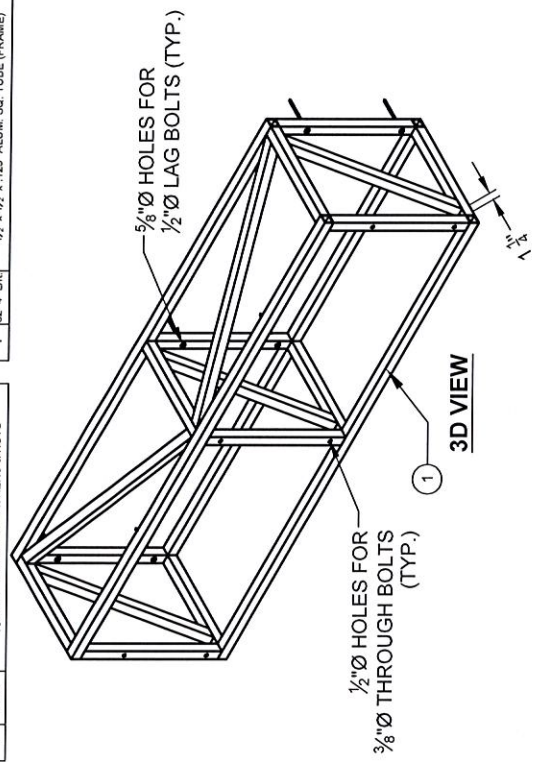
BACK VIEW



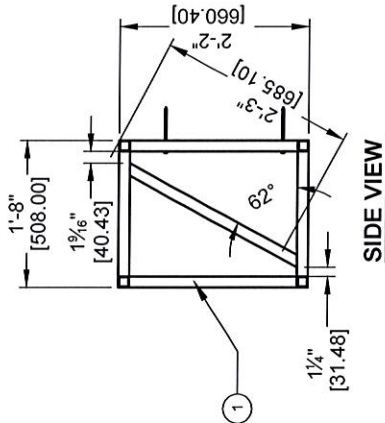
TOP VIEW



FRONT ELEVATION



3D VIEW



SIDE VIEW

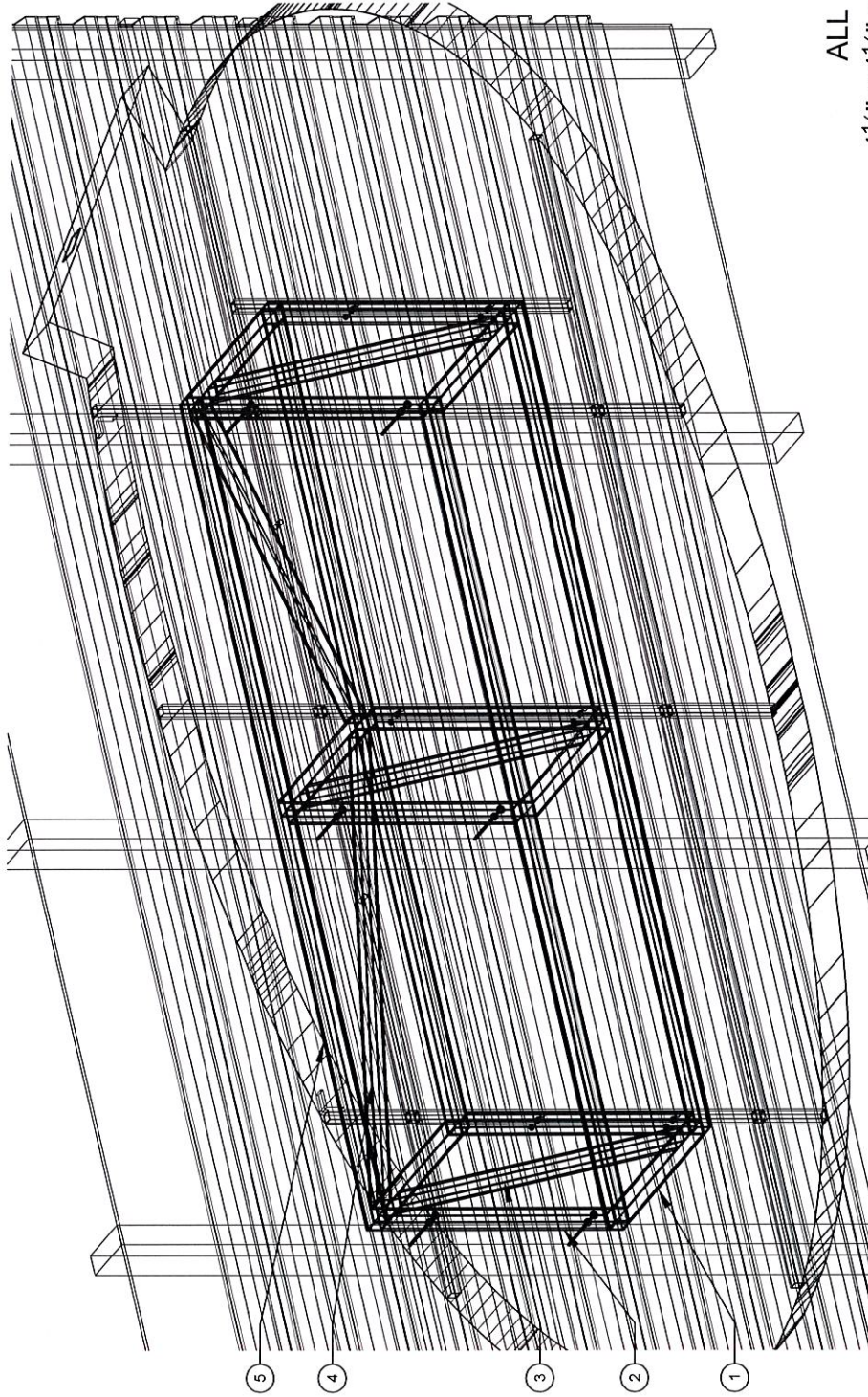
FILE NAME: STOCK:AWR01PSJX00001 B STYLE MOUNTING FRAME (REV.4).DWG	LINE No: -1	VOLTS: N/A	AMPS: N/A	WT: Lbs	DRAWN BY: P.B. & B.M	SKETCH #: PAGE: 1 OF 3
		RELEASE STATUS: CONSTRUCTION	ENGINEERED: NOT REQ.	DATE: Dec 9 2014	CHECKED BY:	SCALE: 3/4"=1'-0"
<p>Pattison Sign Group</p> <p>REVISIONS HISTORY: Rev1: 3D DRAWING REVAMP Dec-2014 2. ADDED SHIP LOOSE MATERIALS. / APRIL 9, 2015 P.B. 3. Moved angle brace for screw clearance March 11-2016 LM 4. Mounting Details Added 17 Jan 2017</p>						
<p>© 2013 PATTISON SIGN GROUP. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM PATTISON SIGN GROUP.</p>						

The sign is intended to be installed in accordance with the instructions on the back of the sign. The sign is not to be used for any other purpose. The sign is not to be used for any other purpose. The sign is not to be used for any other purpose.

Pattison Sign Group Manufacturing signs contain the following information: Name, Address, Phone, Fax, E-mail, Website, and other information. The sign is not to be used for any other purpose. The sign is not to be used for any other purpose. The sign is not to be used for any other purpose.

A&W 'B' STYLE MOUNTING BRACKET
MATERIAL CUT LIST


BILL OF MATERIALS		
#	QTY.	MATERIAL (DESCRIPTION)
1	6	1/2" 180°-90°/
2	6	1/2" 180°-90°/
3	3	2" 4016" 157°-57°/
4	2	3/4" 18" 168°-68°/
5	4	7/8" 90°-90°/



ALL MATERIALS ARE
1/2" x 1/2" x .125" ALUM. SQ. TUBE

 	<p>The sign is intended to be installed in Fluorescent, Neon and LED Lamps. These signs are not to be used in any other lamp type according to Label, Precedence, Mark, or Federal Law.</p>
 	<p>This sign is intended to be installed in Fluorescent, Neon and LED Lamps. These signs are not to be used in any other lamp type according to Label, Precedence, Mark, or Federal Law.</p>

IF THIS DRAWING IS USED FOR THE MANUFACTURE OF A SIGN, THE SIGN SHALL BE THE PROPERTY OF PATTISON SIGN GROUP. PATTISON SIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE SIGN OR TO THE MANUFACTURER OF THE SIGN. PATTISON SIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE MANUFACTURER OF THE SIGN. PATTISON SIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE MANUFACTURER OF THE SIGN. PATTISON SIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE MANUFACTURER OF THE SIGN.

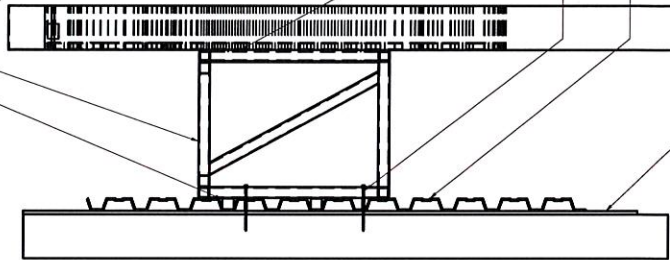
<p>FILE NAME: STOCK AW901P33X00001 B STYLE MOUNTING FRAME (REV. 4).DWG</p>	<p>LINE No: -1</p>	<p>VOLTS: N/A</p>	<p>AMPS: N/A</p>	<p>WT: Lbs</p>	<p>DRAWN BY: P.B & B.M</p>	<p>SKETCH #:</p>
<p>RELEASE STATUS: CONSTRUCTION</p>	<p>ENGINEERED: NOT REQ.</p>	<p>CHECKED BY:</p>	<p>DATE: Dec 9 2014</p>	<p>SCALE: 3/4"=1'-0"</p>	<p>PAGE: 1 OF 3</p>	<p>PAGE: 1 OF 3</p>
<p>REVISIONS HISTORY: Rev1: 3D DRAWING REVAMP Dec-2014</p>	<p>ADDED SHIP LOOSE MATERIALS / APRIL 9 2015 P.B.</p>	<p>Moved angle brace for screw clearance March 11-2016 LM</p>	<p>Mounting Details Added 17 Jan 2017</p>	<p>© 2013 PATTISON SIGN GROUP. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM PATTISON SIGN GROUP.</p>	<p></p> <p>Pattison Sign Group</p>	<p>© 2013 PATTISON SIGN GROUP. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM PATTISON SIGN GROUP.</p>

A&W 'B' STYLE MOUNTING BRACKET

METHOD OF ATTACHMENT

Insert Spacers Behind Framing To Prevent Crushing Of Cladding

Locate Logo Framing To Match Lektron Boomerang Framing



(x6) 3/8" Nuts & Bolt Set w/ Washers Attaching Sign To Frame

1/2"Øx6" Lag Bolts

Horizontal Corrugated Cladding

Plywood Backing Or Wood Block Backing

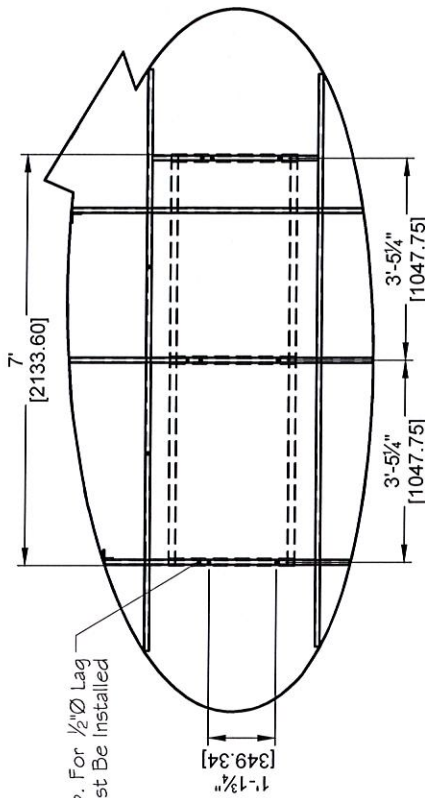
150x50x Wood Stud Vert. Blocking Must Be Located Behind Cladding To Match Verticals Of Frame On New Constructions & Retrofit Applications Where Possible

Horizontal Corrugated Cladding

Pre-Existing Boomerang Frame

Connections For 4kN @ Support Stud Loaded On A/50 Wind Load Factor Of .55kPA

12' Oval A&W Logo



5/8"Ø(16Ø) Typ. For 1/2"Ø Lag Bolts (x6) Must Be Installed

- Notes:**
- All Framing To Be 1 1/2"x1 1/2"x1/8" Alum. Tube Framing (6061-T6)
 - All Joints To Be Complete Penetration Welds All Round.
 - Backing To Be Primarily 150x50 Vert. Wood Stud Blocking Or Laminated Stud Blocking On New Construction & Where Practical On Retrofit Applications.
 - On Retro Fit Applications, Where Wood Stud Blocking Cannot Be Installed, Back The Area Located Behind The Frame With A Min. 3/4" Exterior Grade Plywood Onto Existing Building Framing.

FILE NAME: LINE No: -1
STOCK AMR01PSX00001 B STYLE MOUNTING FRAME (REV.4) DWG



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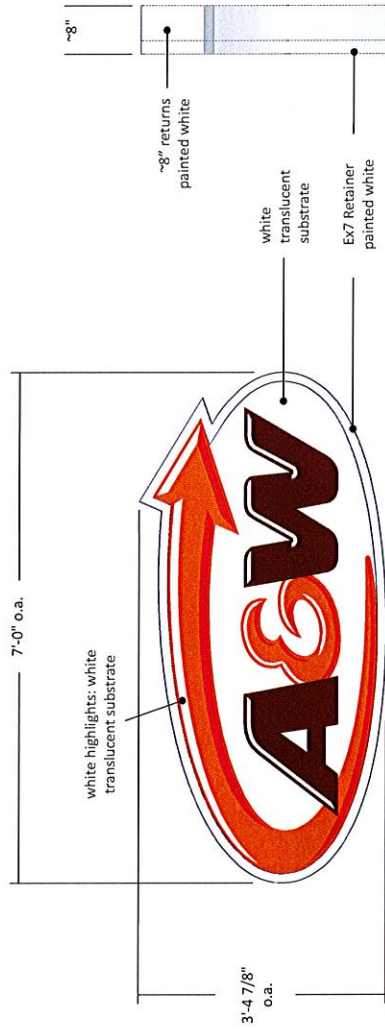
VOLTS: N/A AMPS: N/A Wt: Lbs
RELEASE STATUS: ENGINEERED: NOT REQ.
CONSTRUCTION

SKETCH #: DRAWN BY: P.B & B.M.
PAGE: 1 OF 3 CHECKED BY:
SCALE: 3/4"=1'-0" DATE: Dec 9 2014

The sign is intended to be installed in accordance with the applicable code of practice for the installation of signs. The sign shall be installed in accordance with the applicable code of practice for the installation of signs. The sign shall be installed in accordance with the applicable code of practice for the installation of signs.

REVISIONS HISTORY: Rev: 3D DRAWING REVAMP Dec-2014
2. ADDED SHIP LOOSE MATERIALS / APRIL 9, 2015 P.B.
3. Moved angle brace for screw clearance March 11-2016 LM
4. Mounting Details Added 17-Jan-2017

See Technical Drawings For Construction Details



Front View

Area: 17.89 sq. ft.
Approx. Weight: 117 lbs +/-

ELECTRICAL INFORMATION:
Total Load: 2.1 Amp / 120V. Use one (1) 15A circuit.
NOTE: FINAL HOOK-UP BY OTHERS

Side View

Specifications

Supply & install One (1) Exterior S/F logo

- Self-contained power
- Hinged cabinet painted white
- Lexan face c/w 1st surface vinyl
- E77 retainer painted white
- 8" white returns
- Agilight Daylight White LED's
- *Existing voltage TBC by Installer*
- Mounted flush to wall

Colours

- White: White translucent substrate / white paint
- Orange: 3M 3630-44 Orange vinyl
- Red: 3M 3630-43 Lt. Tomato Red vinyl
- Brown: 3M 3630-59 Dark Brown vinyl

Project ID RS1-15357	
Date:	07-08-2016
Scale:	1/2"=1'-0"
Sales:	R. Sigouin
Designer:	DF1
Rev. #:	
Date:	
Revision Note:	

<input checked="" type="checkbox"/> Master Artwork
<input type="checkbox"/> Conceptual Artwork
Information Required:

Electrical Requirements	
<input checked="" type="checkbox"/> 120V	<input type="checkbox"/> 347V
<input type="checkbox"/> Other	

*Voltage needs to be specified prior to customer approval	
Customer Approval	
Date:	

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A&W
Various Locations

Sign Item	Page #
SG3	1/1



Pattison Sign Group
Powering Your Brand

120 - 7855 North Fraser Way
Burnaby, BC, Canada V5J 5M7
www.pattisonsign.com

(T) 604.215.5526
(F) 604.215.0696



This sign is to be installed in accordance with the requirements of Article 604 of the National Electrical Code and applicable local codes. This includes proper grounding and bonding of the sign.



Fluorescent, Neon and HID lamps contain Mercury (Hg). Dispose of the lamps according to local, Provincial, State or Federal Laws.

Project ID	
RS1-15357	
Date:	07-14-2016
Scale:	1/2"=1'-0"
Sales:	R. Sigouin
Designer:	DF1
Rev. #:	
Revision Note:	

<input checked="" type="checkbox"/> Master Artwork
<input type="checkbox"/> Conceptual Artwork
Information Required:

Electrical Requirements	
<input type="checkbox"/> 120V	<input type="checkbox"/> 347V
<input type="checkbox"/> Other	

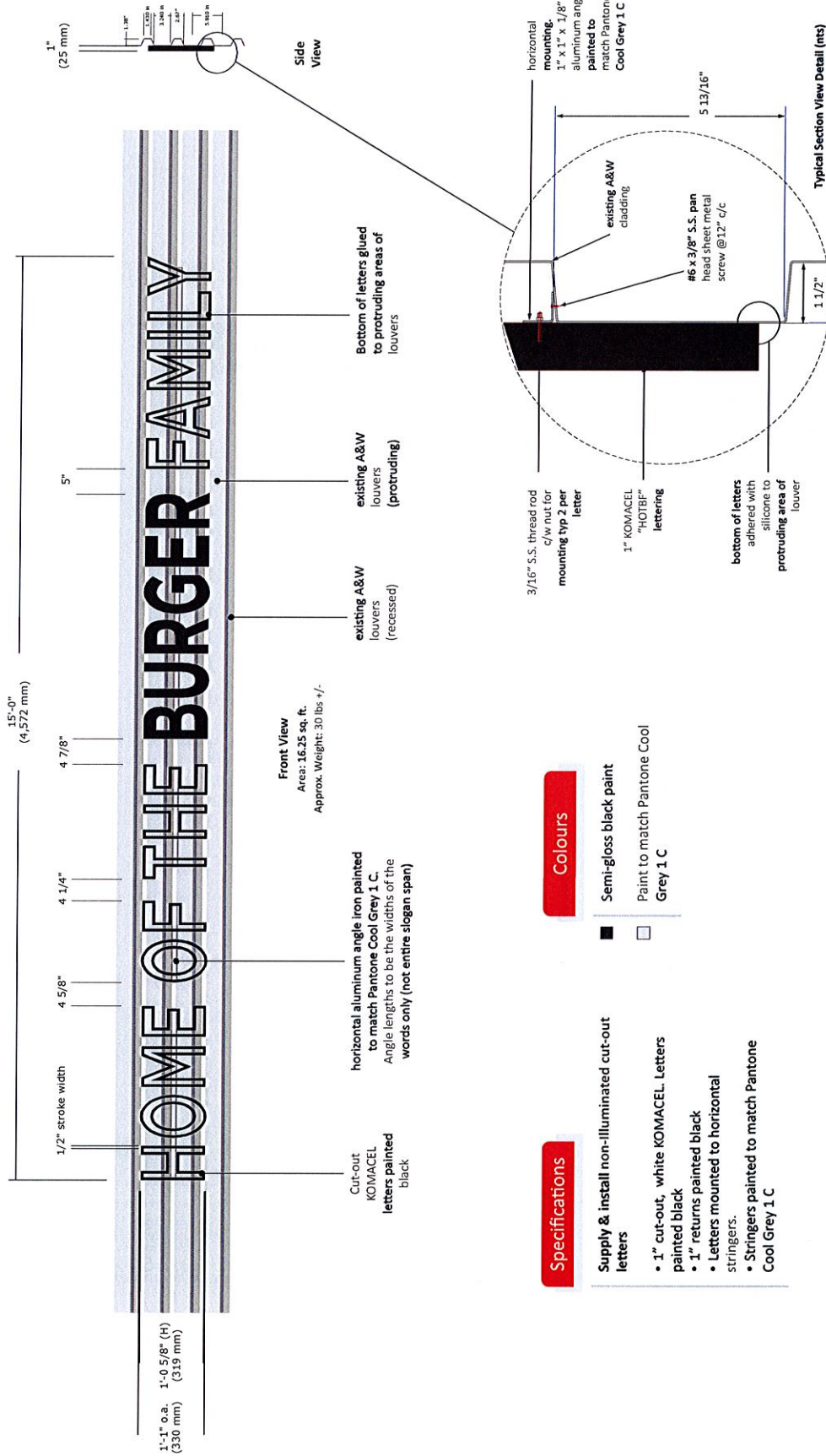
*Voltage needs to be specified prior to customer approval	
Customer Approval	
Date	

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A&W
Various Locations

Sign Item	Page #
SG22	1/1



Front View
Area: 16.25 sq. ft.
Approx. Weight: 30 lbs +/-

horizontal aluminum angle iron painted to match Pantone Cool Grey 1 C.
Angle lengths to be the widths of the words only (not entire slogan span)

Cut-out KOMACEL letters painted black

Specifications

- Supply & install non-illuminated cut-out letters
- 1" cut-out, white KOMACEL Letters painted black
 - 1" returns painted black
 - Letters mounted to horizontal stringers.
 - Stringers painted to match Pantone Cool Grey 1 C

Colours

- Semi-gloss black paint
- Paint to match Pantone Cool Grey 1 C



Pattison Sign Group
Powering Your Brand

120 - 7655 North Fraser Way
Burnaby, BC, Canada V5J 5M7
www.pattisonsign.com

(T) 604.215.5526
(F) 604.215.0696



This sign to be installed in accordance with the requirements of Article 606 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



Fluorescent, Neon and LED lamps contain Mercury (Hg). Dispose of the lamps according to Local, Provincial, State or Federal Law.

Project ID	
RS1-15357	
Date:	07-18-2016
Scale:	3/4"=1'-0"
Sales:	R. Sigouin
Designer:	DF1
Rev. #:	
Revision Note:	

<input checked="" type="checkbox"/> Master Artwork
<input type="checkbox"/> Conceptual Artwork
Information Required:

Electrical Requirements	
<input type="checkbox"/> 120V	<input type="checkbox"/> 347V
<input type="checkbox"/> Other	

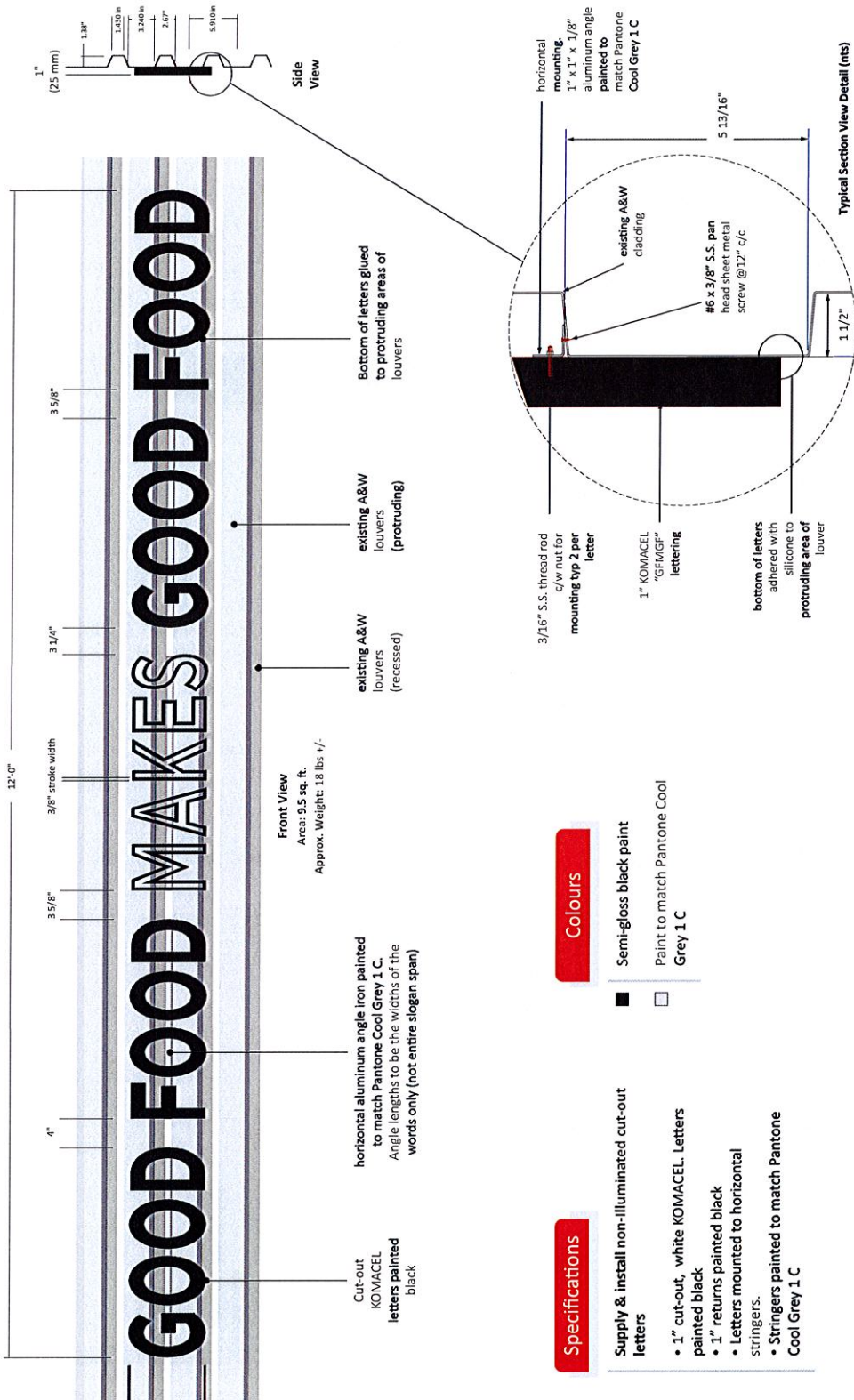
*Voltage needs to be specified prior to customer approval	
Customer Approval	
Date	

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A&W
Various Locations

Sign Item	Page #
SG32	1/1



Colours
<input checked="" type="checkbox"/> Semi-gloss black paint
<input type="checkbox"/> Paint to match Pantone Cool Grey 1 C

- Specifications**
- Supply & install non-illuminated cut-out letters
- 1" cut-out, white KOMACEL Letters painted black
 - 1" returns painted black
 - Letters mounted to horizontal stringers.
 - Stringers painted to match Pantone Cool Grey 1 C

Project ID
CO1-20597

Date: 12-13-2016
 Scale: 3/4"=1'-0"
 Sales: R. Sigouin
 Designer: DF1

Rev. #:
Date:
 Revision Note:

Conceptual
Information Required:

Master
 Electrical
 120V 347V
 Other

Customer Approval
 Signature _____
 MM/DD/YYYY _____

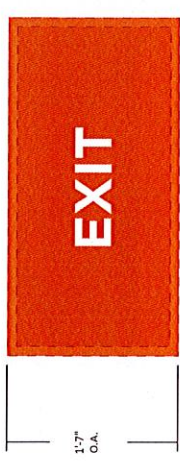
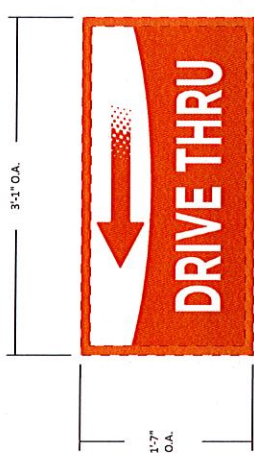
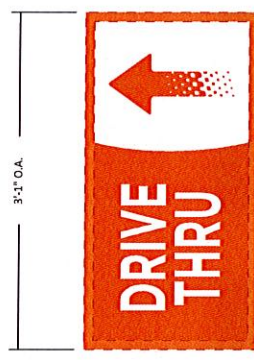
It is the Customer's responsibility to ensure that the structure of the building is designed and constructed in accordance with applicable codes. The signs being ordered. Please ask ESC to provide further details if required.

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#0645
 A&W
860 Esquimalt Road
Esquimalt, BC
Sign Item
 SG1

Specifications
 Supply & install Six (6) Lots Sign Faces for various Lot Signs
 Clear Lexan Faces c/w 2nd surface vinyl

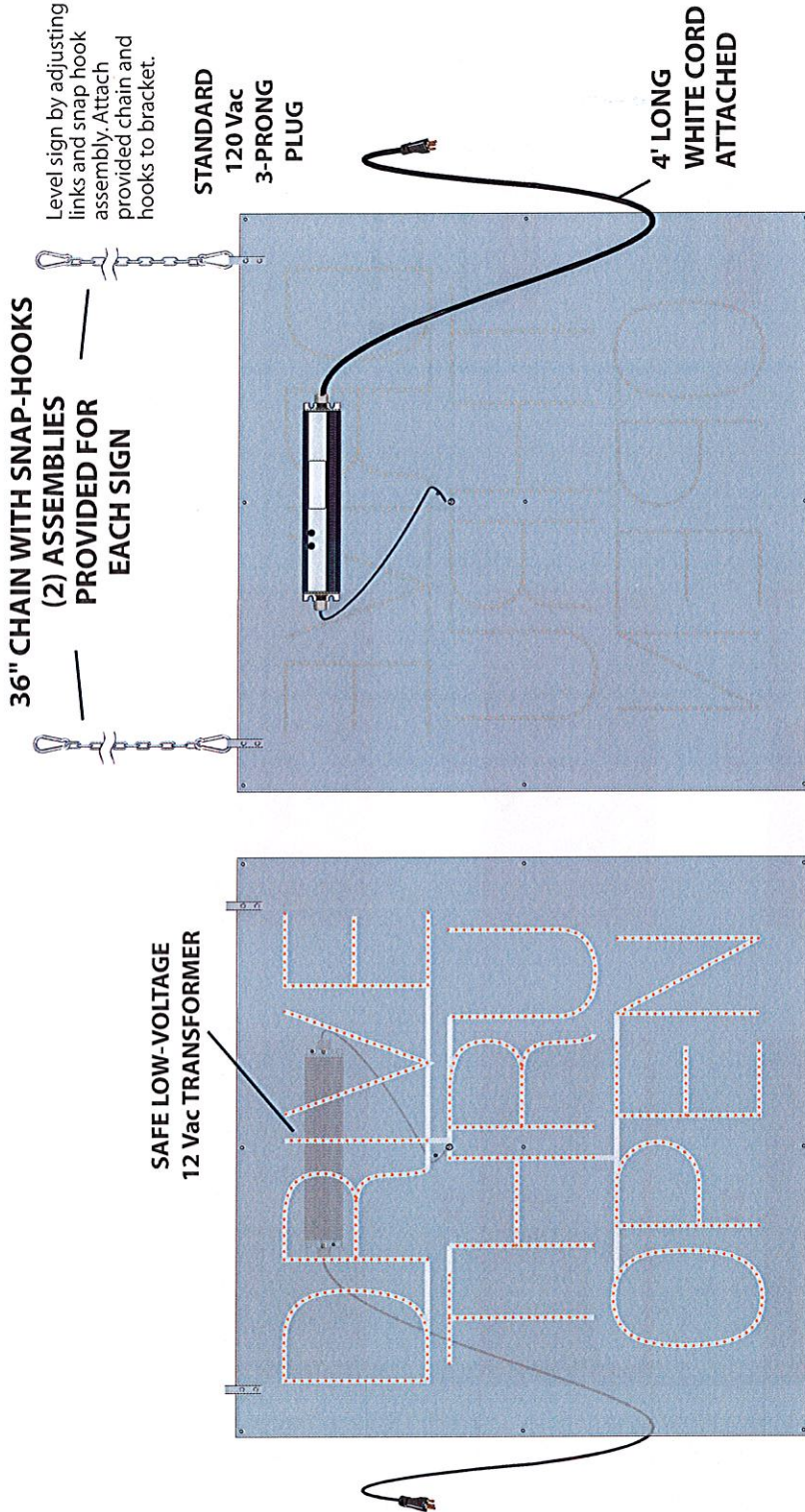
Colours
 White: 3M 3635-30 White Diffuser vinyl
 Orange: 3M 3630-44 Orange vinyl
 Brown: 3M 3630-59 Dark Brown vinyl



INSTALLATION INSTRUCTIONS

"DRIVE THRU OPEN" 36" X 36"

LED FIRELIGHT SIGN



CAUTION: SIGN WEIGHT=35lbs.- Professional Installation is Highly Recommended to prevent Accidents. Proper Hardware Rated to Support Weight Should be used to Install.

CLEANING SIGN: Use only soft cotton cloth and mild cleansing solution (Novus Plastic Polish 1 Recommended). If very dusty, lightly remove dust first without swirling motion, then clean surface. To avoid scratches do not use paper towels to clean plastic surface.

Max. Amp 4.2

SCALE: NTS

QUOTE/PROJECT#:

LINKS:
 THIS SHEET;
 PROD SHEET;
 B.O.M.;
 ADDITIONAL;

DRAWING DATE: 7/17/12
 PROJECT DATE: SALES ORDER #
 CUSTOMER: A&W RESTAURANT CANADA
 PROJECT SITE:

CUSTOMER CONTACT NAME:
 ORDER BY: TOM HARRIS
 ORDER NUMBER: KEITH HANNAH

QUOTE COPY
 PRODUCTION COPY
 INSTALL COPY

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LED FOOTAGE AND TRANSFORMER QUANTITIES ARE QUANTITIES FOR THE ENTIRE BATCH OF CUSTOMER SUPPLIED INFORMATION. QUANTITIES FOR INDIVIDUAL LOCATIONS MAY VARY AT THE TIME OF INSTALL. DUE TO INSTALLATION METHOD. CUSTOMER MUST VERIFY BEFORE PROCEEDING WITH INSTALL.

REV. 0

LASER LEON FLEX
 LED COLOR: **ORANGE**

MATERIAL:
 CLEAR ACRYLIC
 TOLERANCE:
 ±

SCALE: **REV. A**
 NTS
 SHEET: **190-4095**
 1
 PART NO.

NOTES:



A&W RESTAURANT "BREAKFAST SERVED ALL DAY" 36" x 36" LED FIRELIGHT SIGN

DRAWING DATE: 7/28/16

CUSTOMER: A&W RESTAURANT OF CANADA

CUSTOMER CONTACT NAME: Thierry Giraud

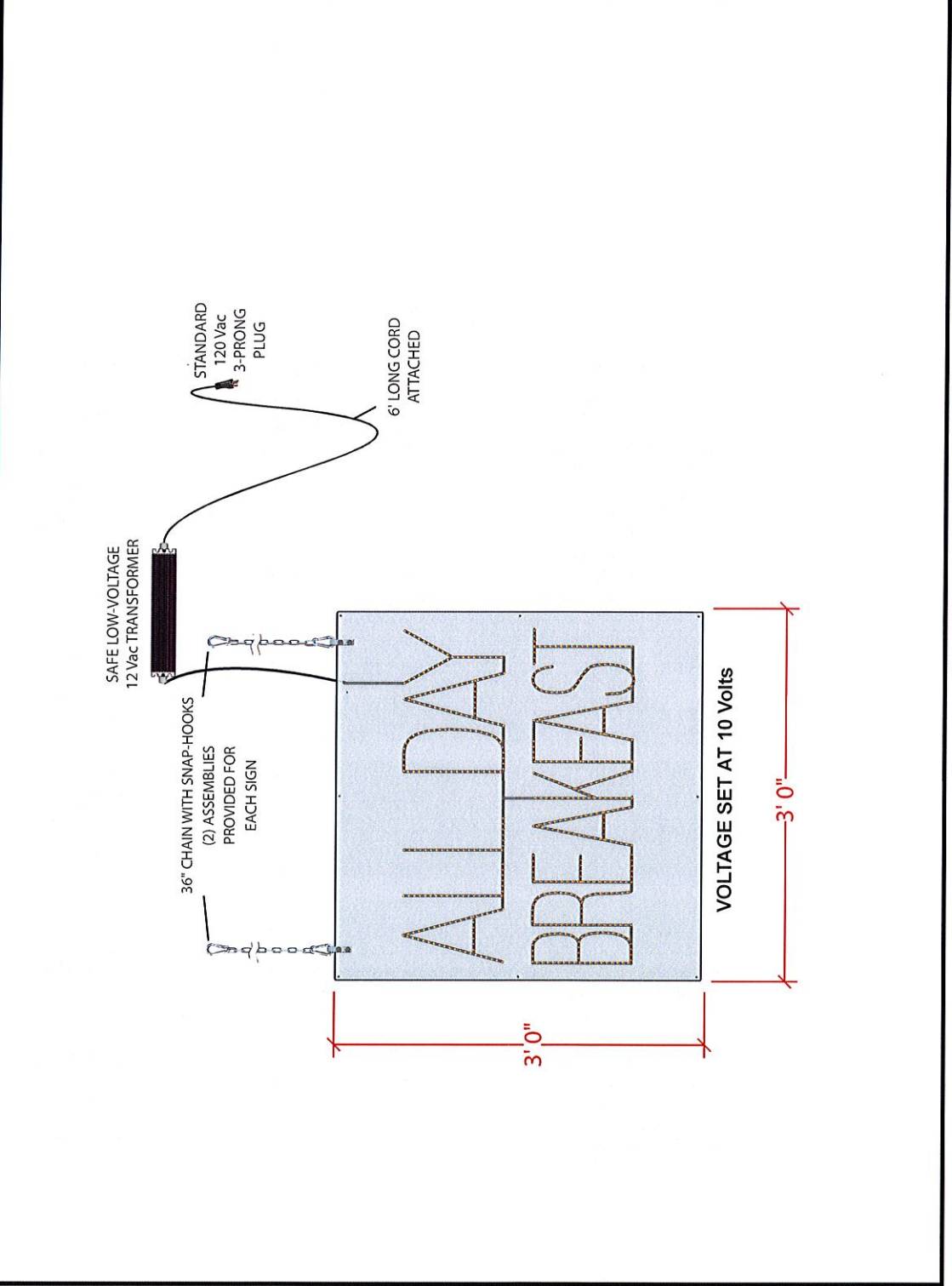
ACCOUNT EXECUTIVE: Tom Harris

SALES REPRESENTATIVE: Collin Washburn

ITEM/DESCRIPTION: **25' LED**

Lead footage and transformer quantities are estimates only and are based on customer supplied information. Actual parts and locations may vary at the time of install, due to installation method and building construction. Customer must verify before proceeding with purchase and installation.

LASER LEON FLEX LED BAND
 20 LAMP 30 LAMP 24 LAMP
 LED COLOR: ORANGE



REV: 0

SIZE SHEET: B 1

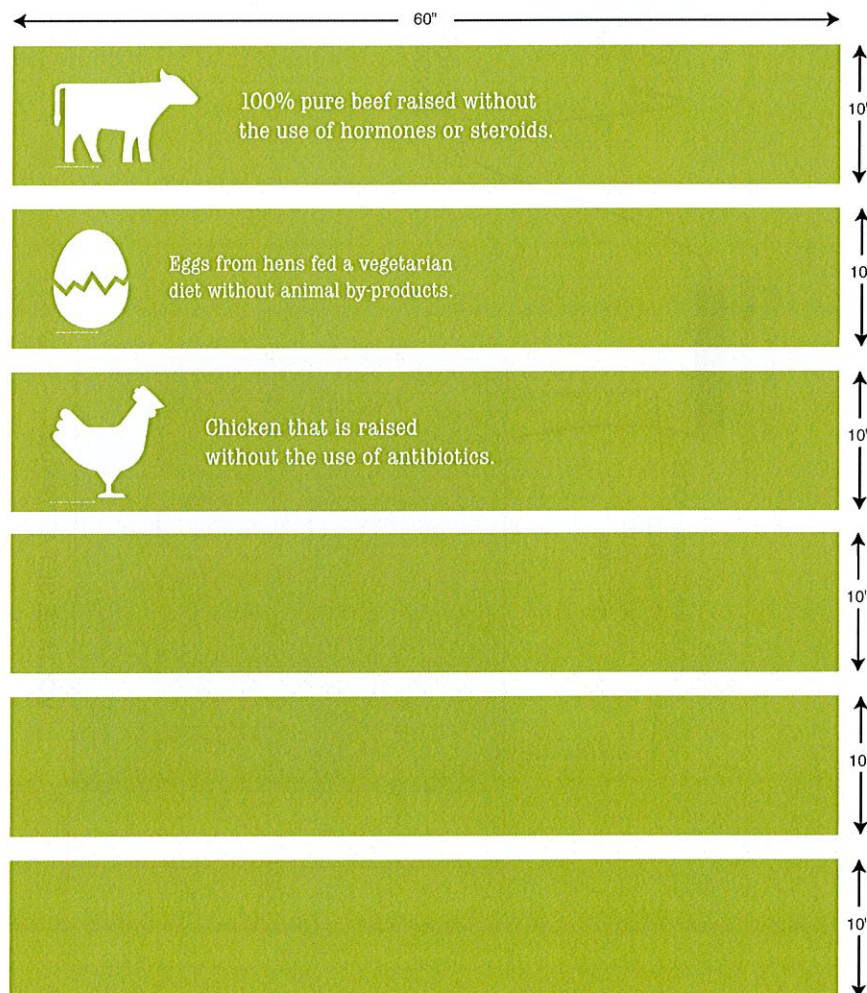


Green Window Texture

Equipment Number: D918

Specifications: Cut Green Avery "Iguana Green" Vinyl
Cow, Egg and Chicken contour cut
Text direct print to Vinyl.

Contact Simon Litherland if your windows
are under 38 inches wide.

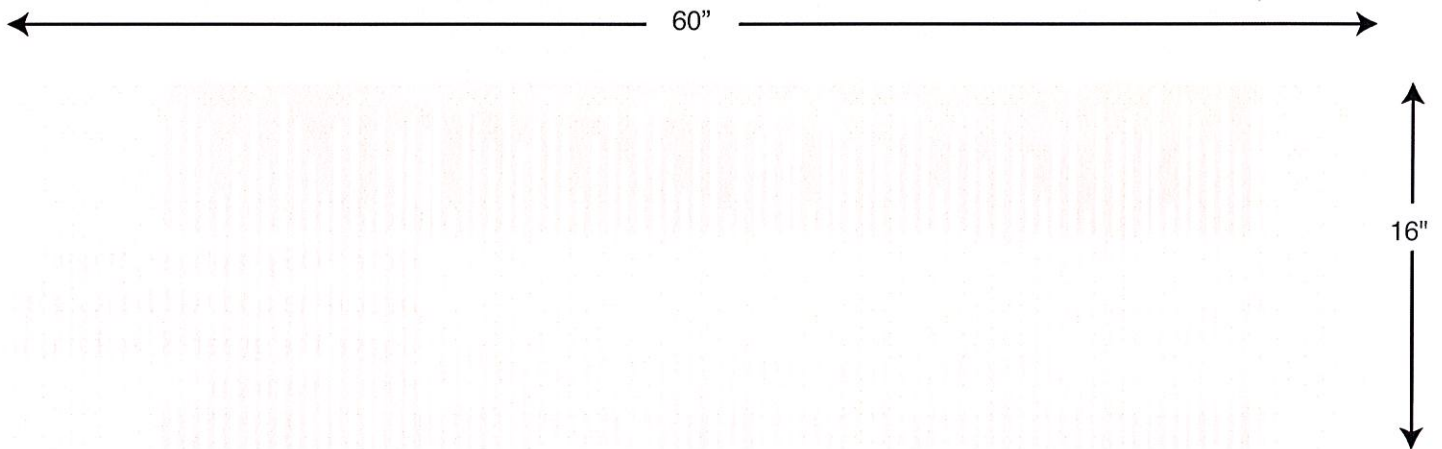




White Window Texture "Grass"

Equipment Number: D916

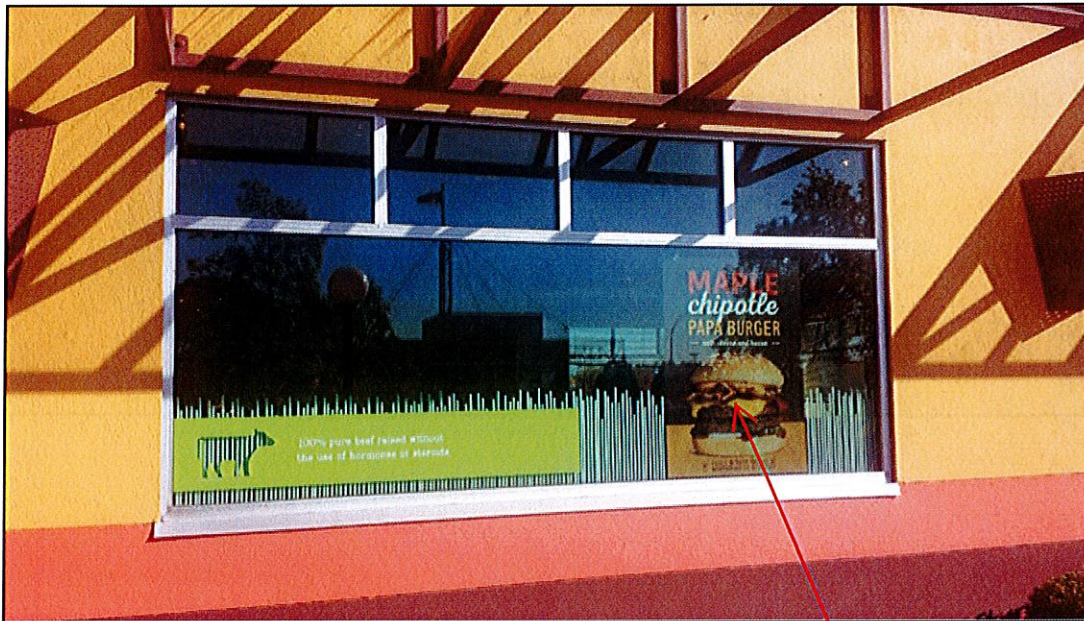
Specifications: Reverse Cut White Vinyl "Grass"
and pre-mask



Positioning Guide

Green Cling and White Grass Vinyl **Xibita**

Larger Window Example – POS piece surrounded by Grass

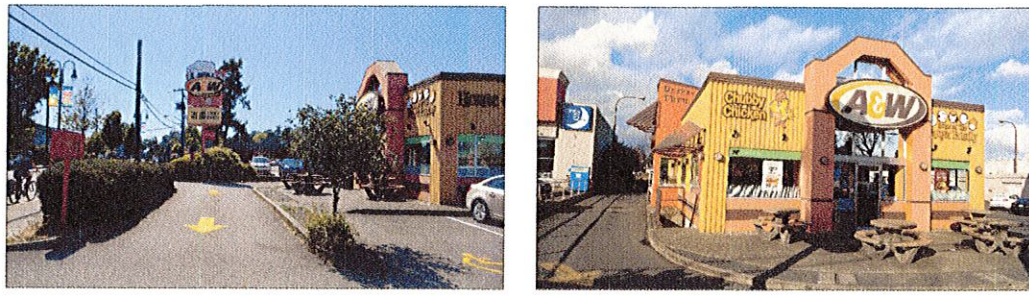


Note POS graphics change over time and will be located above the green & white grass vinyl treatment

Medium Window Example – POS piece right justified



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SITE PHOTOS

PROJECT INFORMATION

- 1. Street Address: 860 Esquimalt Road, Victoria BC
- 2. Property Legal Description: Lot 1 Section 11 Plan 23904 Esquimalt District
- 3. Owner: Marco Investments Ltd.
- 4. Applicant: Hanco Constructors
- 5. Existing Zoning: C2 Neighbourhood Commercial
- 6. Site Area: 1852.5m² +/-
- 7. Existing Building Floor Area: 193.5m² Main Floor (as per Zoning definition)
187.9m² Basement
- 8. Existing Building Height: 6.6m +/- (no change)
- 9. Off-Street Parking: 23 spaces (no change)
- 10. Off-Street Loading: 1 space (no change)

GENERAL NOTES

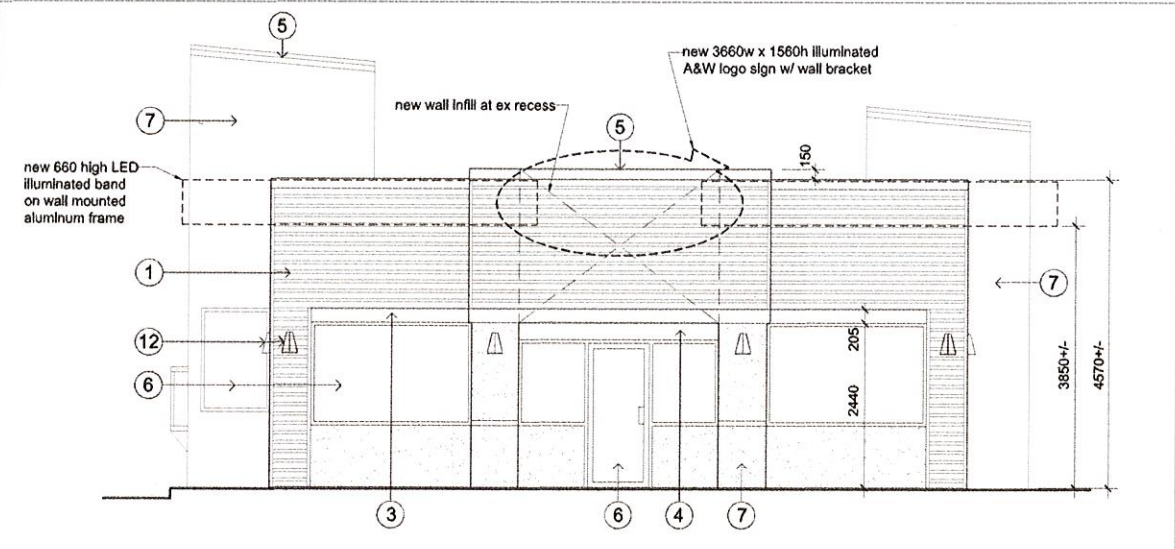
1. Refer to A&W Food Service of Canada coloured elevation drawing for this location & current edition of Boomerang Re-Image Design Book for further information regarding new exterior and interior signage, graphics, material finishes & paint colours.

MATERIAL FINISH LEGEND

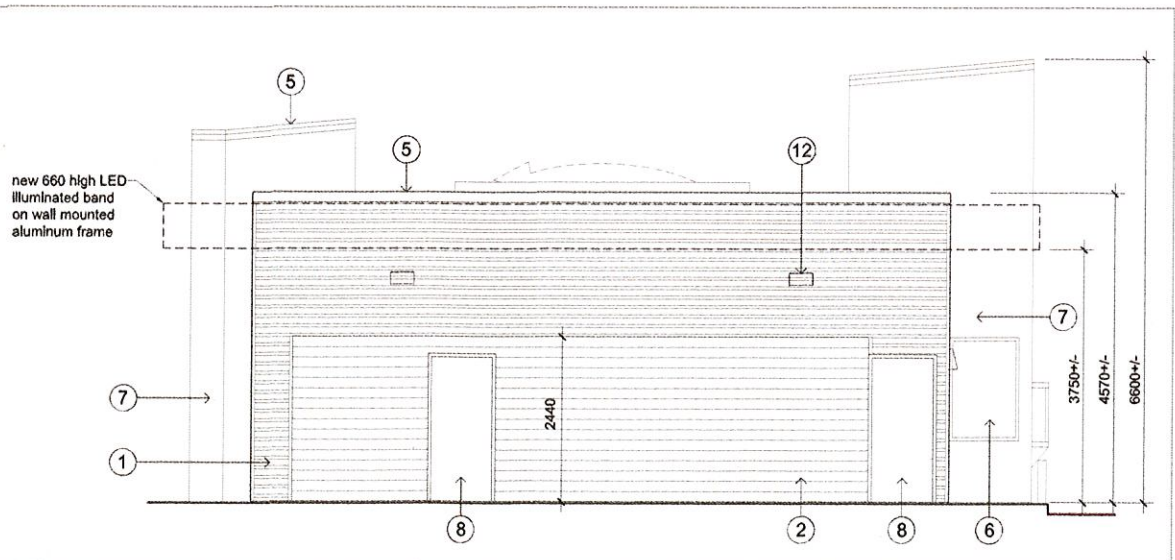
- ① New prefinished 26ga ribbed steel cladding, Vicwest CL 6025SR Cambridge White
- ② New fibre-cement siding, Hardieplank Cedarmill pre-painted Chestnut Brown, 127mm exp
- ③ New prefinished 24ga steel band, Vicwest Metro Brown
- ④ New clear anodized aluminum break shape
- ⑤ New prefinished 26ga steel flashing to match cladding
- ⑥ Existing clear anodized aluminum storefront windows & doors
- ⑦ Existing stucco to be repainted
- ⑧ Existing steel door & frame to be repainted
- ⑨ Existing bollard to be repainted
- ⑩ Existing steel guard/handrail to be repainted
- ⑪ Existing light fixture to be removed, repainted & reinstated
- ⑫ New light fixture to replace existing



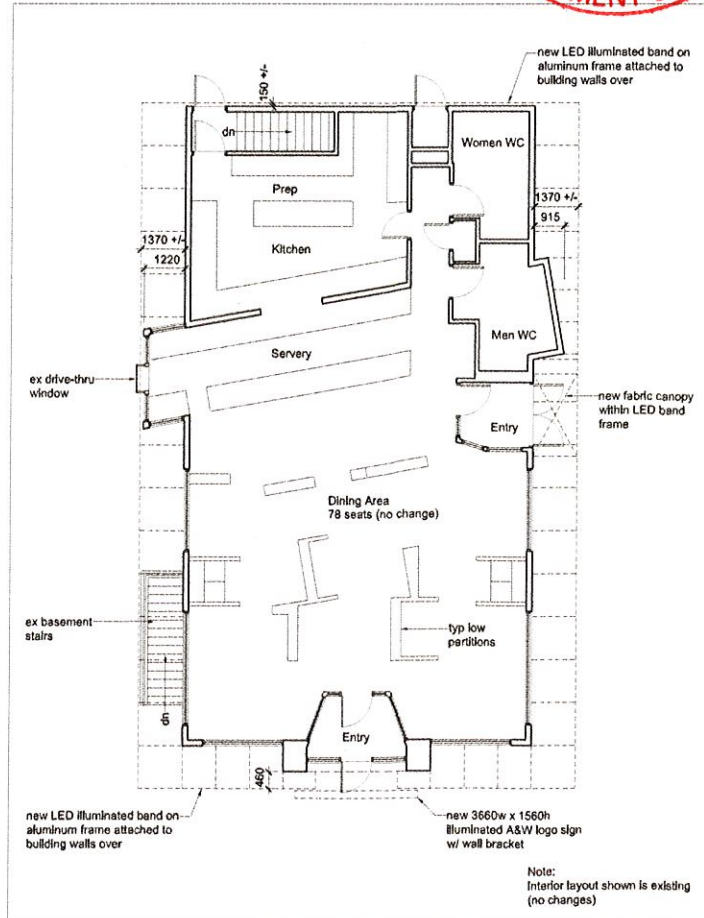
AERIAL PHOTO



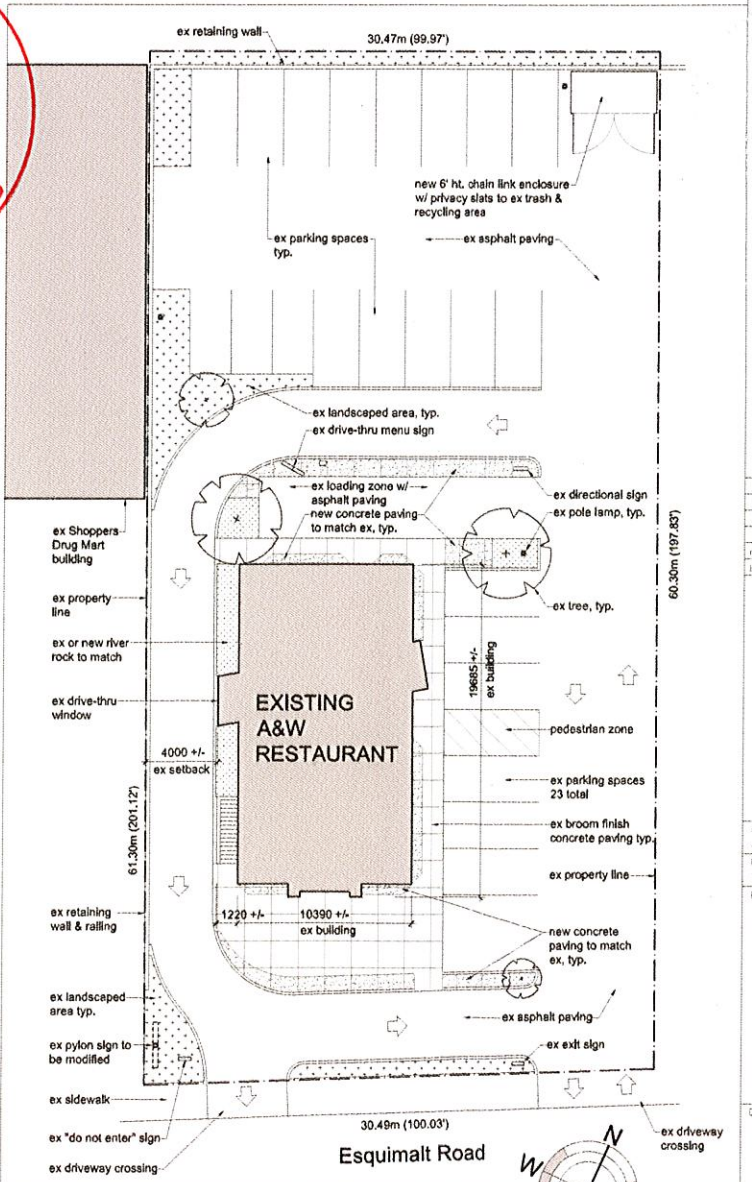
SOUTH ELEVATION



NORTH ELEVATION 1:50



MAIN FLOOR PLAN 1:100

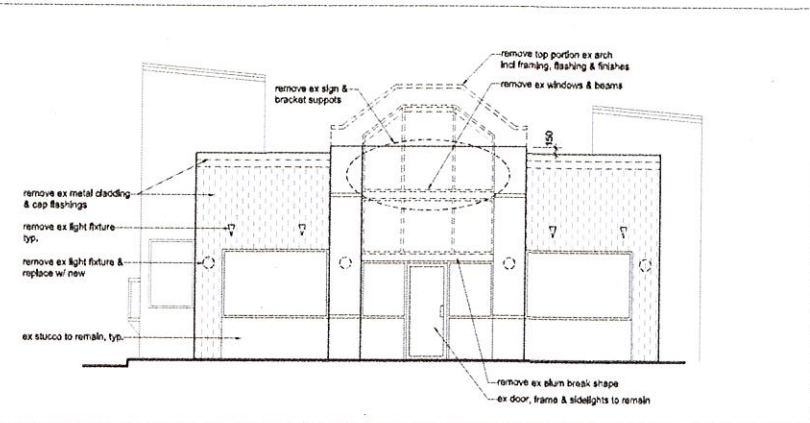


SITE PLAN 1:200

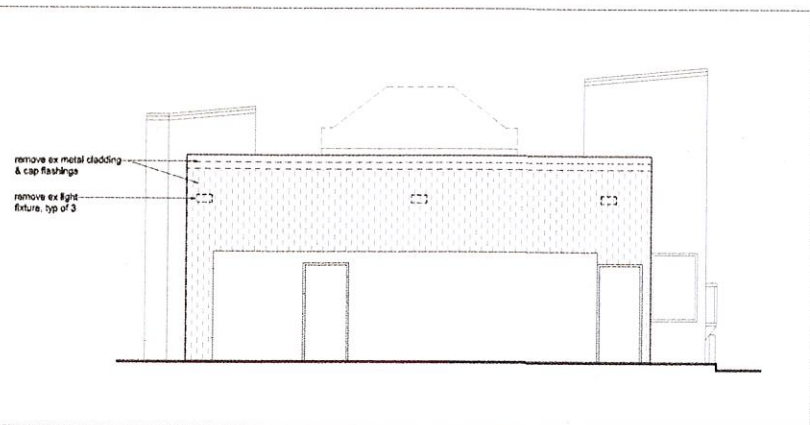
298812017 DEVELOPMENT PERMIT APPLICATION	
rev. no.	description
1/20/17	AS NOTED
Project Name	
A&W RESTAURANT ALTERATIONS	
860 Esquimalt Rd. Victoria, BC	
Drawing Title	
NOTES PLANS ELEVATIONS	
Drawing No.	Revision No.
A1	

James Kerr Architect
 JAMES KERR, ARCHITECT AIBC
 1423 Haultain Street
 Victoria, BC V8R 2J6
 778-432-2996

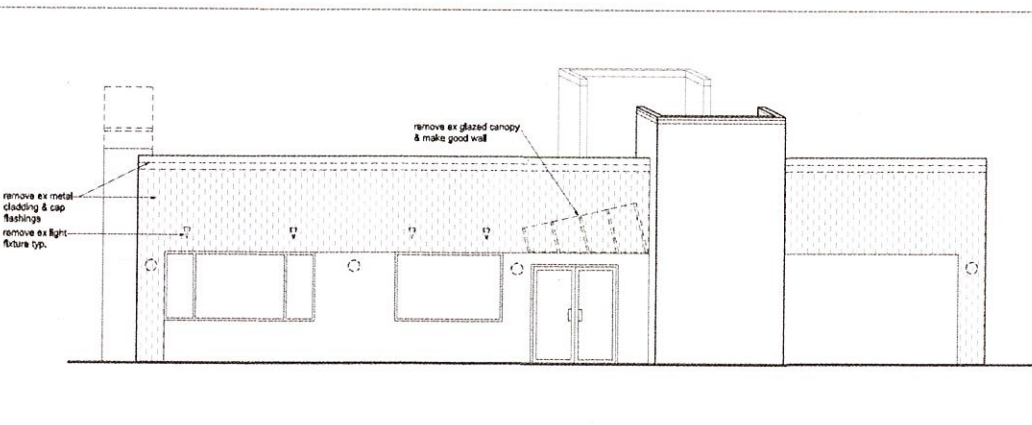
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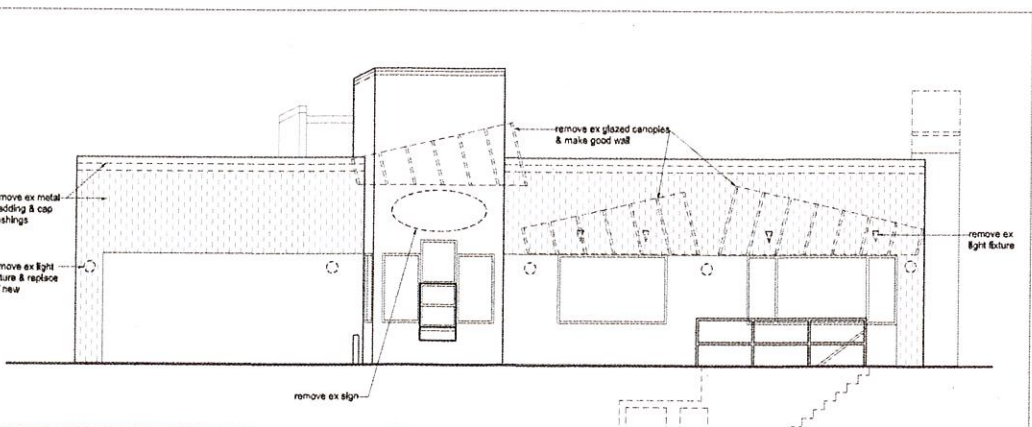
SOUTH ELEVATION DEMO



NORTH ELEVATION DEMO



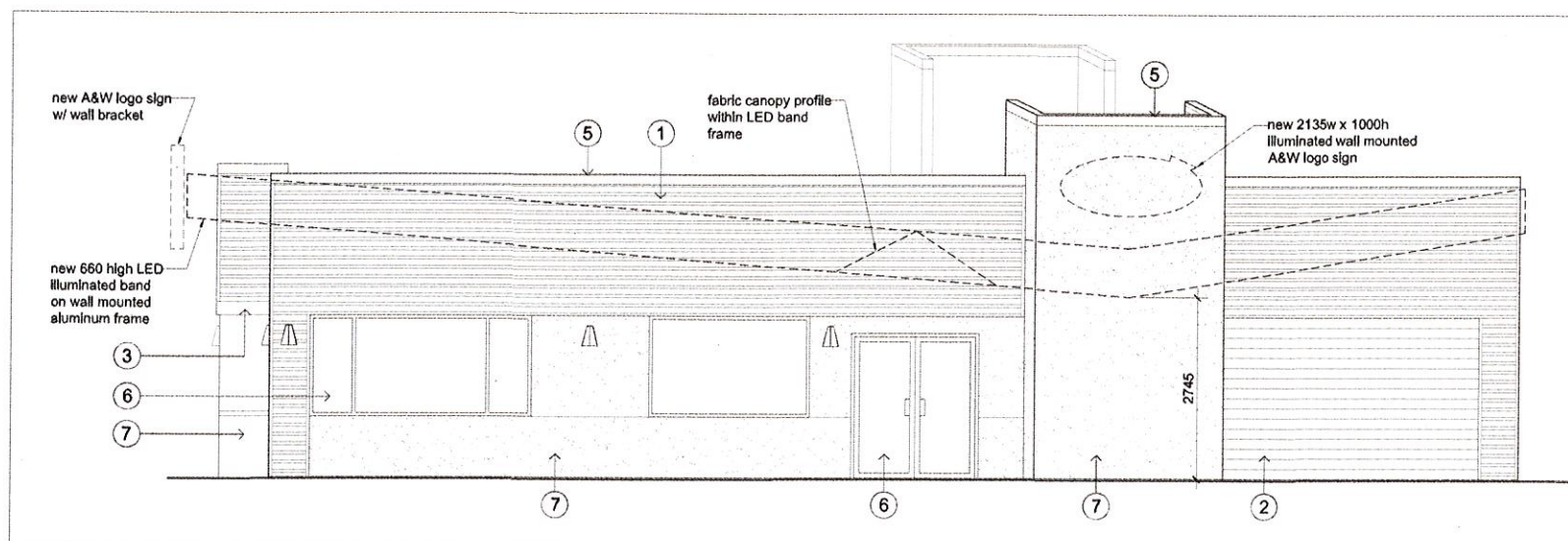
EAST ELEVATION DEMO



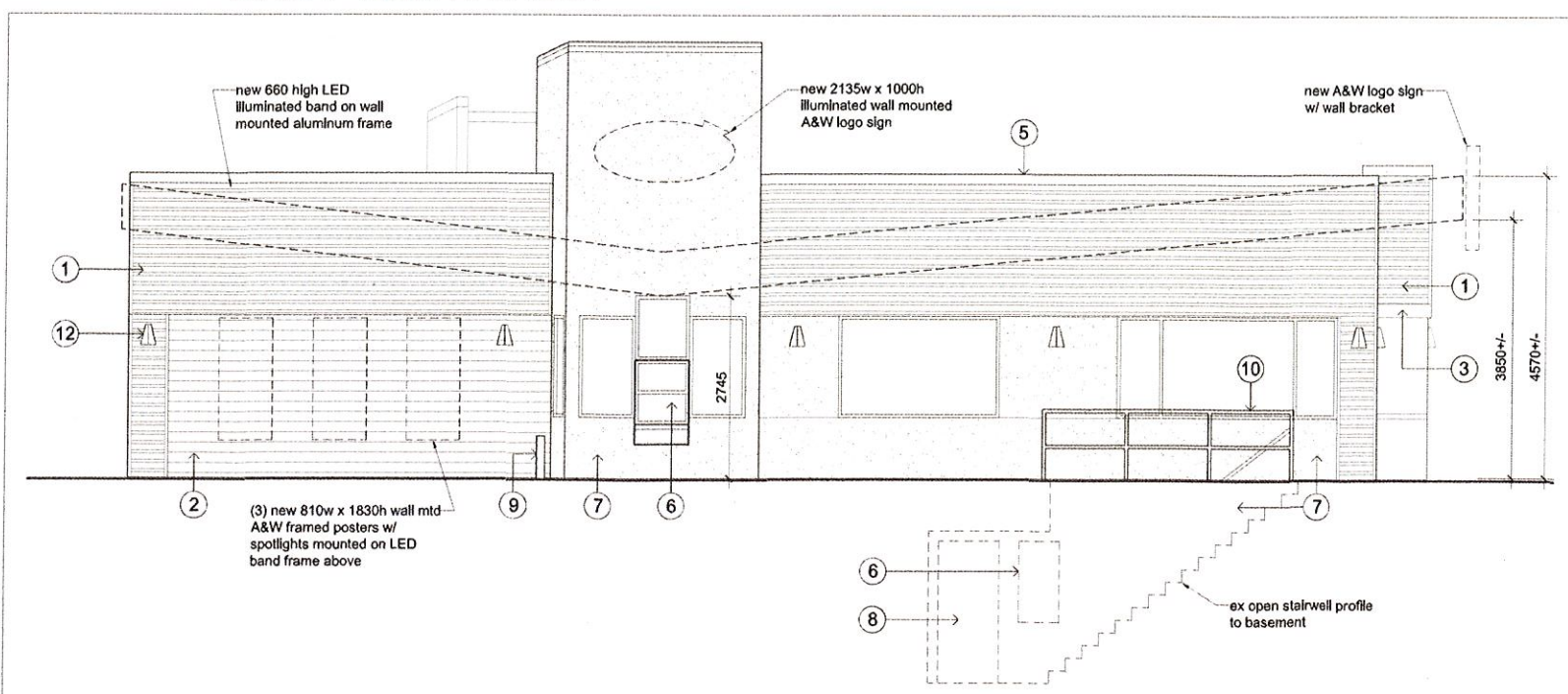
WEST ELEVATION DEMO 1:75

MATERIAL FINISH LEGEND

- ① New prefinished 26ga ribbed steel cladding, Vicwest CL 6025SR Cambridge White
- ② New fibre-cement siding, Hardieplank CedarMill preprimed Chestnut Brown, 127mm exposure
- ③ New prefinished 24ga steel band, Vicwest Metro Brown
- ④ New clear anodized aluminum break shape
- ⑤ New prefinished 26ga steel flashing to match cladding
- ⑥ Existing clear anodized aluminum storefront windows & doors
- ⑦ Existing stucco to be repainted
- ⑧ Existing steel door & frame to be repainted
- ⑨ Existing bollard to be repainted
- ⑩ Existing steel guard/handrail to be repainted
- ⑪ Existing light fixture to be removed, repainted & reinstated
- ⑫ New light fixture to replace existing



EAST ELEVATION 1:50



WEST ELEVATION 1:50

2016/01/17 DEVELOPMENT PERMIT APPLICATION
 rev. date description
 Issue Log

**James Kerr
 Architect**

JAMES KERR, ARCHITECT AIBC
 1423 Haultain Street
 Victoria, BC V8R 2J6
 778-432-2996

Drawn by: JKA
 Date: 2016-2017
 Project No.: 1926
 Scale: AS NOTED

**A&W
 RESTAURANT
 ALTERATIONS**

860 Esquimalt Rd.
 Victoria, BC

Drawing Title
**ELEVATIONS
 DEMOLITION INFO**

Drawing No.
A2

Revision No.



Legend

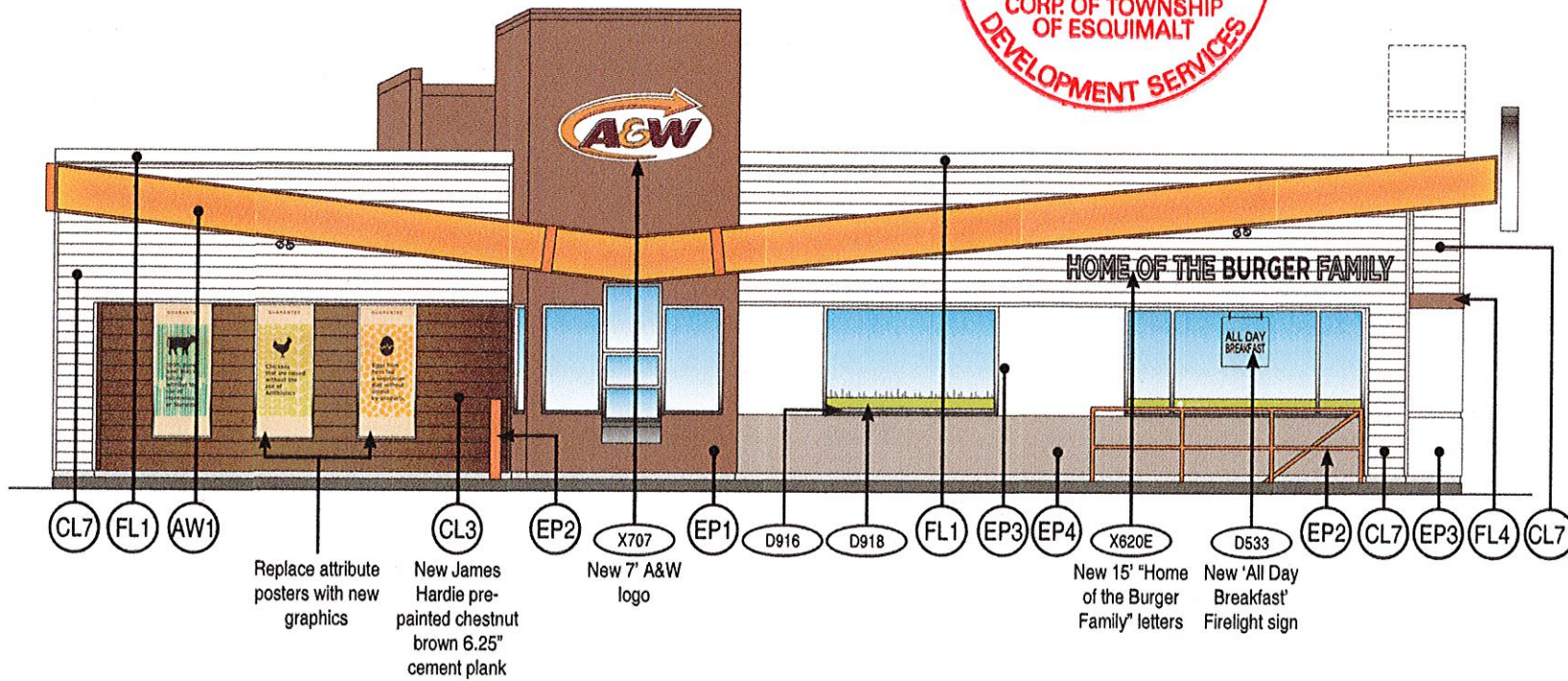
- - - - - Removed
- . - . - . Optional items
- (XX) Denotes material finishes

A&W Restaurant, 860 Esquimalt Rd., Victoria BC

Exterior Elevations Illustrating New Finishes



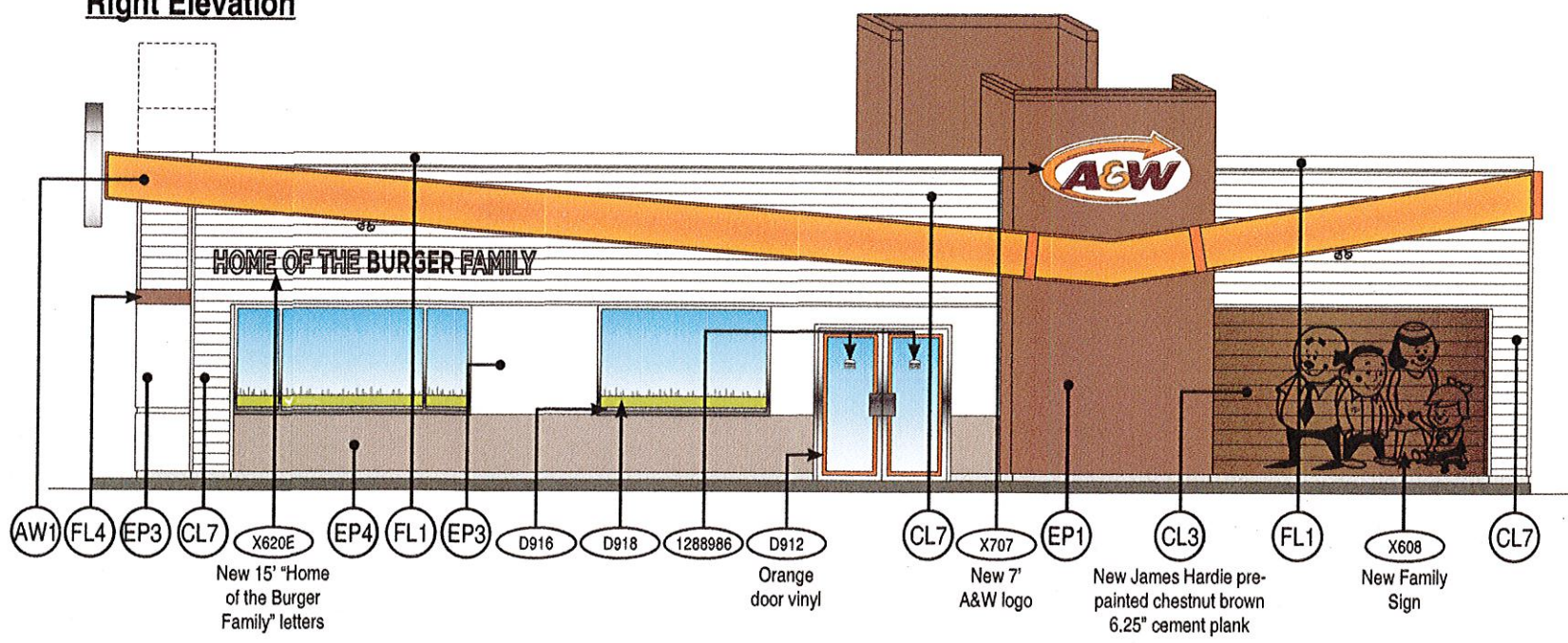
Left Elevation



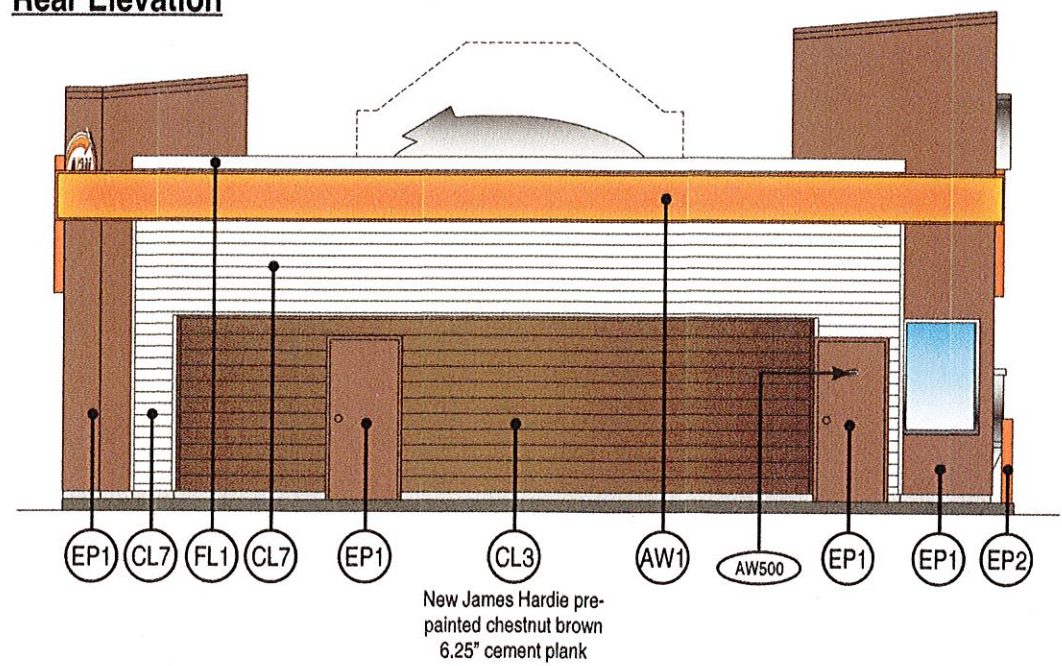
Front Elevation



Right Elevation



Rear Elevation





CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

DRC Meeting: June 14, 2017

STAFF REPORT

DATE: June 9, 2017

TO: Chair and Members of the Design Review Committee

FROM: Alex Tang, Planning Technician
Bill Brown, Director of Development Services

SUBJECT: REZONING APPLICATION
615 Fernhill Road
[PID 004-757-742 Lot B Section 11 Esquimalt District Plan 12446]

RECOMMENDATION:

That the Esquimalt Design Review Committee [DRC] recommends that the application for rezoning to permit a new four storey, residential building containing 10 residential units and incorporating siting, height and massing consistent with architectural plans provided by MJM Architect Inc., stamped "Received May 30, 2017" for the property at PID 004-757-742, Lot B Section 11 Esquimalt District Plan 12446 [615 Fernhill Road], be forwarded to Council with a recommendation **to either approve, approve with conditions, or deny the application including reasons for the chosen recommendation.**

BACKGROUND:

Purpose of the Application

The applicant is requesting a change in zoning from the current RD-1 [Two Family Residential] zoning which currently regulates the subject property to a Comprehensive Development Zone [CD] to facilitate a new four storey, residential building containing 10 residential units.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed height, density and massing, proposed unit sizes, siting, setbacks, lot coverage, useable open space, how the building relates to adjacent and surrounding sites and whether the proposed uses are appropriate and consistent with the overall direction contained within the Official Community Plan.

Staff request the Design Review Committee provide comments on the following items as they relate to the Official Community Plan Land Use Designation and Zoning:

1. Are the proposed setbacks sufficient for a low-rise apartment building use on this site?
 - a) Is the relationship between the proposed apartment building and the adjacent properties appropriate?
 - b) Is the relationship between the proposed apartment building and Fernhill Road appropriate?

2. Is the proposed 50% Lot Coverage appropriate?

Specific form and character issues relating to the aesthetics of the building, such as cladding materials, window materials, doorways, streetscape improvements and landscaping will be evaluated in a separate application for Development Permit should this rezoning application be approved by Council.

Context

Architect: MJM Architect Inc.

Applicant/Owner: Mikhail Bruce Wilkin

Property Size: Metric: 770 m² Imperial: 8,288 ft²

Existing Land Use: Residential

Surrounding Land Uses:

North: Multiple Family Residential
 South: Multiple Family Residential
 West: Multiple Family Residential
 East: Multiple Family Residential

Existing Zoning: RD-1 [Two Family Residential]

Proposed Zoning: CD [Comprehensive Development Zone]

Existing OCP Designation: Multi-Unit, Low-Rise Residential [No change required]

ISSUES:**Zoning****Density, Lot Coverage, Setbacks, Height and Parking:**

The following chart compares the setbacks, lot coverage and floor area ratio and parking requirements of this proposal with the requirements of the RM-4 [Multiple Family Residential]:

	Proposed Comprehensive Development Zone	RM-4 [Medium Density Apartment Residential]
Floor Area Ratio	0.97	1.0
Lot Coverage	50%	30%

Setbacks		
• Front	0 m plus 5.8 m [Balcony]	7.5m
• Rear	5.5 m	7.5m
• Interior Side [North]	3.3 m plus 1.0 m [Balcony]	6m
• Interior Side [South]	3.0 m plus 1.0 m [Balcony]	6m
Building Height	11.6 m [4 storeys]	11m
Off Street Parking	Total spaces required = 13 Total proposed = 12	13 spaces
Usable Open Space	100.5m ² [14%] conforming to terms of Zoning Bylaw, 1992, No. 2050	54.75m ² [7.5% of the Area of the Parcel]

Floor Area Ratio: The floor area ratio of the proposal, 0.97 is less than the 1.0 permitted in the Multiple Family Residential zone [RM-4].

Lot Coverage: The lot coverage of the proposal at 50% is greater than the 30% permitted in the Multiple Family Residential zone [RM-4]. This lot coverage includes two modest front patios and an area with a trellis that leads to the main entrance on the north side. Staff recommends that the trellis be broken into two separate trellises, such that the one that extends from the front lot line to the front face of the building would be detached from the building. This detached trellis would be classified as landscaping and would not constitute lot coverage.

Height: The applicant proposes to construct a building four storeys and 11.6m in height. This proposed height is 0.60m higher than the 11m permitted in the Multiple Family Residential zone [RM-4].

Setbacks: This proposal requires a reduction to the front setback requirements of the RM-4 zone from 7.5m to 0m to the front patio and 5.8m to the front face of the principal building. The north interior side setback is reduces from 6m to 3.3m to the overhanging balcony and 4.3 m to the principal building. The south interior side setback is reduces from 6m to 3.0m to the overhanging balcony and 4.0 m to the principal building. In addition, the rear setback is reduced from 7.5m to 5.5m.

Parking: The applicant proposes to provide one less parking spot than the minimum required for this project. This can be justified based on the location of this project and its proximity to public transit service and services along Esquimalt Road.

Usable Open Space: This proposal's provision of 100.5m² [14%] exceeds the 54.75m² [7.5%] minimum requirement contained in the RM-4 zone.

Official Community Plan

The Esquimalt Official Community Plan allows for sensitive infill development in residential zones, provided the development is consistent with the form and character of the existing neighbourhood.

Section 2.2 – Residential Land Use recognizes that modest growth is likely to occur through the infill of vacant or underutilized parcels, redevelopment of existing residential properties to higher densities (such as townhouses, apartment buildings and mixed commercial-residential uses)

and the replacement of existing buildings.

Section 2.2.1(a) states the Township should work toward a more complete community by maintaining a healthy mixture of housing types, accommodating people with a wide range of income levels. The applicant has stated these units would be 'targeted to young families and are intended to be very affordable'.

Section 2.2.1(b) states the Township should encourage new residential development with high design standards for building and landscaping and which enhance existing and new neighbourhoods.

Section 2.2.4.1 Multi-Unit Residential Policies [attached] are intended to provide more predictability for residents and give direction to design teams preparing development proposals.

Section 2.2.4.1 (b) states that the Township encourages the concentration of multi-unit residential development where such development is in keeping with the overall goals of this Plan.

Section 2.2.4.1(c) states that the Township encourages multi-unit residential near a Major Road as shown on 'Schedule B' of the Official Community Plan. The subject property is located within 100 metres of Esquimalt Road, and Esquimalt Road is considered a Major Road.

Section 2.2.4.1(e) states that a mix of housing types will be provided in multi-unit residential areas in order to provide visual interest and to meet the varying housing needs of Esquimalt's current and future residents.

Section 2.2.4.1(g) Within the areas designated as Townhouse Residential, Multi-Unit, Low-Rise Residential and Multi-Unit, High-Rise Residential, the following criteria will be used to evaluate development proposals requiring an application for rezoning:

- The massing and height of the project will respond sensitively to the prevailing character of the immediate neighbourhood. This will vary by location;
- The project will relate to the street. Its exterior finishes, scale, treatment of parking areas, and landscaping, will enhance the appearance of the neighbourhood and contribute positively to the streetscape;
- The proponent will demonstrate that the neighbourhood has been consulted in a fair and meaningful way, and that residents' concerns have been appropriately responded to in the proposal; and
- Where new multi-unit residential projects are proposed, they should not "land-lock", otherwise isolate, or negatively affect the development potential of adjacent parcels. Projects must either consolidate the isolated parcels or leave a sufficient area available to allow for the eventual redevelopment of the adjacent land.

Section 2.2.4.3 Multi-Unit, Low Rise Residential states that in the Multi-Unit, Low Rise Residential areas designated on "Schedule A" of the Official Community Plan, new buildings up to 4 storeys with a Floor Area Ratio of up to 1.5 may be acceptable.

Green Building Features

The applicant has completed the Esquimalt Green Building Checklist [attached].

Public Notification

As this is a rezoning application, should it proceed to a Public Hearing, notice would be mailed to tenants and owners of properties within 100m (328 ft) of the subject property. One sign indicating that the property is under consideration for a change in zoning has been installed on the Fernhill Road frontage. Additionally, notice of the Public Hearing would be placed in two editions of the Victoria News.

ALTERNATIVES:

1. Forward the application for Rezoning to Council with a **recommendation of approval including reasons for the recommendation.**
2. Forward the application for Rezoning to Council with a **recommendation of approval including specific conditions and including reasons for the recommendation.**
3. Forward the application for Rezoning to Council with a **recommendation of denial including reasons for the recommendation.**



Fernhill Pl

614

612

619

615

611

625

1160

Fernhill Rd

1148

1140

Esquimalt Rd

Subject Property Map
615 Fernhill Road



44. MULTIPLE FAMILY RESIDENTIAL [RM-4]

The intent of this Zone is to accommodate medium density Apartment development.

(1) Permitted Uses

The following Uses and no others shall be permitted:

- (a) Apartment Residential
- (b) Home Occupation

(2) Floor Area Ratio

The Floor Area Ratio shall not exceed 1.00.

(3) Unit Size

The minimum Floor Area for each Dwelling Unit shall not be less than 60 square metres

(4) Building Height

- (a) No Principal Building shall exceed a Height of 11 metres
- (b) No Accessory Building shall exceed a Height of 4 metres

(5) Lot Coverage

- (a) All Principal Buildings, Accessory Buildings and Structures combined shall not cover more than 30% of the Area of a Parcel.
- (b) Accessory Buildings and Structures combined shall not exceed 10% of the Area of a Parcel.

(6) Siting Requirements

(a) Principal Building

- (i) Front Setback: No Building shall be located within 7.5 metres of the Front Lot Line.
- (ii) Side Setback: No Building shall be located within 6.0 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) Rear Setback: No Building shall be located within 7.5 metres of a Rear Lot Line.

(b) **Accessory Building**

- (i) **Front Setback:** No Accessory Building shall be located in front of the front face of the Principal Building.
- (ii) **Side Setback:** No Accessory Building shall be located within 1.5 metres of an Interior Side Lot Line nor 3.6 metres of an Exterior Side Lot Line.
- (iii) **Rear Setback:** No Accessory Building shall be located within 1.5 metres of a Rear Lot Line.
- (iv) **Building Separation:** No Accessory Building shall be located within 2.5 metres of a Principal Building.

(7) **Usable Open Space**

Usable Open Space shall be provided in an amount of not less than 7.5% of the Area of the Parcel.

(8) **Fencing**

Subject to Section 22, no fence shall exceed a Height of 1.2 metres in front of the front face of the Principal Building and 2 metres behind the front face of the Principal Building.

(9) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements of Parking Bylaw No. 2011.



Talbot Mackenzie & Associates

Consulting Arborists



May 29, 2017

Misha Wilkin
615 Fernhill Road
Victoria, BC V9A 4Y7

Memo

Re: 75 cm d.b.h. Garry oak at 615 Fernhill Road

During our May 15, 2017 site visit, at your request, we visually examined the above ground portions of one 75 cm d.b.h. Garry oak tree that is located at the centre of the front garden of the property at 615 Fernhill Road.

We identified a critical rooting area for this tree that extends a radial distance of 7 metres out from the base of the trunk in all directions and measured a canopy diameter spread of 10 metres. The tree is reasonably healthy although there are some indicators of health stress.

During this site visit we observed defects in the structure of this tree i.e.

- Long heavily end weighted and over-extended scaffold limbs on all sides of the canopy.
- A long split limb over the existing driveway that is at high risk of failure.
- A cavity and nesting hole in a pruning wound at the main stem union.

Most of the observed defects can probably be mitigated by canopy reduction pruning however as this property is subject to a rezoning proposal that will limit the potential to retain this tree we did not conduct further testing of the defects.

During this site visit, we reviewed the plans for the proposed property redevelopment. The building footprint is located where we anticipate that the required excavation will encroach up to the tree's root collar at the base of the trunk and result in the loss of 50% or more of the total root mass. It will also result in the loss of up to 50% of the canopy on the building side of the trunk to provide adequate clearance from the building walls and to facilitate the construction.

In our opinion the degree of canopy and root loss that is expected will have a detrimental impact on the health, structure and stability of the tree to the degree that it cannot be retained. Therefore we recommend that this tree be removed prior to the start of construction on this property.

.../2

Box 48153 RPO Uptown
Victoria, BC V8Z 7H6
Ph: (250) 479-8733 ~ Fax: (250) 479-7050
Email: treehelp@telus.net

Please do not hesitate to call us at (250) 479-8733 should you have any further questions.
Thank You.

Yours truly,
Talbot Mackenzie & Associates



Tom Talbot & Graham Mackenzie
ISA Certified, & Consulting Arborists

Enclosure: Reviewed plan

Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve their health and structure or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an Arborist to identify every flaw or condition that could result in failure nor can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.



Adopted January 10th, 2011



"One-third of Canada's energy use goes to running our homes, offices and other buildings. The federal government's Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment."
[Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

- 1 Are you building to a recognized green building standard? Yes No
If yes, to what program and level?
- 2 If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? Yes No
- 3 Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? Yes No
If so, please describe them. HARDPANEL SIDING ON RAINSCREEN WALL ASSEMBLY
- 4 What percentage of the existing building[s], if any, will be incorporated into the new building? 0 %
- 5 Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.
ALL WOOD USED IN THIS PROJECT WILL BE FROM B.C.
- 6 Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? Yes No
PARALLAX & LVL // ENGINEERED WOOD JOISTS TO BE UTILIZED
- 7 Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? Yes No
Fletcher Challenges wood from Elk Falls
For which parts of the building (e.g. framing, roof, sheathing etc.)? entry arbour
- 8 Can alternatives to Chlorofluorocarbon's and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. Yes No
Products such as Dow's glycol ethers will be used wherever possible,
- 9 List any products you are proposing that are produced using lower energy levels in manufacturing. Yes No
NOT KNOWN
- 10 Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Yes No
UNKNOWN @ TIME OF REZONING
- 11 Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? Yes No

Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

- | | | | | |
|----|--|--------------------------------------|----|-----|
| 12 | Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? | Yes | No | N/A |
| 13 | For commercial buildings, do flushes for urinals exceed BC Building Code requirements? | Yes | No | N/A |
| 14 | Does your project use dual flush toilets and do these exceed the BC Building Code requirements? | <input checked="" type="radio"/> Yes | No | |
| 15 | Does your project exceed the BC Building Code requirements for maximum flow rates for private showers? | <input checked="" type="radio"/> Yes | No | |
| 16 | Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets? | <input checked="" type="radio"/> Yes | No | |

Storm Water

- | | | | | |
|----|--|--------------------------------------|-------------------------------------|--------------------------------------|
| 17 | If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] | Yes | No | <input checked="" type="radio"/> N/A |
| 18 | Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property? | <input checked="" type="radio"/> Yes | No | N/A |
| 19 | Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____ | Yes | <input checked="" type="radio"/> No | N/A ? |
| 20 | Have you considered storing rain water on site (rain barrels or <u>cisterns</u>) for future irrigation uses? | <input checked="" type="radio"/> Yes | No | N/A |
| 21 | Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. <u>an oil interceptor will be installed in the parkade</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 22 | Will this project have an engineered green roof system or has the structure been designed for a future green roof installation? <u>(Project designed for future green roof)</u> | <input checked="" type="radio"/> Yes | No | N/A |
| 23 | What percentage of the site will be maintained as naturally permeable surfaces? | | | <u>15</u> % |

Waste water

- | | | | | |
|----|--|-----|----|--------------------------------------|
| 24 | For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____ | Yes | No | <input checked="" type="radio"/> N/A |
|----|--|-----|----|--------------------------------------|

Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

- | | | | | |
|----|--|--------------------------------------|----|----------------|
| 25 | Are any healthy trees being removed? If so, how many and what species? <u>3 trees being removed.</u> | <input checked="" type="radio"/> Yes | No | N/A |
| | Could your site/design be altered to save these trees? <u>Unfortunately not.</u> | | | |
| | Have you consulted with our Parks Department regarding their removal? | | | <u>not yet</u> |

- 26 Will this project add new trees to the site and increase our urban forest?
If so, how many and what species? 5 Leyland Cypress Yes No N/A
- 27 Are trees [existing or new] being used to provide shade in summer or to buffer winds? see above Yes No N/A
- 28 Will any existing native vegetation on this site be protected?
If so, please describe where and how. _____ Yes No N/A
- 29 Will new landscaped areas incorporate any plant species native to southern Vancouver Island? Yes No N/A
- 30 Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas? Yes No N/A
- 31 Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)? Yes No N/A
- 32 Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? Yes No N/A
- 33 Will topsoil will be protected and reused on the site? Yes No N/A

Energy Efficiency

Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.

- 34 Will the building design be certified by an independent energy auditor/analyst?
If so, what will the rating be? _____ Yes No N/A
- 35 Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting? Yes No N/A
- 36 Does the design and siting of buildings maximize exposure to natural light?
What percentage of interior spaces will be illuminated by sunlight? 95 % Yes No N/A
- 37 Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal air source heat pump solar hot water, solar air exchange, etc.).
If so, please describe. Energy Star variable speed heat pumps w/ SEER rating of 13 (min)
If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? heat pumps will be wall mounted in parkade above headroom height.
- 38 Has the building been designed to be solar ready? Yes No N/A
rough-ins for roof mounted solar panels will be provided
- 39 Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity? Yes No N/A
see above
- 40 Do windows exceed the BC Building Code heat transfer coefficient standards? Yes No N/A
- 41 Are energy efficient appliances being installed in this project?
If so, please describe. Energy Star Appliances: w/d, dishwashers, refrigerators
- 42 Will high efficiency light fixtures be used in this project?
If so, please describe. most, if not all, fixtures will be LED Yes No N/A
- 43 Will building occupants have control over thermal, ventilation and light levels? Yes No N/A
- 44 Will outdoor areas have automatic lighting [i.e. motion sensors or time set]? Yes No N/A
- 45 Will underground parking areas have automatic lighting? Yes No N/A

Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

- 46 Will ventilation systems be protected from contamination during construction and certified clean post construction? Yes No N/A
- 47 Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? Yes No N/A
If so, please describe. Eco Design's BioShield paint (or Green planet) EcoWood treatment for floors, etc. wood
- 48 Will the building have windows that occupants can open? Yes No N/A
- 49 Will hard floor surface materials cover more than 75% of the liveable floor area? Yes No N/A
- 50 Will fresh air intakes be located away from air pollution sources? Yes No N/A

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

- 51 Will materials be recycled during demolition of existing buildings and structures? Yes No N/A
If so, please describe. any re-useable windows, doors will be selectively recycled.
- 52 Will materials be recycled during the construction phase? Yes No N/A
If so, please describe. _____ ??
(think not)
- 53 Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting? Yes No N/A
- 54 For new commercial development, are you providing waste and recycling receptacles for customers? Yes No N/A

Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

- 55 Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]? Yes No N/A
- 56 For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses? Yes No N/A
- 57 Is access provided for those with assisted mobility devices? Yes No N/A
- 58 Are accessible bike racks provided for visitors? Yes No N/A
- 59 Are secure covered bicycle parking and dedicated lockers provided for residents or employees? Yes No N/A
- 60 Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]:
 - transit passes
 - car share memberships
 - shared bicycles for short term use
 - weather protected bus shelters
 - plug-ins for electric vehicles

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.

electric car charging station provided.

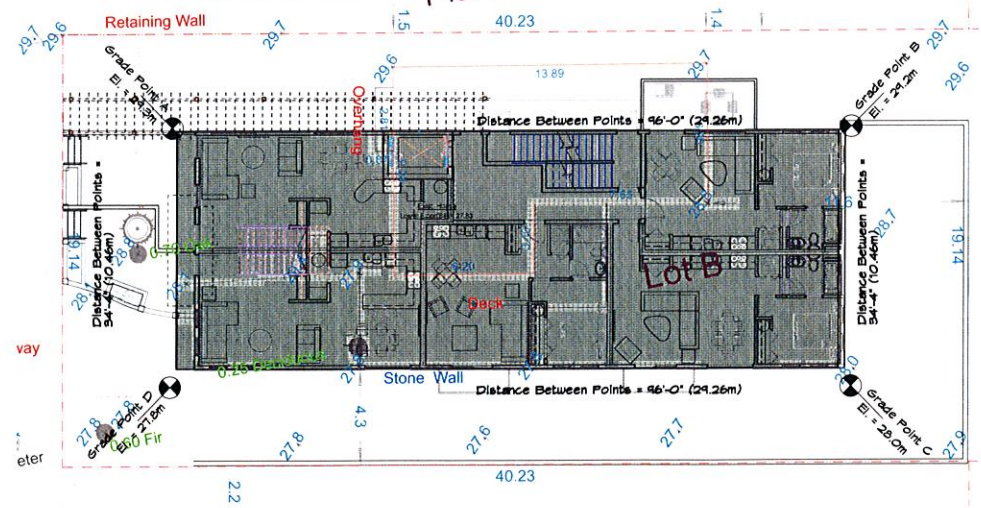
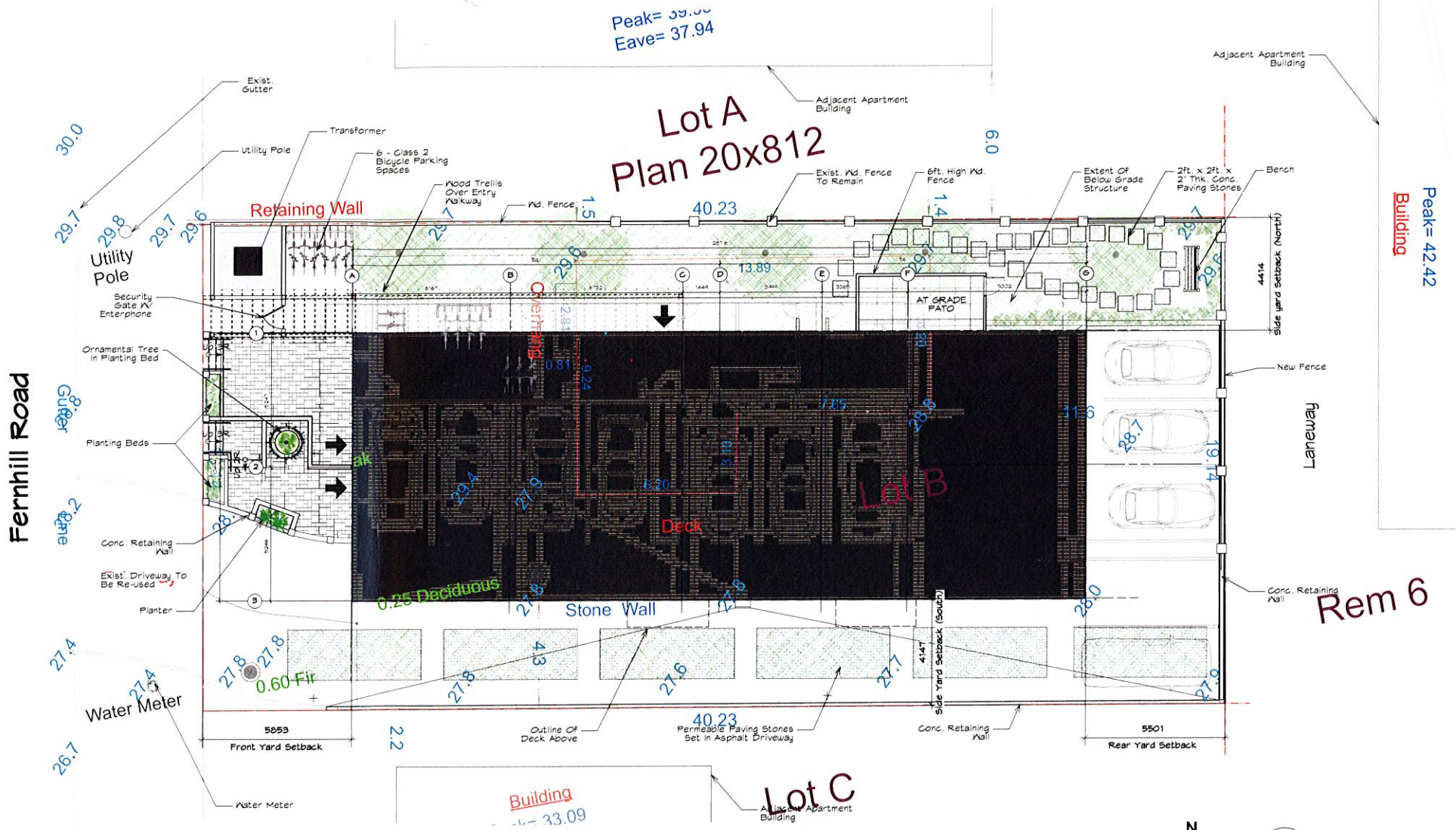
10 Unit Apartment Development, Rezoning From R1-B to CD

615 Fernhill Road, Esquimalt, B.C.

SITE INFORMATION:	
Legal Description:	Lot B, Section 11, Esquimalt District, Plan 12446
Current Zone:	R1-B
Proposed Zone:	Site Specific
Lot Area:	788.3m ²
Building Areas:	(see table @ right)
	Parkade Level = 42.86 m ²
	Main Floor = 250.75 m ²
	Second Floor = 246.96 m ²
	Third Floor = 233.72 m ²
Total Floor Area	= 774.29 m ²
F.A.R. :	= Total Floor Area (774.29 m ²) ÷ Lot Area (788.30m ²) = .982:1
Lot Coverage:	Total Building Horiz. Area = 301.51m ² ÷ Lot Area = 788.30m ² = .382, Or 38%
Setbacks:	Front - 5.853m Rear - 5.501m Side (North) - 4.414m Side (South) - 4.147m

Level	Unit Area:
Parkade	Bicycle Stor. 22.74 s.m.
	Lockers 20.12 s.m.
	Total = 42.86 m ²
Main Floor	UNIT 101 50.84 s.m.
	UNIT 102 50.37 s.m.
	UNIT 103 51.05 s.m.
	UNIT 104 52.04 s.m.
	UNIT 105 45.65 s.m.
Second Floor	UNIT 101 46.96 s.m.
	UNIT 102 50.44 s.m.
	UNIT 201 51.05 s.m.
	UNIT 202 52.04 s.m.
	UNIT 203 45.65 s.m.
Third Floor	UNIT 301 116.96 s.m.
	UNIT 302 116.76 s.m.
	Total = 233.72 m ²
TOTAL AREA = 774.29 s.m.	

LIST OF DRAWINGS	
SK-1 - SITE PLAN/LOCATION PLAN	SK-7 - SOUTH & WEST ELEVATION
SK-2 - PARKADE FLOOR PLAN	SK-8 - NORTH & EAST ELEVATIONS
SK-3 - MAIN FLOOR PLAN	SK-9 - RENDERINGS
SK-4 - SECOND FLOOR PLAN	SK-10 - RENDERINGS
SK-5 - THIRD FLOOR PLAN	SK-11 - MATERIAL SAMPLE BOARD
SK-6 - BUILDING SECTION	



Grade Calculation			
615 Fernhill Road			
Grade Point	Elevation (meters)	Distance Between Points	Sub-Total
A	29.7	29.7	281.13
B	29.6	13.89	291.56
C	27.8	13.89	291.56
D	27.7	13.89	291.56
PERIMETER DISTANCE			TOTAL = 202.15
AVERAGE GRADE CALCULATION TOTAL PERIMETER DISTANCE			28.48



3 Average Grade Calculation
SK-1 Scale - 1:150

2 Location Plan
SK-1 Not To Scale

1 Site Plan
SK-1 Scale - 1:100

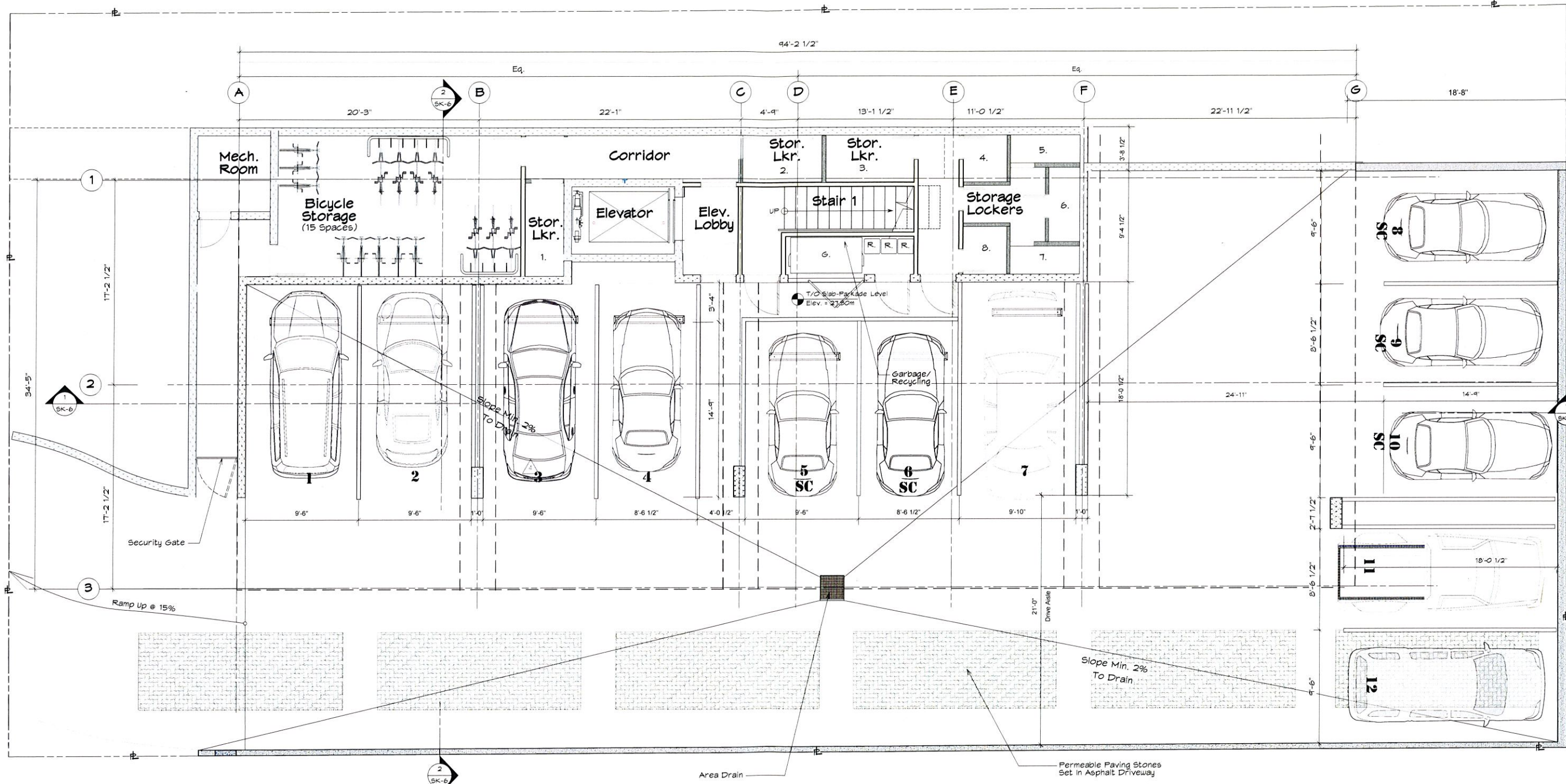
10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application

MJM Architect Inc.
410 508 Vancouver Street, Victoria, B.C.
V8W 2R8
250.681.5432 • fax: 250.681.5433

Site Plan
Scale - As Noted
May 29th, 2017

SK-1





Bicycle Storage	22.74 s.m. 244.17 s.f.
Storage Lockers	20.12 s.m. 216.56 s.f.

Total Floor Area = 42.86 s.m.
461.34 s.f.

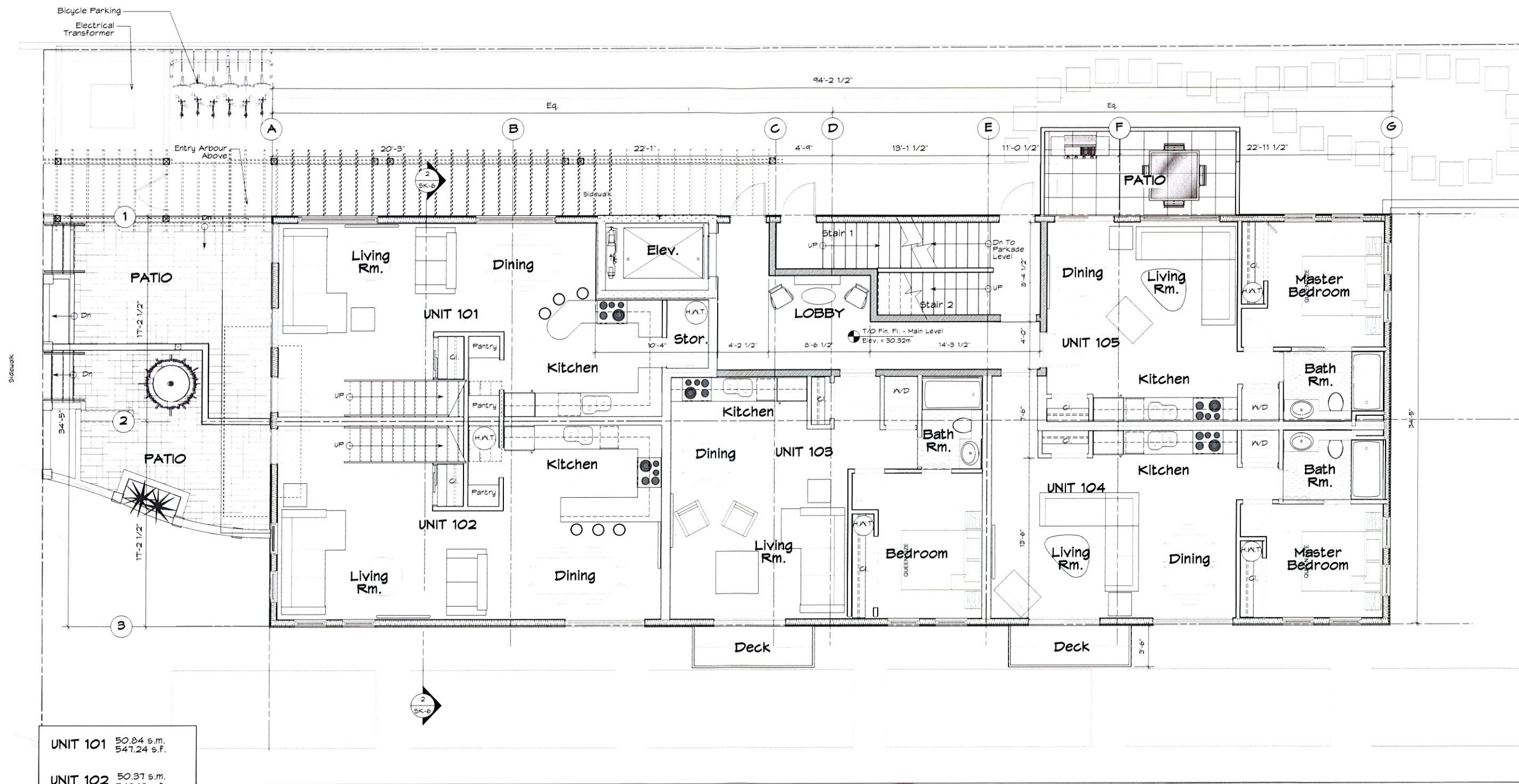


1 Parkade Level Floor Plan
Scale: 1/8" = 1'-0"

10 Unit Apartment Development
615 Ferenhill Road, Esquimalt, B.C.
Rezoning Application
Parkade Plan
Scale - As Noted
May 29th, 2017

MJM Architect Inc.
#10 508 Waterloo Street Victoria, B.C.
V8W 2H6
ph: (250) 681-5402 e-mail: mjmapr@shaw.ca

SK-2



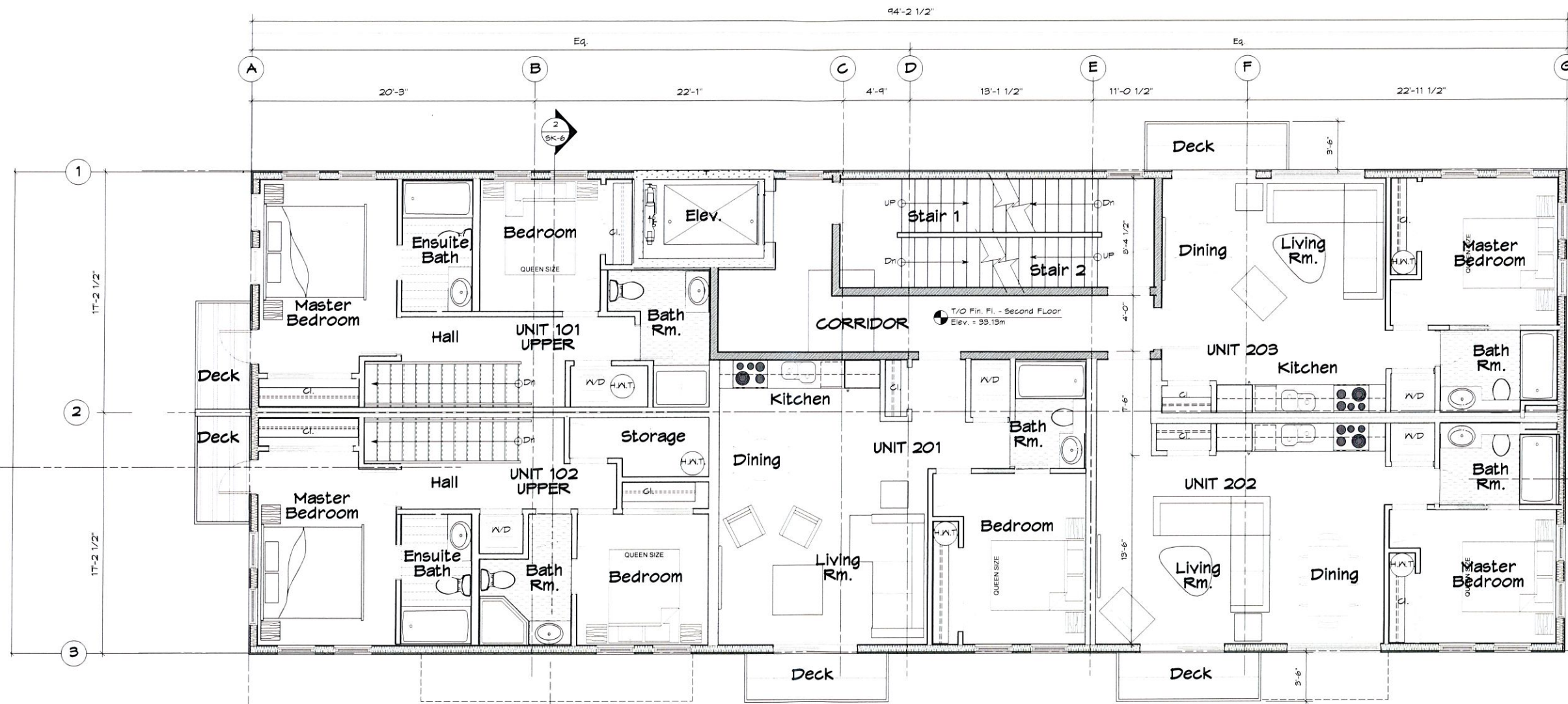
UNIT 101	50.84 s.m. 547.24 s.f.
UNIT 102	50.37 s.m. 542.18 s.f.
UNIT 103	51.85 s.m. 558.11 sq.ft.
UNIT 104	52.04 s.m. 560.15 sq.ft.
UNIT 105	45.65 s.m. 491.37 s.f.

Total Floor Area (F.S.R.)
= 250.75 s.m., OR 2,699.05 s.f.



1
SK-3 Main Floor Plan
Scale: 1/8" = 1'-0"

10 Unit Apartment Development 615 Ferenhill Road, Esquimalt, B.C.	
Rezoning Application	
Main Floor Plan Scale - As Noted May 29th, 2017	SK-3
MJM Architect Inc. #10 100 Vancouver Street, Victoria, B.C. V8V 2V6 PH: (250) 561-5442 • FAX: (250) 561-5443	



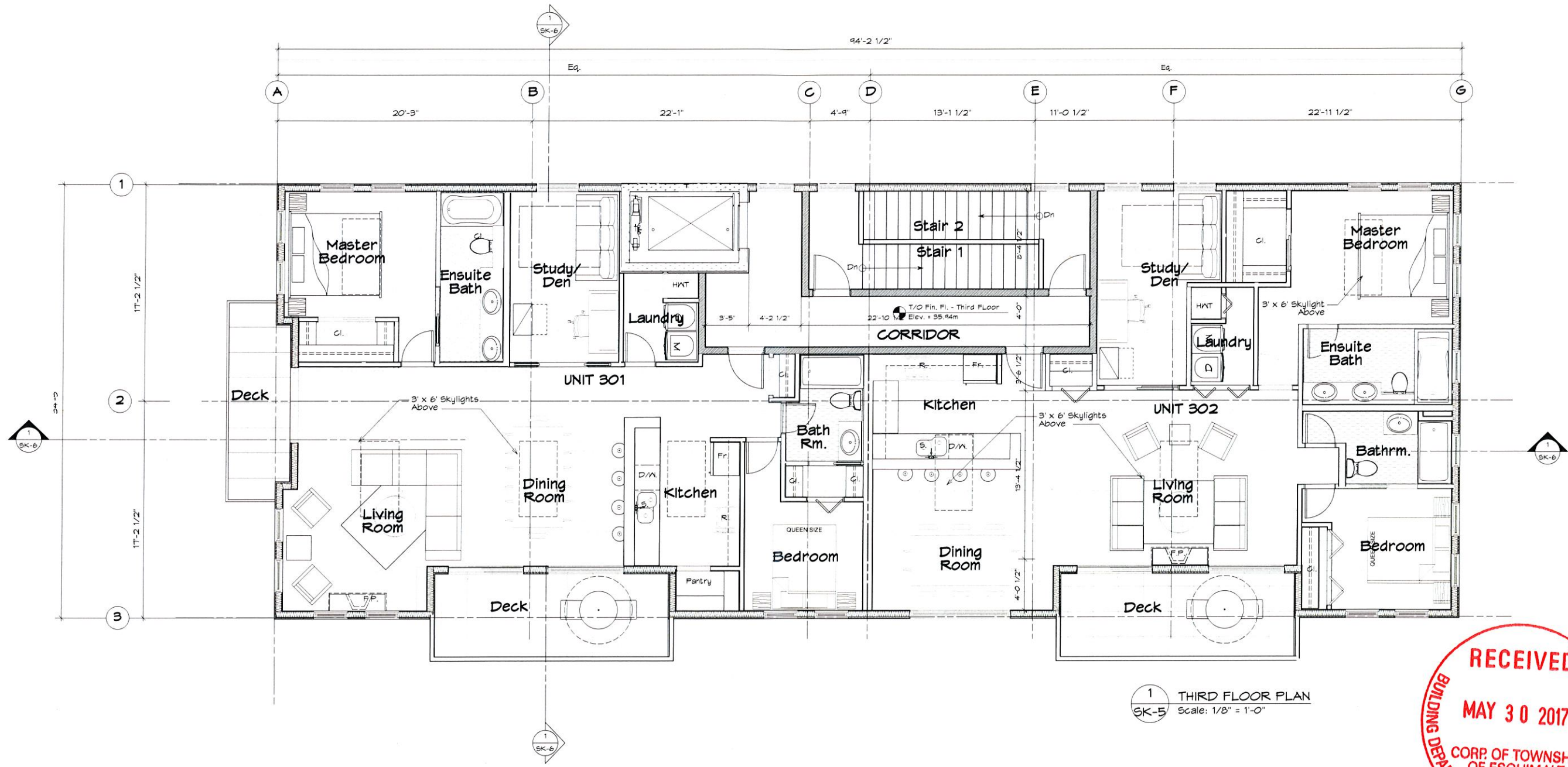
UNIT 101 Upper	46.96 s.m. 505.47 s.f.
UNIT 102 Upper	50.44 s.m. 542.93 s.f.
UNIT 201	51.85 s.m. 558.11 sq.ft.
UNIT 202	52.04 s.m. 560.15 sq.ft.
UNIT 203	45.65 s.m. 491.37 s.f.

Total Floor Area (F.S.R.)
= 246.94 s.m., OR 2,658.04 s.f.

1 SECOND FLOOR PLAN
SK-4 Scale: 1/8" = 1'-0"



10 Unit Apartment Development 615 Ferenhill Road, Esquimalt, B.C. Rezoning Application Second Floor Plan Scale - As Noted May 29th, 2017	SK-4	MJM Architect Inc. <small>#10 800 Vancouver Street, Victoria, B.C. V8V 2V6 ph: (250) 681-5422 • fax: (250) 681-5424</small>
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UNIT 301	116.96 s.m. 1,250.95 s.f.
UNIT 302	116.76 s.m. 1,250.44 s.f.

Total Floor Area = 233.72 s.m.
2,515.74 s.f.

1
SK-5
THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"





2 North/South Section Looking East
Scale: 3/16" = 1'-0"



1 East/West Section Looking North
Scale: 3/16" = 1'-0"

10 Unit Apartment Development
615 Ferenhill Road, Esquimalt, B.C.
Rezoning Application

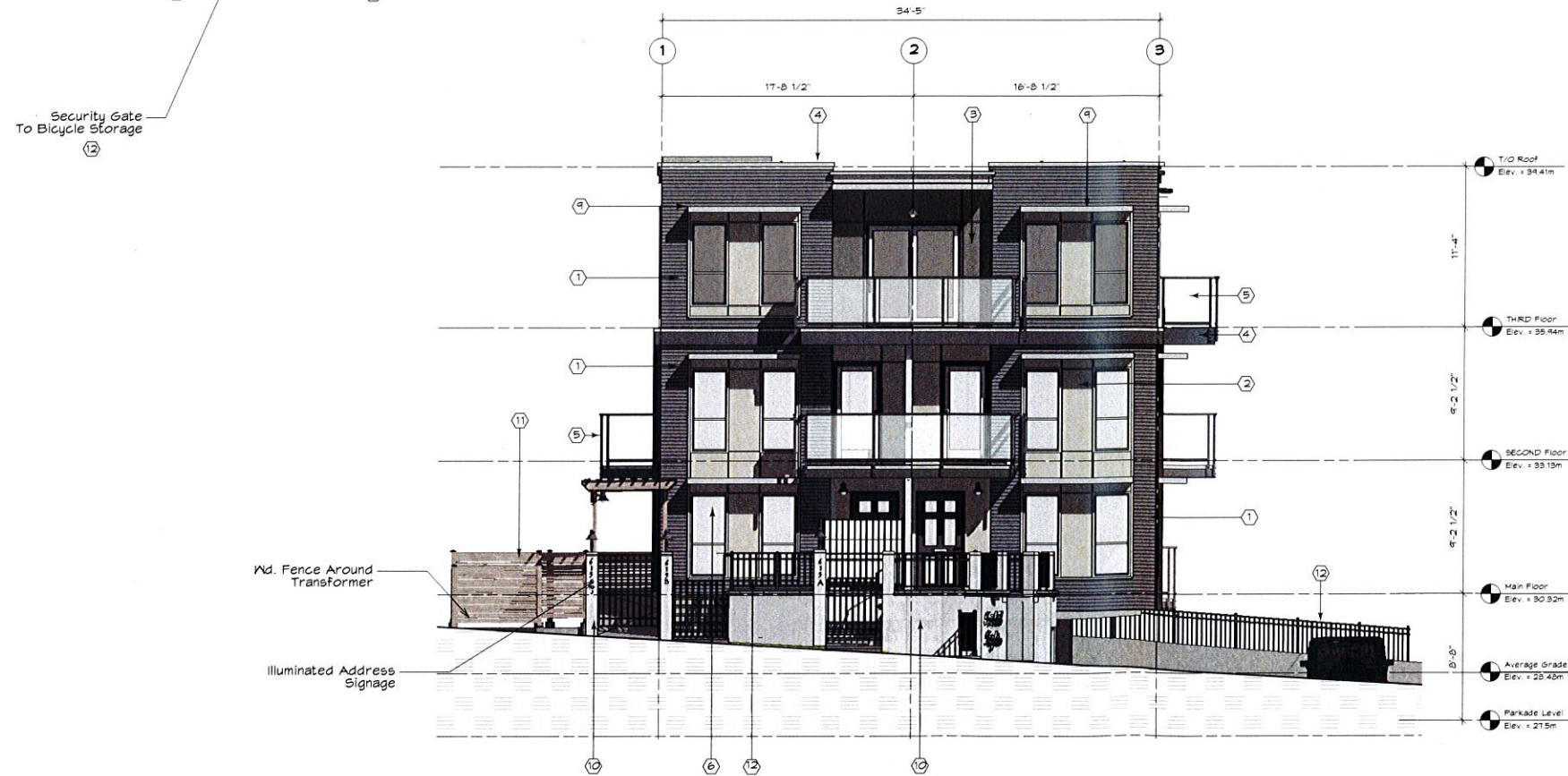
Section
Scale - As Noted
May 29th, 2017

SK-6

MJM Architect Inc.
#10 906 Vancouver Street, Victoria, B.C.
V8V 2V6
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2 South Elevation
SK-7 Scale: 3/16" = 1'-0"



1 West Elevation
SK-7 Scale: 3/16" = 1'-0"

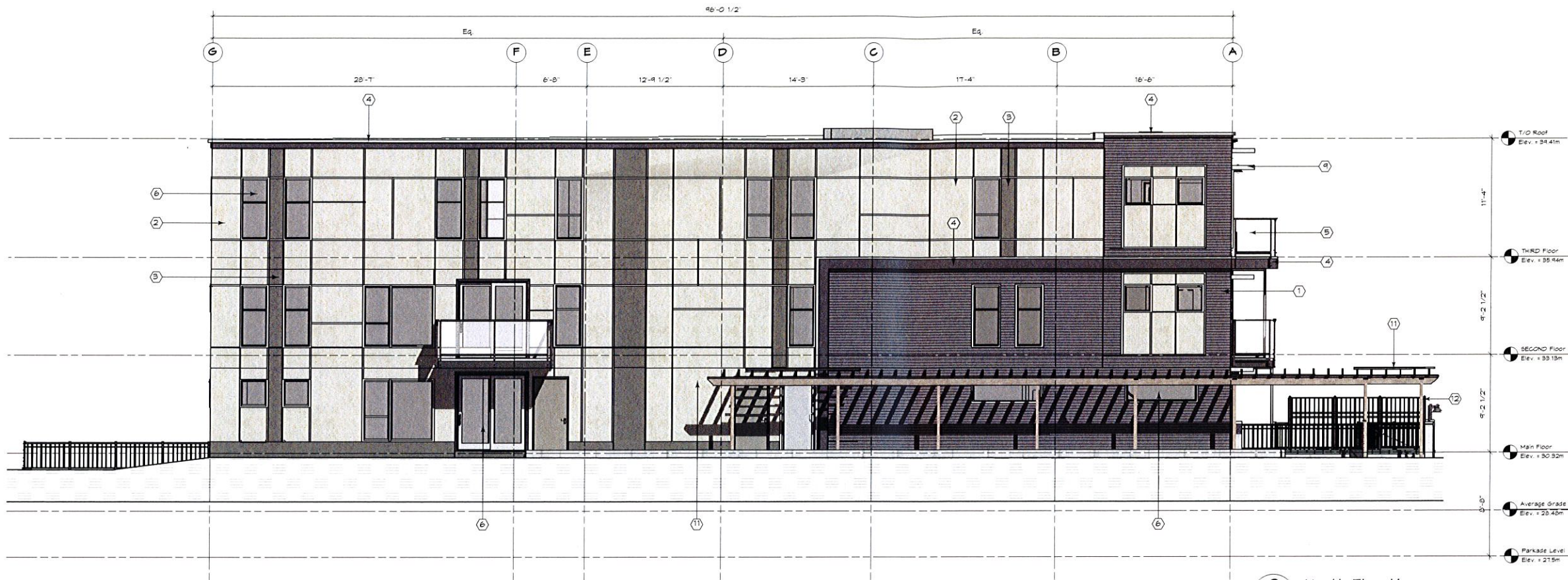
List of Materials Refer To Sheet SK-11

1	1" x 4" Horiz. Fibre Cement Board Siding (Painted)
2	Fibre Cement Board Panels w/ Alum. Reveal Strips Colour 1
3	Fibre Cement Board Panels w/ Alum. Reveal Strips Colour 2
4	Pre-Fin Metal Flashing
5	Alum. Frame Guardrail w/ 3/8" Temp. Glass Balustrade
6	DBI, Glazed Metal Clad Wood Windows & Doors
7	3' x 6' Alum. Skylight w/ DBI, Thermo-pane Glazing
8	Vented Alum. Soffit
9	Alum. Framed Sunshade w/ 3/8" Thk. Tempered Safety Glass (Frosted)
10	Architectural Concrete
11	Wood Arbour/Fence
12	Aluminum Fence/Guardrail

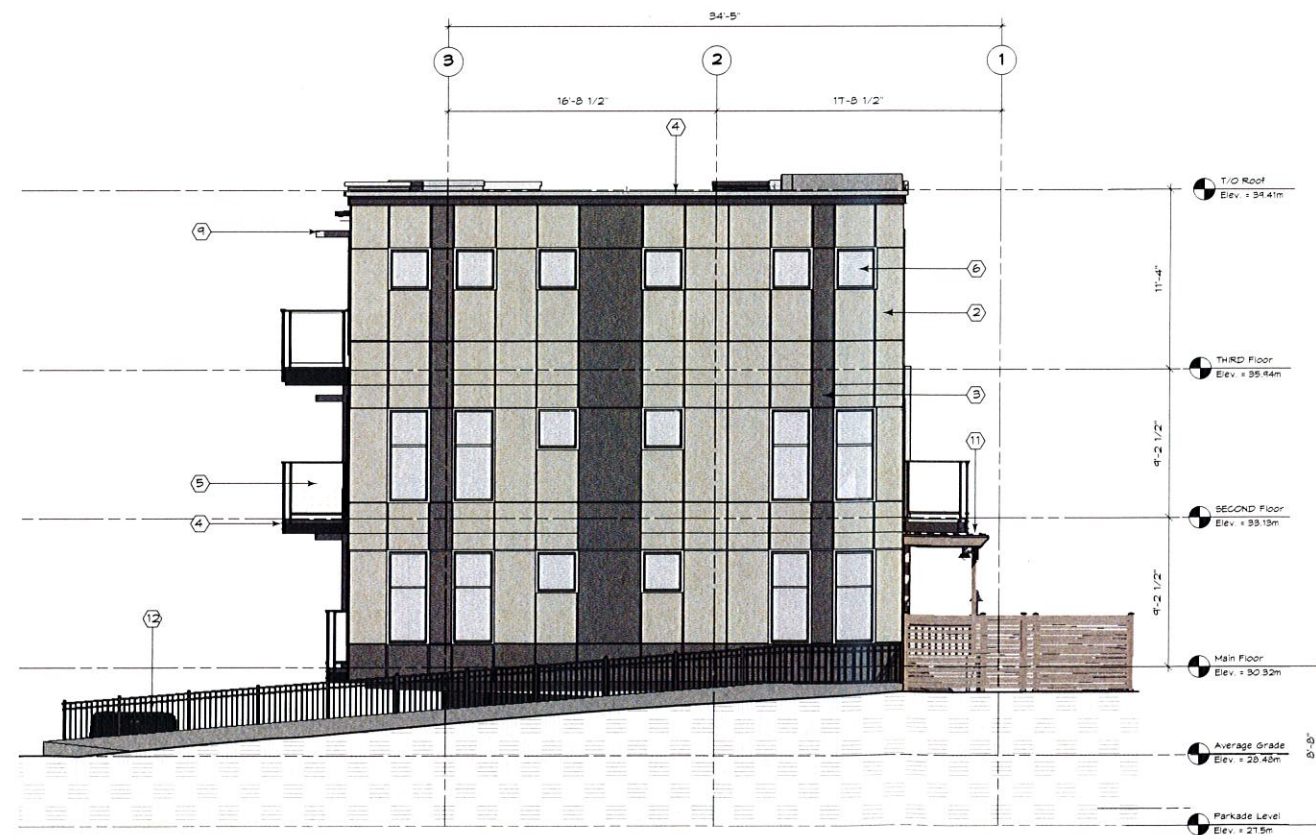
10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application
South & West Elevations
Scale - As Noted
May 28th, 2017

MJM Architect Inc.
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V8V 2V8
PH: (250) 661-5482 email: mjmad@shaw.ca

SK-7



2 North Elevation
SK-8 Scale: 3/16" = 1'-0"



1 East Elevation
SK-8 Scale: 3/16" = 1'-0"

List of Materials Refer to sheet SK-11

1	1" x 4" Horiz. Fibre Cement Board Siding (Painted)
2	Fibre Cement Board Panels w/ Alum. Reveal Strips Colour 1
3	Fibre Cement Board Panels w/ Alum. Reveal Strips Colour 2
4	Pre-Fin Metal Flashing
5	Alum. Frame Guardrail w/ 3/8" Temp. Glass Balustrade
6	Dbl. Glazed Metal Clad Wood Windows & Doors
7	3' x 6' Alum. Skylight w/ Dbl. Thermo-pane Glazing
8	Vented Alum. Soffit
9	Alum. Framed Sunshade w/ 3/8" Thk. Tempered Safety Glass (Frosted)
10	Architectural Concrete
11	Wood Arbor/Fence
12	Aluminum Fence/Guardrail

10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application
North & East Elevations
Scale - As Noted
May 29th, 2017



PLN 200 Vancouver Street, Victoria, B.C.
V8V 3V6
ph: (250) 681-5402 x-mail: mnumoo@shaw.ca



1 VIEW OF PROJECT FROM S.W.
SK-9 Not To Scale

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OF ESQUIMALT
BUILDING DEPARTMENT - COMMUNITY SAFETY SERVICES

10 Unit Apartment Development
615 Fernhill Road, Esquimalt, B.C.
Rezoning Application
Rendering-1
Scale - As Noted
May 29th, 2017

MJM Architect Inc.
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V8W 2Y6
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SK-9



1 VIEW FROM FERNHILL ROAD
 SK-10 Not To Scale



2 Planter Detail At Entry
 SK-10 Not To Scale

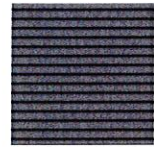

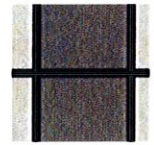

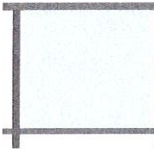


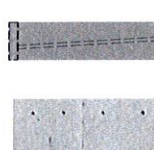
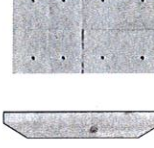





12 Unit Apartment Development
 615 Fernhill Road, Esquimalt, B.C.
Rezoning Application
 RENDERING
 Scale - As Noted
 May 29th, 2017

SK-10

MJM Architect Inc.
 #12 208 Vancouver Street, Victoria, B.C.
 V8V 2V8
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MATERIAL SAMPLE BOARD

	①	1" x 4" Horiz. Fibre Cement Board Siding (Painted)
	②	Fibre Cement Board Panels W/ Alum. Reveal Strips Colour 1
	③	Fibre Cement Board Panels W/ Alum. Reveal Strips Colour 2
	④	Pre-Fin. Metal Flashing
	⑤	Alum. Frame Guardrail W/ 3/8" Temp. Glass Balustrade
	⑥	Dbl. Glazed Metal Clad Wood Windows & Doors
	⑦	3' x 6' Alum. Skylight W/ Dbl. Thermo-pane Glazing
	⑧	Vented Alum. Soffit
	⑨	Alum. Framed Sunshade w/ 3/8" Thk. Tempered Safety Glass (Frosted)
	⑩	Architectural Concrete
	⑪	Wood Arbour/Fence
	⑫	Aluminum Fence/Guardrail

