



## **CORPORATION OF THE TOWNSHIP OF ESQUIMALT**

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Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

File 0550-06

February 16, 2012

### **NOTICE**

**A REGULAR MEETING OF COUNCIL WILL BE HELD ON  
MONDAY, FEBRUARY 20, 2012 AT 7:00 PM, IN THE  
COUNCIL CHAMBERS, ESQUIMALT MUNICIPAL HALL,  
1229 ESQUIMALT ROAD.**

**ANJA NURVO  
CORPORATE OFFICER**



## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

### **A G E N D A** **REGULAR MEETING OF COUNCIL**

Monday, February 20, 2012

7:00 p.m.

Esquimalt Council Chambers

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1. **CALL TO ORDER**

2. **LATE ITEMS**

3. **APPROVAL OF THE AGENDA**

4. **MINUTES**

- |  |             |
|--|-------------|
| (1) Minutes of the Special Meeting of Council, February 6, 2012  | Pg. 1 – 2   |
| (2) Minutes of the Regular Meeting of Council, February 6, 2012  | Pg. 3 – 10  |
| (3) Minutes of the Special Meeting of Council, February 13, 2012 | Pg. 11 – 12 |

5. **PUBLIC INPUT (On items listed on the Agenda)**

*Excluding items which are or have been the subject of a Public Hearing.*

6. **STAFF REPORTS**

*Administration*

- |   |        |
|---|--------|
| (1) Committee Appointment - Extensions, Staff Report No. ADM-12-016 | Pg. 13 |
|---|--------|

**RECOMMENDATION:**

That Council extend the terms of all existing members of the community currently appointed to any of the Township's existing Committees, the Advisory Planning Commission and Board of Variance to March 31<sup>st</sup>, 2012.

*Development Services*

- |   |              |
|---|--------------|
| (2) Rezoning Application and Development Permit, 856 Esquimalt Road, [Lot A, Section 11, Esquimalt District, Plan VIP80973], 858 Esquimalt Road, [Lot 2, Section 11, Esquimalt District Plan, 23904], Staff Report No. DEV-12-011 | Pg. 14 – 102 |
|---|--------------|

**RECOMMENDATION:**

1. That Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 which provides for changes to the zoning of Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road] and Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road] shown cross-hatched on Schedule 'A', attached hereto, from C-6 [Licensed Liquor Establishment] and C-2 [Neighbourhood Commercial] respectively to CD No. 80 [Comprehensive Development District No. 80], be **adopted**; and

2. That Development Permit No. 16/2011, limiting the form and character of the proposed development to that shown on architectural plans provided by Douglas P. J. Millar Architect, stamped “Received October 5, 2011”, and on the landscape plan prepared by Eckford and Associates Landscape Architecture, stamped “Received October 5, 2011”, and sited as detailed on the survey plan prepared by Richard J. Wey and Associates Land Surveyors Inc., stamped “Received October 5, 2011”, be **approved, issued and registered** on the property titles of Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road] and Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road].

- (3) Comprehensive Economic Development Planning, Staff Report No. DEV-12-014 Pg. 103 – 107

**RECOMMENDATION:**

That the issue of tax exemptions [incentives] be considered in the context of a comprehensive economic development plan developed in consultation with the business community.

**7. MAYOR’S AND COUNCILLORS’ REPORTS**

**8. REPORTS FROM COMMITTEES**

- (1) Committee of the Whole Report, February 13, 2012 Pg. 108 – 109  
*[Motion to approve the recommendations]*
- (2) Draft minutes from the Advisory Planning Commission meeting, Pg. 110 – 112  
December 20, 2011
- (3) Draft minutes from the Access Awareness Advisory Committee Pg. 113 – 116  
meeting, January 22, 2012
- (4) Memorandum from the Access Awareness Advisory Committee, Pg. 117  
dated February 6, 2012, Re: Request for Proclaim Access  
Awareness Day
- (5) Draft minutes from the Environmental Advisory Committee meeting, Pg. 118 – 122  
January 25, 2012

**9. COMMUNICATIONS**

- (1) Letter from Sarjit K Manhas, BC Government Retired Employees Pg. 123  
Association, dated February 6, 2012, Re: Request to Pass  
Resolution
- (2) Email from Lily Wallace, Creative Peace Mural Society, dated Pg. 124  
February 14, 2012, Re: Invitation to Mural Exhibition at Westminster  
Hall, London, England

- |     |  |               |
|-----|--|---------------|
| (3) | Email from John Rowlandson, Velo Village Team Lead, dated February 15, 2012, Re: Provincial Investment in Rural Cycling Infrastructure   | Pg. 125 – 127 |
| (4) | Letter from Peter Ronald, Local Government Program Services, UBCM, dated February 3, 2012, Re: 2012 Age-friendly Community Projects & Planning Grant – Approval and Terms & Conditions | Pg. 128 – 131 |
| (5) | Letter from C A Baines, Captain (Navy), Base Commander, National Defence, dated February 13, 2012, Re: Request for Freedom of the City – Township of Esquimalt Centennial 2012         | Pg. 132 – 133 |

**10. RISE AND REPORT**

- |     |  |         |
|-----|--|---------|
| (1) | Report from the <i>In Camera</i> Meeting of Council, February 13, 2012, Re: Esquimalt Policing and Law Enforcement Panel | Pg. 134 |
|-----|--|---------|

**11. PUBLIC QUESTION AND COMMENT PERIOD**

*Excluding items which are or have been the subject of a Public Hearing.  
Limit of two minutes per speaker.*

**12. MOTION TO GO *IN CAMERA***

Motion to go *In Camera* pursuant to Section 90 of the *Community Charter* to discuss:

- Personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality; and
- The acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; and
- Litigation or potential litigation affecting the municipality;

In accordance with Section 90 (1) (a), (e), and (g) of the *Community Charter*, and that the general public be excluded.

**13. ADJOURNMENT**



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

MINUTES  
SPECIAL MEETING  
OF MUNICIPAL COUNCIL  
MONDAY, FEBRUARY 6<sup>TH</sup>, 2012

5:45 P.M.  
COUNCIL CHAMBERS

**PRESENT:**

Mayor Barbara Desjardins  
Councillor Meagan Brame  
Councillor Dave Hodgins  
Councillor Lynda Hundleby  
Councillor Robert McKie  
Councillor Tim Morrison  
Councillor David Schinbein

**STAFF:**

Laurie Hurst, Chief Administrative Officer  
Anja Nurvo, Manager of Corporate Services  
[Recording Secretary]

1. **CALL TO ORDER**

Mayor Desjardins called the Special Meeting of Council to order at 5:45 p.m.

2. **LATE ITEMS**

There were no late items.

3. **APPROVAL OF THE AGENDA**

**MOTION:** Moved by Councillor Brame/Councillor McKie:  
That the Agenda be approved as circulated.

**CARRIED UNANIMOUSLY.**

4. **MOTION TO GO *IN CAMERA***

**MOTION:** Moved by Councillor Hundleby/Councillor Schinbein:  
That Council convene *In Camera* pursuant to Section 90 of the *Community Charter* to discuss:

- Personal information about an identifiable individual who is being considered for a municipal award or honour, or who has offered to provide a gift to the municipality on condition of anonymity; and
- Labour relations and other employee relations; and
- The security of the property of the municipality; and
- Litigation or potential litigation affecting the municipality;

in accordance with Section 90 (1) (b), (c), (d) and (g) of the *Community Charter*, and that the general public be excluded.

**CARRIED UNANIMOUSLY.**

5. **ADJOURNMENT**

**MOTION:** Moved by Councillor Brame/Councillor Hundleby:  
That the Special Meeting of Council be adjourned at 5:46 p.m.

**CARRIED UNANIMOUSLY.**

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MAYOR OF THE CORPORATION OF THE  
TOWNSHIP OF ESQUIMALT  
THIS DAY OF FEBRUARY, 2012

CERTIFIED CORRECT:

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ANJA NURVO  
CORPORATE OFFICER



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

MINUTES  
REGULAR MEETING  
OF MUNICIPAL COUNCIL  
MONDAY, FEBRUARY 6, 2012

7:01 P.M.  
COUNCIL CHAMBERS

**PRESENT:**

Mayor Barbara Desjardins  
Councillor Meagan Brame  
Councillor Dave Hodgins  
Councillor Lynda Hundleby  
Councillor Robert McKie  
Councillor Tim Morrison  
Councillor David Schinbein

**STAFF:**

Laurie Hurst, Chief Administrative Officer  
Barbara Snyder, Director of Development Services  
Jeff Miller, Director of Engineering and Public Works  
Inspector Keith Lindner, West Division OIC  
Anja Nurvo, Manager of Corporate Services  
Louise Payne, Recording Secretary

1. **CALL TO ORDER**

Mayor Desjardins called the Regular Meeting of Council to order at 7:01 p.m.

2. **LATE ITEMS**

**MOTION:** Moved by Councillor McKie/Councillor Brame:  
The following items were added to the Agenda:

- a) Pertaining to Item 7. (1) Public Hearing – Rezoning Application and Development Permit (616 Lampson Street]
- Email from Sandi Best, received February 3, 2012 re: Notice of Public Hearing, 616 Lampson Street; and
  - Letter dated February 6, 2012 from Sarah Cook and Charles Burnett of 612 Lampson Street (distributed at Council meeting) re: Impasse in negotiations regarding development at 616 Lampson Street.

**CARRIED UNANIMOUSLY.**

3. **APPROVAL OF THE AGENDA**

**MOTION:** Moved by Councillor McKie/Councillor Brame:  
That the Agenda be approved as amended.

**CARRIED UNANIMOUSLY.**

4. **MINUTES**

**MOTION:** Moved by Councillor Brame/Councillor Hundleby:  
That the minutes of the Special Meeting of Council, January 16, 2012 be approved as circulated.

**CARRIED UNANIMOUSLY.**

**MOVED:** Moved by Councillor Brame/Councillor Hundleby:  
That the minutes of the Regular Meeting of Council, January 16, 2012 be approved as amended, with the addition of the following under Item 6 Public Input by Rod Lavergne: “; however he pointed out that this practice was not in keeping with a previous Council resolution.”

**CARRIED UNANIMOUSLY.**

**MOTION:** Moved by Councillor McKie/Councillor Schinbein:  
That the following minutes be approved as circulated:

- (3) Minutes of the Regular Meeting of Council, January 23, 2012  
(4) Minutes of the Special Meeting of Council, January 25, 2012

**CARRIED UNANIMOUSLY.**

5. **PRESENTATION**

- (1) Werner Hofstaatter, Wood First on the South Island, Re: Wood First Commitment

Mr. Werner Hofstaatter presented Council with information on the “Wood First Act in BC” and requested that Council direct staff to prepare a Wood First policy for the Township of Esquimalt.



6. **PUBLIC INPUT**

*Tony Cond, resident,* presented his responses to staff's recommendations to traffic control measures on Old Esquimalt Road, noting that a majority of neighbourhood residents were concerned about excessive speeding. With respect to the Local Area Service recommendation, Mr. Cond pointed out that speed control systems built on other municipal streets were paid by municipal funds, and he requested that Council choose to utilize Capital funding for the traffic control measures on Old Esquimalt Road.

*Joe Rozon, resident,* expressed concern with the proposed traffic control measures on Old Esquimalt Road being put on the shoulders of residents of Old Esquimalt Road. He noted that policing of the speeding problem has not been satisfactory, and cannot be relied upon to resolve the issue.

7. **PUBLIC HEARING**

(1) **PUBLIC HEARING – REZONING APPLICATION AND DEVELOPMENT PERMIT [616 LAMPSON STREET]**

- i) Notice of Hearing
- ii) Background Information:
  - Staff Report No. DEV-11-102
  - Staff Report No. DEV-12-006

The Director of Development Services gave a brief overview of the proposed rezoning and Development Permit application.

The applicant reviewed the rezoning and Development Permit application, noting that there was an outstanding issue with the neighbouring property owner and the retaining wall on their property.

**PUBLIC INPUT**

*Linda Schaumleffel, resident,* expressed concern with the driveway on the subject property coming out into the middle of the intersection at Lampson and Worsley, and her opposition to the application because of this traffic situation.

*Sarah Cook and Charles Burnett, residents,* reviewed their concerns contained in their letter dated February 6, 2012, which was distributed to Council as an addition to the Agenda, with respect to negotiations with the applicant regarding the removal of the old retaining wall, construction of a hedge to compensate for loss of privacy being included in the landscape plan, and the driveway encroachment onto their property.

Mayor Desjardins called three times for any other persons who wished to speak at the Public Hearing.

## ADJOURNMENT OF HEARING

Mayor Desjardins declared the Public Hearing closed at 8:01 p.m.

### 8. PUBLIC HEARING STAFF REPORT

- (1) Rezoning Application and Development Permit, 616 Lampson Street [Lot 5, Section 11, Esquimalt District, Plan 4618], Staff Report No. DEV-12-010

Council discussed the concerns of the property owners at 612 Lampson Street, with the Development Services Director pointing out that a retaining wall does not require a Building Permit, and confirming that a portion of the driveway (616 Lampson Street) was on 612 Lampson Street property.

**MOTION:** Moved by Councillor Hundleby/Councillor Hodgins:  
That Bylaw No. 2785, to amend Zoning Bylaw, 1992, No. 2050 by changing the zoning designation of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street] shown cross-hatched on Schedule 'A', attached hereto, from RD-3 [Two Family /Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81], be given **3rd reading and adoption**.

**CARRIED UNANIMOUSLY.**

**MOTION:** Moved by Councillor Hundleby/Councillor Brame:  
That Development Permit No. 16/2011, limiting the form and character of the proposed development to that shown on architectural plans provided by Key and Associate, Architecture Ltd., stamped "Received October 25, 2011", the landscape plan prepared by LADR Landscape Architects, stamped "Received October 25, 2011 and including improvements to the existing home as detailed in the letter provided by Van-Isle Project Management Ltd. stamped "Received October 25, 2011", and sited as detailed on the survey plan prepared by Brad Cunnin Land Surveying, stamped "Received November 15, 2011", be **approved, issued and registered** on the title of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street].

**CARRIED** (Councillor Hodgins opposed).

### 9. STAFF REPORTS

#### *Administration*

- (1) CRD Inter-Municipal Climate Action Steering Committee, Staff Report No. ADM-12-009

**MOTION:** Moved by Councillor Brame/Councillor Hundleby:  
That Council appoint Councillor Lynda Hundleby to participate on the CRD Inter-Municipal Climate Action Steering Committee.

**CARRIED UNANIMOUSLY.**

(2) UBCM Membership Dues, Staff Report No. ADM-12-010

The CAO gave an overview of the funds administered by UBCM. In response to a question from Council regarding a change in 2011 from charging 5% GST to charging 12% HST, the CAO agreed to provide this information to Council.

**MOTION:** Moved by Councillor McKie/Councillor Hundleby:  
That the letter from Union of British Columbia Municipalities (UBCM) dated January 5, 2012 regarding 2012 UBCM membership dues be received; and  
That the 2012 UBCM membership dues in the amount of \$9,768.14 be approved for payment.

**CARRIED** (Councillor Schinbein opposed).

*Engineering and Public Works*

(3) Lockley Road Traffic Order 1193, Staff Report No. EPW-12-003

A general discussion ensued regarding reviewing other areas and advising local residents about approved changes.

**MOTION:** Moved by Councillor Brame/Councillor McKie:  
That Council approve the following Traffic Order (TO):

- TO#1193 – that a “No Left Turn” sign be installed in the boulevard on the north east corner of the Lockley Road and Admirals Road intersection.

**CARRIED UNANIMOUSLY.**

(4) Funding for Proposed Traffic Calming Measures Along Old Esquimalt Road, Staff Report No. EPW-12-004

The Director of Engineering and Public Works reviewed Staff Report No. EPW-12-004, including the funding options for the project.

A general discussion ensued on the funding options.

**MOTION:** Moved by Councillor Hodgins/Councillor McKie:  
That Council designate the project relating to the traffic calming measures along Old Esquimalt Road as a capital project request which will be reviewed as a part of the 2012 budget discussions.

**CARRIED UNANIMOUSLY.**

10.

**BYLAW**

*For Adoption*

(1) Revenue Anticipation Borrowing Bylaw, 2012, No. 2786

**MOTION:** Moved by Councillor Brame/Councillor Hodgins:  
That Revenue Anticipation Borrowing Bylaw, 2012, No. 2786 be **adopted.**

**CARRIED UNANIMOUSLY.**

11. **MAYOR'S AND COUNCILLORS' REPORTS**

- (1) Report from Councillor Meagan Brame, Re: Association of Vancouver Island Coastal Communities (AVICC)

**MOTION:** Moved by Councillor Hodgins/Councillor Morrison:  
That Council support Councillor Brame putting her name forward to the Nomination Committee of the Association of Vancouver Island Coastal Communities (AVICC) to be a Director at Large for a one year term.

**CARRIED UNANIMOUSLY.**

12. **REPORTS FROM COMMITTEES**

**MOTION:** Moved by Councillor McKie/Councillor Brame:  
That the following minutes be received for information:

- (1) Adopted minutes from the Centennial Celebrations Select Committee meeting, December 21, 2011  
(2) Draft minutes from the Advisory Planning Commission meeting, January 17, 2012

**CARRIED UNANIMOUSLY.**

13. **COMMUNICATIONS**

**MOTION:** Moved by Councillor McKie/Councillor Hundleby:  
That the following communications be received for information:

- (2) Letter from Dan Boot and Dan Melville, Small Modern Living and EcoTec Homes, dated January 16, 2012, Re: Small Affordable Housing Units  
(5) Letter from the Esquimalt Ministerial Association, dated January 2012, Re: Letter of Congratulations to Council in Recent Election  
(7) Letter from Minister Shirley Bond, Solicitor General and Attorney General, dated January 24, 2012, Re: Policing Services in the Township of Esquimalt  
(8) Letter from Barry O'Neill, CUPE BC Division, dated January 24, 2012, Re: Request for Consideration of Resolutions on Public Private Partnerships and Proposed Canada European Union Trade Agreements (CETA)

**CARRIED UNANIMOUSLY.**

- (1) Letter from Eric Pattison, Heritage BC dated January 16, 2012, Re: Heritage Week, 2012

**MOTION:** Moved by Councillor Hundleby/Councillor Hodgins:  
That the letter from Heritage BC dated January 16, 2012, Re: Heritage Week, 2012 be received for information.

**CARRIED UNANIMOUSLY.**

- (3) Email from the Federation of Canadian Municipalities dated January 19, 2012, Re: Registration for FCM's 75<sup>th</sup> Annual Conference and Trade Show

**MOTION:** Moved by Councillor Morrison/Councillor Schinbein:  
That the email from the Federation of Canadian Municipalities, dated

January 19, 2012, Re: Registration for FCM's 75<sup>th</sup> Annual Conference and Trade Show be received; and

That Mayor Desjardins and Councillors Hodgins and Hundleby be approved to attend the 75<sup>th</sup> Annual Conference and Trade Show of the Federation of Canadian Municipalities.

**CARRIED UNANIMOUSLY.**

- (4) Email from the Association of Vancouver Island Coastal Communities, dated January 23, 2012, Re: 2012 AVICC AGM and Convention Program Brochure and Registration

**MOTION:** Moved by Councillor Hodgins/Councillor Brame:

That the email from the Association of Vancouver Island Coastal Communities (AVICC) dated January 23, 2012 regarding the 2012 AGM and Convention Program Brochure and Registration be received for information; and

That Mayor Desjardins, and Councillors Brame, Morrison, Hodgins and Schinbein be approved to attend the AVICC's 2012 AGM and Convention.

**CARRIED UNANIMOUSLY.**

- (6) Email from the Association of Vancouver Island Coastal Communities, dated January 24, 2012, Re: Draft Meeting Minutes of November 22, 2011 Consultation on Aquaculture Meeting

**MOTION:** Moved by Councillor Hodgins/Councillor Brame:

That the email from the Association of Vancouver Island Coastal Communities dated January 24, 2012 regarding draft meeting minutes of November 22, 2011 consultation on aquaculture meeting be received for information; and

That a copy of the AVICC's email be sent to the Esquimalt Anglers' Association.

**CARRIED UNANIMOUSLY.**

- (9) Email from Association of Vancouver Island Coastal Communities, dated January 30, 2012, Re: Invitation to Participate in a Healthy Families BC Communities Consultation Session

**MOTION:** Moved by Councillor Brame/Councillor McKie:

That the email from the Association of Vancouver Island Coastal Communities dated January 30, 2012 regarding an invitation to participate in a Healthy Families BC Communities Consultation session be received for information.

**CARRIED UNANIMOUSLY.**

#### 14.

#### RISE AND REPORT

- (1) Report from the *In Camera* Meeting of Council, January 25, 2012, Re: Director of Development Services Position

At the Special *In Camera* meeting of Council held on January 25, 2012, Council passed the following resolution:

“That Council appoint Bill Brown as the Township of Esquimalt’s Director of Development Services and Statutory Approving Officer effective February 27, 2012.”

**15. PUBLIC QUESTION AND COMMENT PERIOD**

*Muriel Dunn, resident*, expressed her concerns regarding traffic control issues on Old Esquimalt Road and noted her objection to the proposed local area service tax. She also commented with respect to the “Wood First” presentation, that this should be considered for the Esquimalt Village Plan project.

*Lorne Argyle, resident*, commented that a “No Left Hand Turn” sign used to be posted at the north east corner of Lockley Road and Admirals Road intersection and he was pleased to have it back.

**16. ADJOURNMENT**

**MOTION:** Moved by Councillor Hundleby/Councillor Schinbein:  
That the Regular Meeting of Council be adjourned at 9:25 p.m.  
**CARRIED UNANIMOUSLY.**

\_\_\_\_\_  
MAYOR OF THE CORPORATION OF THE  
TOWNSHIP OF ESQUIMALT  
THIS DAY OF FEBRUARY, 2012

CERTIFIED CORRECT:

\_\_\_\_\_  
ANJA NURVO  
CORPORATE OFFICER



# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

MINUTES  
SPECIAL MEETING  
OF MUNICIPAL COUNCIL  
MONDAY, FEBRUARY 13<sup>TH</sup>, 2012

6:30 P.M.  
COUNCIL CHAMBERS

**PRESENT:** Mayor Barbara Desjardins  
Councillor Meagan Brame  
Councillor Lynda Hundleby  
Councillor Robert McKie  
Councillor Tim Morrison  
Councillor David Schinbein

**REGRETS:** Councillor Dave Hodgins

**STAFF:** Laurie Hurst, Chief Administrative Officer  
Anja Nurvo, Manager of Corporate Services  
[Recording Secretary]

1. **CALL TO ORDER**

Mayor Desjardins called the Special Meeting of Council to order at 6:30 p.m.

2. **LATE ITEMS**

There were no late items.

3. **APPROVAL OF THE AGENDA**

**MOTION:** Moved by Councillor Brame/Councillor McKie:  
That the Agenda be approved as circulated.

**CARRIED UNANIMOUSLY.**

4. **MOTION TO GO *IN CAMERA***

**MOTION:** Moved by Councillor Schinbein/Councillor Hundleby:  
That Council convene *In Camera* pursuant to Section 90 of the *Community Charter* to discuss:

- Labour relations and other employee relations; and
- The receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose
- Negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public; and
- The consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party;

in accordance with Section 90 (1) (c), (i), (k) and 90 (2) (b) of the *Community Charter*, and that the general public be excluded.

**CARRIED UNANIMOUSLY.**

5. **ADJOURNMENT**

**MOTION:** Moved by Councillor Hundleby/Councillor McKie:  
That the Special Meeting of Council be adjourned at 6:31 p.m.

**CARRIED UNANIMOUSLY.**

\_\_\_\_\_  
MAYOR OF THE CORPORATION OF THE  
TOWNSHIP OF ESQUIMALT  
THIS DAY OF FEBRUARY, 2012

CERTIFIED CORRECT:

\_\_\_\_\_  
ANJA NURVO  
CORPORATE OFFICER





# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

Council Meeting: February 20, 2012

## STAFF REPORT

**DATE:** February 16, 2012 Report No. ADM-12-016  
**TO:** Laurie Hurst, Chief Administrative Officer  
**FROM:** Anja Nurvo, Manager of Corporate Services  
**SUBJECT: COMMITTEE APPOINTMENTS – EXTENSIONS**

### RECOMMENDATION:

That Council extend the terms of all existing members of the community currently appointed to any of the Township's existing Committees, the Advisory Planning Commission and Board of Variance to March 31<sup>st</sup>, 2012.

### BACKGROUND:

Annually, before the end of the year, Council appoints members of the community to the Township's various Committees, the Advisory Planning Commission and Board of Variance.

At its meeting on December 5, 2011, Council passed the following Resolution:

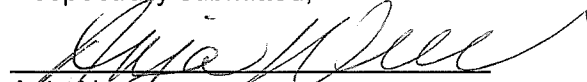
"That Council extend the terms of all existing members of the community currently appointed to any of the Township's Internal Committees, the Advisory Planning Commission and Board of Variance to February 28<sup>th</sup>, 2012."

The intention was to complete interviews by the end of February and make the appointments at the March 5<sup>th</sup> Council meeting. The vacancies have been advertised in the newspaper, a notice has been posted on the notice board at the Municipal Office and on our website, and several applications have been received. Despite extending the application period, unfortunately, we have not received sufficient applications for all of the existing vacancies. Therefore, staff recommend that further advertising be undertaken, that the application period be extended to March 5<sup>th</sup> and that interviews be rescheduled to the middle of March. Extending the terms of current members until March 31<sup>st</sup>, 2012 ensures that the excellent work of our Committees may continue without interruption on numerous important community initiatives.


### ISSUES:

The Committees are set up so that each year half of the terms of members expire and new members are appointed. In order to avoid any disruptions in the on-going work of our numerous Committees, the existing memberships should be extended to allow additional time for applications and reappointments to be completed.

Respectfully submitted,

  
Anja Nurvo  
Manager of Corporate Services

Approved for Council's consideration:

  
Laurie Hurst, CAO

Dated: Feb 16/12



## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

Council Meeting: February 20, 2012

### STAFF REPORT

**DATE:** February 10, 2012 Report No. DEV-12-011

**TO:** Laurie Hurst, Chief Administrative Officer

**FROM:** Trevor Parkes, Senior Planner  
Barbara Snyder, Director, Development Services

**SUBJECT:** **REZONING APPLICATION and DEVELOPMENT PERMIT**  
**856 Esquimalt Rd., [Lot A, Section 11, Esquimalt District, Plan VIP80973]**  
**858 Esquimalt Rd., [Lot 2, Section 11, Esquimalt District, Plan 23904]**

#### RECOMMENDATION:

1. That Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 which provides for changes to the zoning of Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road] and Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road] shown cross-hatched on Schedule 'A', attached hereto, from C-6 [Licensed Liquor Establishment] and C-2 [Neighbourhood Commercial] respectively to CD No. 80 [Comprehensive Development District No. 80], be **adopted**; and
2. That Development Permit No. 16/2011, limiting the form and character of the proposed development to that shown on architectural plans provided by Douglas P. J. Millar Architect, stamped "Received October 5, 2011", and on the landscape plan prepared by Eckford and Associates Landscape Architecture, stamped "Received October 5, 2011", and sited as detailed on the survey plan prepared by Richard J. Wey and Associates Land Surveyors Inc., stamped "Received October 5, 2011", be **approved, issued and registered** on the property titles of Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road] and Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road].

#### BACKGROUND:

**Purpose:** The applicant is requesting a change in zoning from a combination of C-6 [Licensed Liquor Establishment] and C-2 [Neighbourhood Commercial], to a Comprehensive Development District that would authorize the construction of one, 36 metre high, 88 unit mixed use tower, including approximately 934m<sup>2</sup> [10,000 sq. ft.] of commercial space, and one, 36 metre high, 80 unit residential tower. Should this application be approved the two parcels would be consolidated. This site is located within Development Permit Area No. 2 – Commercial; therefore, a development permit is required to ensure the application meets the intent of the guidelines contained in Section 2.3 and Section 9.4 of the Township's Official Community Plan.

**Advisory Planning Commission [APC]:** This application was considered at the regular

meeting of APC held on June 21, 2011. Members were complimentary of design stating that the project represented a bold step forward for Esquimalt. Members commented favorably on the muted colour palette, the enhanced surfacing materials and the landscaping plan. Members indicated that it was positive to see a strong commercial component in the proposal and that the form and character of the street front commercial and courtyard retail units was pleasing. The application was forwarded to Council with a recommendation of approval.

**Committee of the Whole [COTW]:** The Committee of the Whole considered this proposal at the meeting of July 11, 2011 and forwarded the application to Council with a recommendation of approval subject to the preparation of an amending bylaw, completion of appropriate notification, and a Public Hearing being held. At the COTW meeting, members requested the applicant provide an updated summary of green features clearly committing to the inclusion of these features as part of the development proposal. Additionally, COTW commented that the applicant should consider the provision of transit passes or memberships in the Victoria Car Share Co-op for all units, thereby encouraging potential buyers to consider greener transportation opportunities. Members also requested the applicant consider opportunities for inclusion of public art on the site to enhance the public realm.

In response to the comments received at COTW the applicant has provided an updated response list to the Esquimalt Green Building Checklist, stamped "Received August 8, 2011", clarifying their commitments for incorporating green features in this proposal [attached].

Brandon Smith, representative for the property owner, has provided a letter stamped "Received August 8, 2011" [attached], committing to include transit passes as part of the strata fees in the original strata bylaws governing the proposed development. The long-range viability of this expense would be determined by the future residents of the development. The aforementioned letter also commits the applicant to provide a single piece of sculpture, to be displayed near the pedestrian breezeway along Esquimalt Road, thereby addressing COTW inquiry relating to public art.

**Council:** At the special meeting of Council held following the July 11<sup>th</sup> COTW, staff were directed to prepare the bylaw necessary to change the zoning designation of Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road] and Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road] from C-6 [Licensed Liquor Establishment] and C-2 [Neighbourhood Commercial] respectively to CD No. 80 [Comprehensive Development District No. 80], and forward it to Council for consideration.

Amending Bylaw No. 2772 was given first and second readings on August 15, 2011. First and second reading were rescinded and the amended bylaw was given first and second readings on October 17, 2011. Amendments were required to address changes to the site plan and landscaping plan that were required to accommodate traffic flow within the site. Council directed staff to schedule a Public Hearing and send notification to surrounding property owners and occupiers detailing the requested amendments and indicating the date, time and location the application would be considered by Council.

Council also directed staff to prepare a Development Agreement to ensure all off-site road works required to execute the proposal be paid for by the developer. On October 27, 2011, staff presented a Development Agreement, drafted by counsel working on behalf of the Township, to the applicant.

Notification and advertisement was completed by staff and a Public Hearing was held on

November 7, 2011. The minutes from the November 7, 2011 regular meeting of Council, including the Public Hearing, were approved at the special meeting of Council held November 14, 2011. After the Public Hearing was closed, Council gave third reading to the amending bylaw. Council also supported the staff recommendation to postpone considering adoption of the amending bylaw and approval of the Development Permit until the applicant entered into a legal agreement ensuring that the developer assumes responsibility for the costs for the off-site works on Esquimalt Road, lost infrastructure on Esquimalt Road, and the provision of new landscaping or hardscaping in the vicinity of the development.

**PUBLIC HEARING AND COUNCIL MEETING MINUTES:**

Pursuant to Section 894 (2) of the Local Government Act:

*Members of Council who are entitled to vote on a bylaw that was the subject of a public hearing, and were not present at the public hearing, may vote on the adoption of the bylaw if an oral or written report of the public hearing has been given to the members by an officer or employee of the local government, or if applicable, the delegate who conducted the public hearing.*

*The following is an excerpt from the November 7, 2011 Public Hearing and regular meeting of Council. Esquimalt Council approved these minutes on November 14, 2011.*

**“8. PUBLIC HEARING**

**(2) PUBLIC HEARING – REZONING APPLICATION AND DEVELOPMENT PERMIT [856/858 ESQUIMALT ROAD]**

*The Director of Development Services gave a brief overview of the rezoning and Development Permit applications and introduced the applicant who provided an overview of the development proposal and was available to answer questions.*

**PUBLIC INPUT**

*Mark Lindholm, resident, stated that his property was directly affected by the proposed development; however generally he was in support of the application. He expressed concern for access to commercial uses and with the number of visitor parking. He supported the “white roof” concept proposed for this strata-titled building because of its lower maintenance issues than a “green roof” concept.*

*Kathleen Ironmonger, resident, stated that she lived adjacent to the subject property and that the proposed building would affect her views. She was concerned about additional traffic, pedestrian safety and the impact on sightlines of the two towers.*

*Alexandra Innes, resident, expressed concern about the ongoing construction, and with the proposed breezeway attracting criminal activity.*

*Lilly Thompson, resident, stated that she was impressed with the project and welcomed the removal of the existing pub and recycling centre. She was concerned about shadowing, increased traffic, the blasting during construction and the proposed height of the buildings.*

*Chris Daley, resident, expressed concern with the blasting to create the underground parking, shadowing of his building and the density of the proposed development.*

*Willy MacGillivray, resident, stated that this development proposal was setting a precedent for this area and for amendments to the OCP. He inquired as to the vision for this area, and what the developer was prepared to do for the citizens of Esquimalt in exchange for rezoning approval.*

*Georgina Hesketh, resident, inquired as to why some developers are able to make 8 or 6-storey buildings economically feasible in other communities.*

*Emmy Labonté, resident, stated that with a second look at this development proposal, the building resembles a European style, was well thought out and would be an improvement over what is currently on the site.*

*Muriel Dunn, citizen, stated that the proposal was too grand and questioned why the developer needed to have a 12-storey building. She was opposed to 12-storey buildings in Esquimalt, especially located around a school.*

*Susan Currie, resident, expressed concern with the density of the 2-tower development, and that the developer may run out of money and the townhouses not being completed on the site.*

*Peter Ryan, resident, stated that he was in support of this project and welcomed the accessibility features proposed.*

*Lisa Christianson, resident, stated her opposition to the proposed development, noting her concern with traffic congestion and construction noise.*

*Mayor Desjardins called for additional public input three times and there was no additional input.*

#### **ADJOURNMENT OF HEARING**

*Mayor Desjardins declared the Public Hearing closed at 9:25 p.m.*

#### **10. PUBLIC HEARING STAFF REPORTS**

*(2) Rezoning Application and Development Permit, 856 Esquimalt Road [Lot A, Section 11, Esquimalt District, Plan VIP80973], 858 Esquimalt Road [Lot 2, Section 11, Esquimalt District, Plan 23904], Staff Report No. DEV-11-096*

#### **MOTION: Moved by Councillor Linge/Councillor Brame:**

*That Council amend 2nd reading of Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 approved October 17, 2011 to accommodate changes to the building siting requirements ensuring the proposed buildings are placed appropriately on the site; and*

*That amended Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 be given 2nd reading as amended; and*

*That amended Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No.*

*2772 which provides for changes to the zoning of Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road] and Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road] shown cross-hatched on Schedule 'A', from C-6 [Licensed Liquor Establishment] and C-2 [Neighbour-hood Commercial] respectively to CD No. 80 [Comprehensive Development District No. 80], be given 3rd reading; and*

*That, prior to returning Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 and Development Permit No. 06/ 2011 to Council, the applicant be required to enter into a legal agreement to ensure that the developer assumes responsibility for the costs for the off-site works on Esquimalt Road, lost infrastructure on Esquimalt Road, and the provision of new landscaping or hardscaping in the vicinity of the development as identified in the Engineering Services comments.*

**CARRIED UNANIMOUSLY”.**

**ISSUES:**

**Zoning**

Esquimalt does not have a zone which would accommodate the current proposal for this site. A Comprehensive Development District with the following requirements is proposed to meet this site specific design.

Floor Area Ratio:	2.0
Lot Coverage:	39%
Setbacks:	
Front	3.0 metres
Rear	3.2 metres
Side	8.9 metres and 6.9 metres
Building Height:	36 metres [12 stories]
Off-Street Parking:	Total Number of Spaces Required for all uses 277 Total Number of Spaces Proposed for all uses 285
Screening/Landscaping:	Fencing or vegetation 2m in height on the property line adjacent to residential development.

**Official Community Plan**

This proposal is subject to Section 2.3 and Section 9.4 of the Official Community Plan. The overall form and character of the site including landscaping and the exterior design of the building would be controlled by a Development Permit.

This proposal is consistent with the relevant design guidelines and policies contained in the OCP including policies relating to height, density, bicycle parking and rider amenities, form and character, and shadowing.

**Development Agreement**

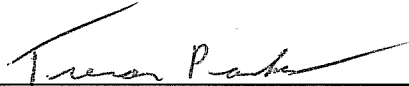
The applicant reviewed alternate approaches to satisfying Council's requirement that all costs associated with altering Esquimalt Road infrastructure to accommodate the traffic management needs of the proposed development be borne by the developer. Upon completing this review the applicant has now signed the Township's Development Agreement and provided the


required funds sufficient to cover all costs of off-site works on Esquimalt Road, lost infrastructure on Esquimalt Road, and the provision of new landscaping or hardscaping in the vicinity of the development.

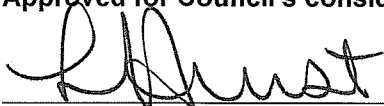
Consistent with the direction received from Council on November 7, 2011, staff are presenting Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 and Development Permit No. 06/2011 to Council for consideration.

**ALTERNATIVES:**

1. Adopt Amending Bylaw [No. 205], 2011, No. 2772 and approve Development Permit No. 06/2011.
2. Postpone consideration of adoption of the amending bylaw and the development permit pending receipt of additional information from the applicant. Should Council wish to receive new information relating to this project, third reading of the amending bylaw must be rescinded and a second Public Hearing would be required before the bylaw could be considered for approval.
3. Deny the application for Rezoning and Development Permit.

  
\_\_\_\_\_  
Trevor Parkes  
Senior Planner

  
\_\_\_\_\_  
Barbara Snyder  
Director of Development Services

**Approved for Council's consideration:**  
  
\_\_\_\_\_  
Laurie Hurst, CAO  
Dated: Feb 16/12

**CORPORATION OF THE TOWNSHIP OF ESQUIMALT**

**BYLAW NO. 2772**

A Bylaw to amend Bylaw No. 2050, cited as the  
"Zoning Bylaw, 1992, No. 2050"

THE MUNICIPAL COUNCIL OF THE TOWNSHIP OF ESQUIMALT, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the "ZONING BYLAW, 1992, NO. 2050, AMENDMENT BYLAW [NO. 205], 2011, NO. 2772".
2. That Bylaw No. 2050, cited as the "Zoning Bylaw, 1992, No. 2050" be amended as follows:

- (1) by adding the following words and figures after 'Comprehensive Development District No. 79' in Section 31 – Zone Designations of PART 5 - Zoning Districts:

"Comprehensive Development District No. 80"

- (2) by adding the following text as Section 67.67:

**67.67 COMPREHENSIVE DEVELOPMENT DISTRICT NO. 80**  
**[CD NO. 80]**

In that Zone designated as CD No. 80 [Comprehensive Development District No. 80] no Building or Structure or part thereof shall be erected, constructed, placed, maintained or used and no land shall be used except in accordance with and subject to the regulations contained in or incorporated by reference into this Part.

- (1) **Permitted Uses**

The following Uses and no others shall be permitted:

- (a) Dwelling – Apartment
- (b) Dwelling - Townhouse
- (c) Home Occupation
- (d) Business and Professional Office
- (e) Financial Institution
- (f) Personal Service Establishment
- (g) Retail Store
- (h) Restaurant
- (i) Entertainment
- (j) Video Store
- (k) Liquor Store
- (l) Group Children's Daycare



(2) **Prohibited Uses**

- (a) Adult Entertainment Uses;
- (b) Adult Motion Picture Studio;
- (c) Adult Theatre;
- (d) Adult Video Store; and
- (e) Escort Services

(3) **Floor Area Ratio**

The Floor Area Ratio shall not exceed 2.0.

(4) **Unit Size**

The minimum Floor Area for each Dwelling Unit shall not be less than 35 square metres.

(5) **Commercial Space**

The minimum Floor Area dedicated to Commercial Uses shall not be less than 934 square metres.

(6) **Building Height**

No Principal Building shall exceed a Height of 36 metres

(7) **Lot Coverage**

All Principal Buildings and Structures combined shall not cover more than 39% of the Area of a Parcel.

(8) **Siting Requirements**

**Principal Buildings:**

- (a) No Building shall be located within 3.0 metres of the Front Lot Line.
- (b) The eastern wing of the southern Building shall not be located within 7.5 metres of the eastern Interior Side Lot Line.
- (c) The northwestern wing of the southern Building shall not be located within 8.9 metres of the western Interior Side Lot Line.
- (d) The southwestern wing of the southern Building shall not be located within 9.9 metres of the western Interior Side Lot Line.

- (e) The northernmost Building shall not be located within 6.9 metres of the eastern Interior Side Lot Line nor within 10.7 metres of the western Interior Side Lot Line.
- (f) No Building shall be located within 3.2 metres of the Rear Lot Line.
- (g) The separation between the eastern wing of the southern Building and the northernmost Building shall not be less than 14 metres.
- (h) The separation between the northwestern wing of the southern Building and the northernmost Building shall not be less than 22 metres.
- (i) The separation between the northwestern wing of the southern Building and the southwestern wing of the southern Building shall not be less than 12 metres.

(9) **Landscaping and Open Space**

Landscaping and Open Space shall be provided as shown on the landscape plan approved as part of the active Development Permit.

(10) **Off-Street Parking**

Notwithstanding Section 13 of Parking Bylaw No. 2011, the minimum number of required off street parking spaces shall be provided as follows:

- (a) Commercial Use = 46 spaces [plus 1 Loading Space].
  - (b) Dwelling – Apartment Use [Southernmost Building] = 110 spaces including no less than 26 Visitor Spaces.
  - (c) Dwelling – Townhouse Use [Southernmost Building] = 8 spaces.
  - (d) Dwelling – Apartment Use [Northernmost Building] = 91 spaces including no less than 19 Visitor Spaces [plus 1 Loading Space].
  - (e) Dwelling – Townhouse Use [Northernmost Building] = 22 spaces.
- (3) by changing the zoning designation of Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road] and Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road] shown cross-hatched on Schedule 'A', attached hereto, from C-6 [Licensed Liquor Establishment] and C-2 [Neighbourhood Commercial] respectively to CD No. 80 [Comprehensive Development District No. 80].

- (4) by changing Schedule 'A' Zoning Map, attached to and forming part of "Zoning Bylaw, 1992, No. 2050" to show the changes in zoning classification effected by this bylaw.

READ a first time by the Municipal Council on the 17<sup>th</sup> day of October, 2011.

READ a second time by the Municipal Council on the 7<sup>th</sup> day of November, 2011.

A Public Hearing was held pursuant to Sections 890 and 892 of the *Local Government Act* on the 7<sup>th</sup> day of November, 2011.

READ a third time by the Municipal Council on the 7<sup>th</sup> day of November, 2011.

**ADOPTED** by the Municipal Council on the ---- day of ----, 2012.

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BARBARA DESJARDINS  
MAYOR

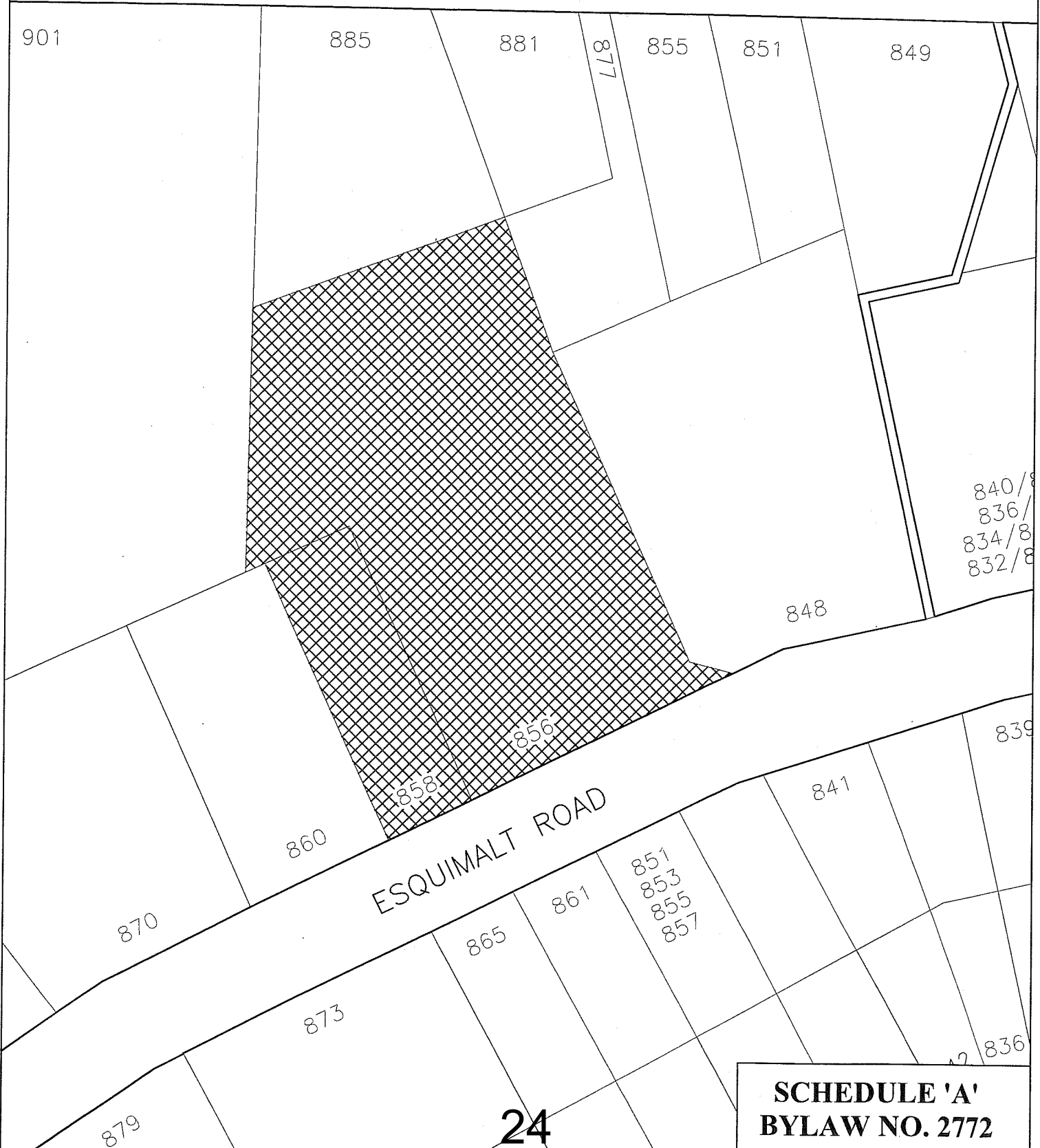
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ANJA NURVO  
CORPORATE OFFICER

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OLD ESQUIMALT ROAD



**SCHEDULE 'A'**  
**BYLAW NO. 2772**

**CORPORATION OF THE TOWNSHIP OF ESQUIMALT**

**DEVELOPMENT PERMIT**

**NO. 06/2011**

**Owners:** Esquimalt Holdings Corp., Inc. No. 600168  
#400 525 Seymour Street  
Vancouver, BC V6B 3H7

**Lands:** Lot A, Section 11, Esquimalt District, Plan VIP80973  
Lot 2, Section 11, Esquimalt District, Plan 23904

**Address:** 856 Esquimalt Road and 858 Esquimalt Road

**Conditions:**

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit.
2. Approval of this Development Permit is issued in accordance with architectural plans provided by Douglas P. J. Millar Architect, stamped "Received October 5, 2011", and sited as detailed on the survey plan prepared by Richard J. Wey and Associates Land Surveyors Inc., stamped "Received October 5, 2011", all of which is attached hereto as Schedule 'A'.
3. Approval of this Development Permit is issued in accordance with the landscape plans prepared by Eckford and Associates Landscape Architecture, stamped "Received October 5, 2011", and attached hereto as Schedule 'B'. A letter of credit representing 125% of the value of this landscaping installation including materials, fencing, irrigation and all plantings, as detailed in a written estimate signed by a landscape professional, must be deposited before a building permit can be issued.
4. The lands shall be developed in accordance with the terms and conditions and provisions of this Permit, provided that minor variations which do not affect the overall building design may be permitted by the Director of Development Services.
5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.
6. This Development Permit is not a Building Permit.

7. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
8. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

ISSUED BY MUNICIPAL COUNCIL RESOLUTION ON THE ---- DAY OF  
-----, 2012

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2011

\_\_\_\_\_  
Director of Development Services

\_\_\_\_\_  
Corporate Officer  
Corporation of the Township  
of Esquimalt

# 852-858 ESQUIMALT ROAD

# MIXED-USE DEVELOPMENT

# PROPOSED REZONING:

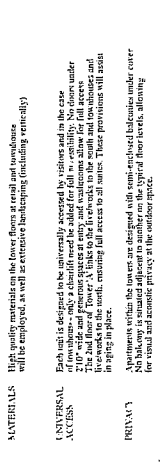
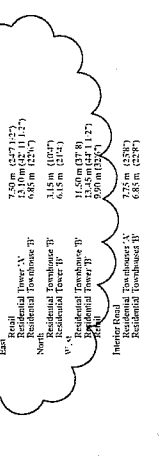
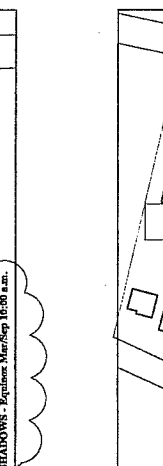
**CONSULTANT LIST**  
**ARCHITECT** Douglas P J Millar mlarc  
 1000 West 1st Avenue  
 Vancouver BC  
 604-683-4376  
**LANDSCAPE** Edgington Associates  
 1000 West 1st Avenue  
 Vancouver BC  
 604-683-4376  
**TRAFFIC** prp's - vcd@vcd.com  
 1000 West 1st Avenue  
 Victoria BC  
 250-592-6122  
 vcd.com

**DESIGN RATIONALE**  
**URBAN PLAN** Site and Design follow principles from such theorists as Jane Jacobs. All streets are to be pedestrian friendly. The site is to be designed as a complete street and walking, with a mix of uses and building heights. The project aims to enhance the playing field, currently fenced off, and create a vibrant, active street scene. The site is to be designed as a complete street and walking, with a mix of uses and building heights. The project aims to enhance the playing field, currently fenced off, and create a vibrant, active street scene. The site is to be designed as a complete street and walking, with a mix of uses and building heights. The project aims to enhance the playing field, currently fenced off, and create a vibrant, active street scene.

**LEGAL DISCUSSION** 852-858 Esquimalt Road, Township of Esquimalt, B.C.  
 1st & 2nd Floor  
 Esquimalt District  
**ZONING** A-200 (Residential) / C-200 (Commercial)  
**SITE AREA** 0.703 ha (72,600 sq. ft.)  
**PROPOSED USE** Retail, Pub (front primary), Live-Work, Office, Community

**NOTES:**  
 1. Reference: Esquimalt Zoning Bylaw 997, Esquimalt, B.C. 2011  
 The Office of Urban Development, Esquimalt, B.C.

**RECEIVED**  
 01 05 2011  
 COURSE OF TOWNSHIP OF ESQUIMALT  
 DEVELOPMENT ENGINEERING



NO.	REVISION	DATE	BY	FOR
1	ISSUE 1	01/05/11	DM	FOR RZ/CP
2	ISSUE 1	01/05/11	DM	FOR RZ/CP

**PROPOSED DEVELOPMENT**  
 856 Esquimalt Rd  
 Esquimalt, B.C.

**COVER SHEET**

DATE: 01/05/11  
 DRAWN BY: DM  
 CHECKED BY: DM  
 PROJECT: 856 Esquimalt Rd  
 SHEET: 01 OF 01

**COVER SHEET**

DATE: 01/05/11  
 DRAWN BY: DM  
 CHECKED BY: DM  
 PROJECT: 856 Esquimalt Rd  
 SHEET: 01 OF 01

**COVER SHEET**

DATE: 01/05/11  
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DATE: 01/05/11  
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**COVER SHEET**

DATE: 01/05/11  
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 CHECKED BY: DM  
 PROJECT: 856 Esquimalt Rd  
 SHEET: 01 OF 01

**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. 06/2011**

**CORPORATE OFFICER**

**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. 06/2011**

**CORPORATE OFFICER**

**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. 06/2011**

**CORPORATE OFFICER**

**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. 06/2011**

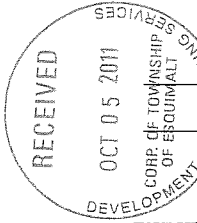
**CORPORATE OFFICER**

**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. 06/2011**

**CORPORATE OFFICER**

City of Millar, B.C.  
370 - 1000 10th Street, Vancouver  
British Columbia, Canada V6L 2Y3  
Tel: 604-271-1000  
Fax: 604-271-1001  
E-mail: doug@millararchitect.com

NOTES:  
1. Reference to **DP 1001** is to **Development Permit 1001** issued by the City of Millar on January 07, 2011.  
2. Reference to **DP 1002** is to **Development Permit 1002** issued by the City of Millar on January 07, 2011.  
The City of Vancouver  
has jurisdiction for this application.



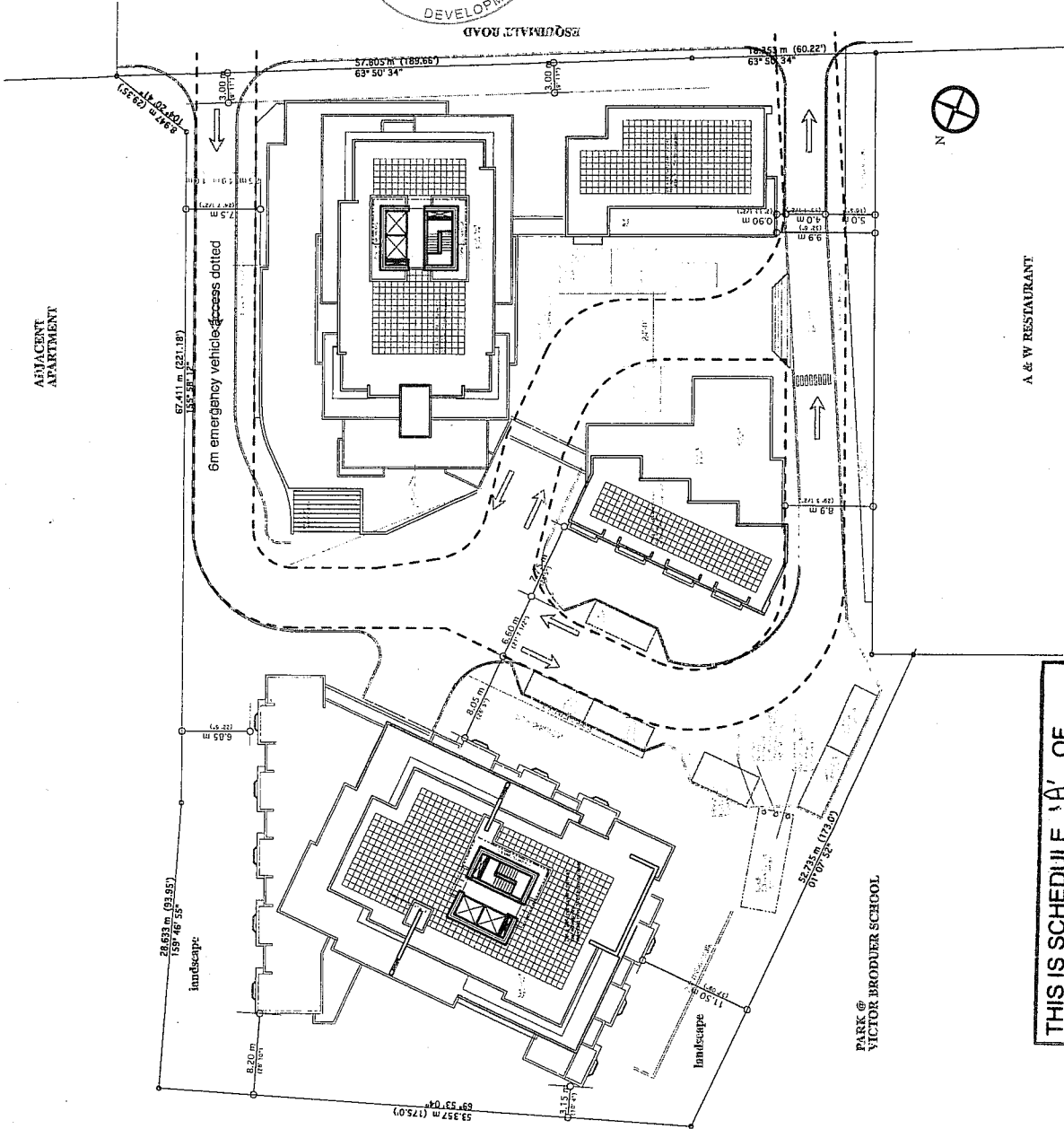
REVISIONS		
1	ISSUE	Issue for DP 1001 (Final)
2	ISSUE	Issue for DP 1002 (Final)
3	ISSUE	Issue for DP 1003 (Final)
4	ISSUE	Issue for DP 1004 (Final)

Mixed Use Development  
856 Esquimalt Rd  
Esquimalt, B.C.

**SITE PLAN**  
- Road Plan -

DATE	21-01
DESIGNER	DM
CHECKER	DM
DATE	January 07, 2011
SCALE	1:200
TITLE	DP
PROJECT NO.: 1001-1004 SHEET NO.: 1001-1004/01 OF 1001-1004/01 TOTAL SHEETS: 1001-1004/01-10	

**DP A1.01**



**THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011**

**CORPORATE OFFICER**



Client: Millar, Inc.  
207 4032 East Industrial Avenue  
Vancouver British Columbia, Canada V6M 3P9  
Phone: 604.273.1111  
Fax: 604.273.1111

NOTES:  
1. Refer to: 856 Esquimalt Rd. 10/11/07  
2. Refer to: 856 Esquimalt Rd. 10/11/07  
3. Refer to: 856 Esquimalt Rd. 10/11/07  
4. Refer to: 856 Esquimalt Rd. 10/11/07  
5. Refer to: 856 Esquimalt Rd. 10/11/07  
6. Refer to: 856 Esquimalt Rd. 10/11/07  
7. Refer to: 856 Esquimalt Rd. 10/11/07  
8. Refer to: 856 Esquimalt Rd. 10/11/07  
9. Refer to: 856 Esquimalt Rd. 10/11/07  
10. Refer to: 856 Esquimalt Rd. 10/11/07



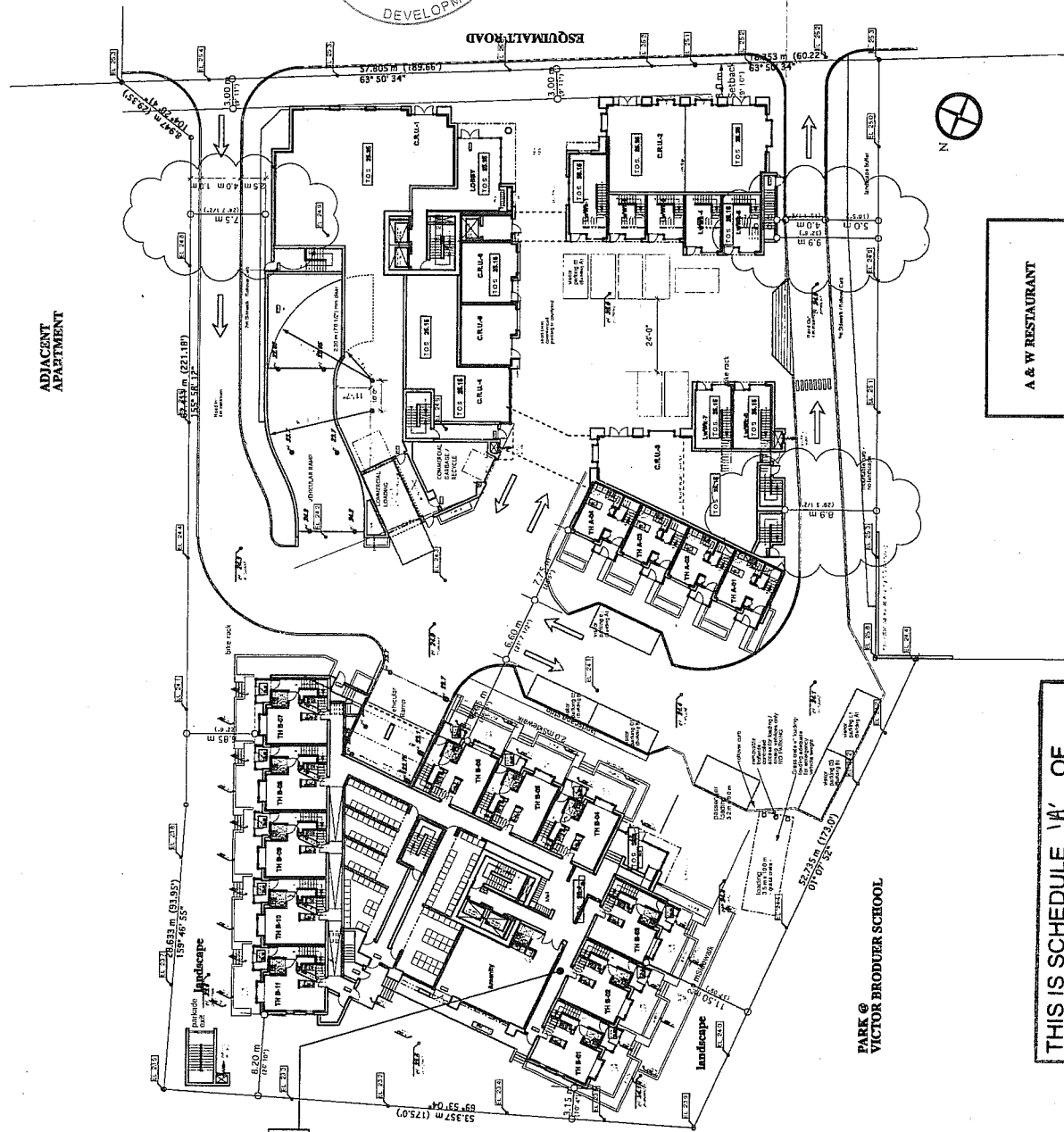
1	10/11/07	Submitted for BC DEP (2007)
2	10/11/07	Submitted for BC DEP (2007)
3	10/11/07	Submitted for BC DEP (2007)
4	10/11/07	Submitted for BC DEP (2007)
5	10/11/07	Submitted for BC DEP (2007)
6	10/11/07	Submitted for BC DEP (2007)
7	10/11/07	Submitted for BC DEP (2007)
8	10/11/07	Submitted for BC DEP (2007)
9	10/11/07	Submitted for BC DEP (2007)
10	10/11/07	Submitted for BC DEP (2007)

Project:  
856 Esquimalt Rd  
Esquimalt, B.C.

**SITE PLAN**  
- General Floor Plan -

DATE	11-01
BY	DM
DATE	January 07, 2011
BY	DM
DATE	1-20-08
BY	DM
DATE	1-20-08
BY	DM
DATE	1-20-08
BY	DM
DATE	1-20-08
BY	DM

**DP A1.02**



NOTE: UNIVERSAL ACCESS  
universal access at Main Floor  
Enhanced Accessibility

ADJACENT APARTMENT

PARK @ VICTOR BRODIER SCHOOL

A & W RESTAURANT

THIS IS SCHEDULE 1A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

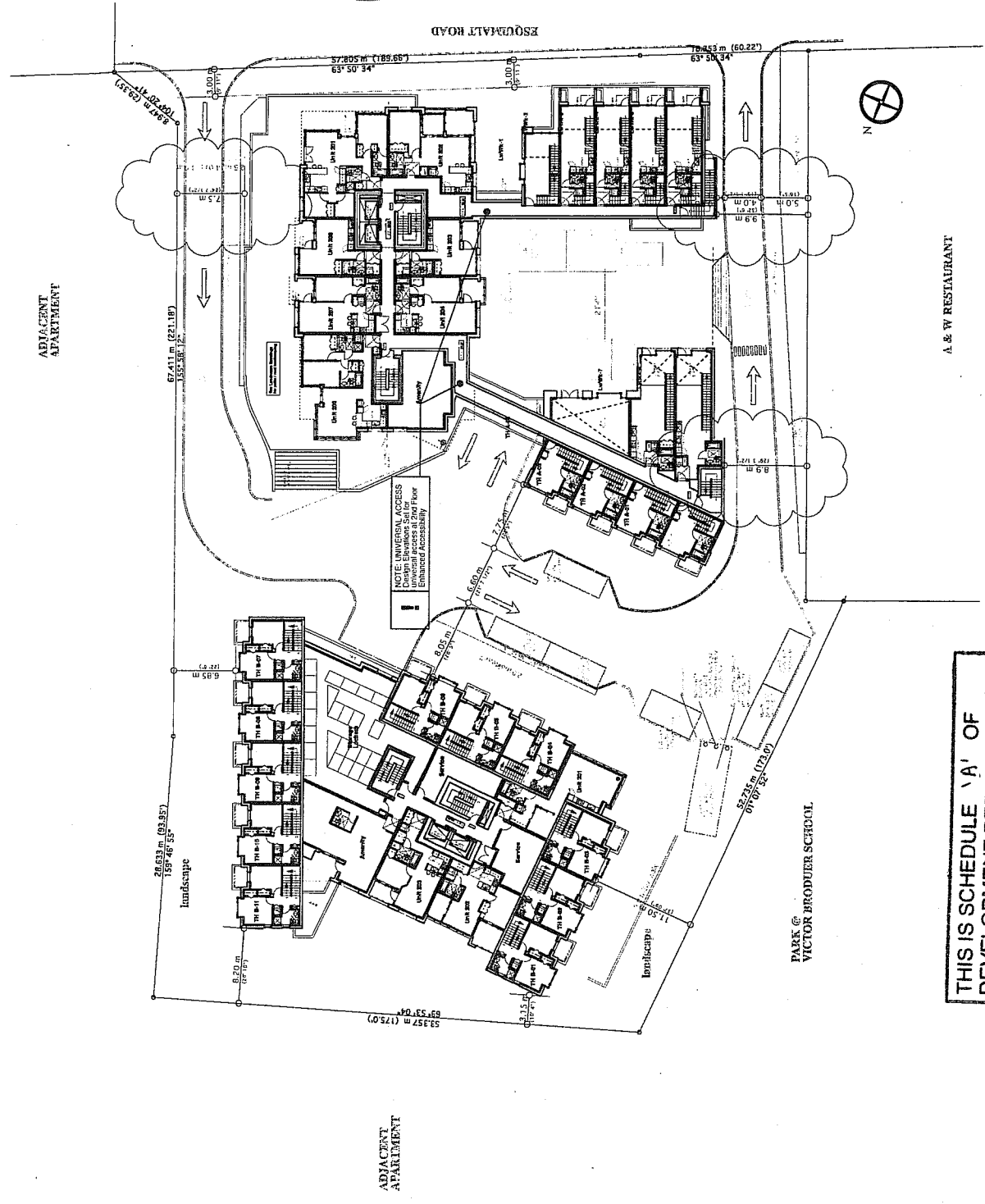


888 Esquimault Rd  
 Esquimault, B.C.

**SITE PLAN**  
 - Second Floor Plans -

DATE	11/01
DRAWN BY	DPM
DATE	January 07, 2011
SCALE	1:2000
PROJECT	ESQ
CLIENT	888 ESQUIMAULT RD

**DP A103**



THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO 06/2011

CORPORATE OFFICER \_\_\_\_\_

Plan No. 11-01  
200 - 2001 Esplanade Avenue  
Waterloo, Ontario, Canada, N2M 1S3  
Phone: (519) 885-1111  
Fax: (519) 885-1111  
E-mail: doug@dpjmillar.com

NOTES:  
1. Reference:  
- Zoning By-Law No. 2292  
- Development Plan No. 2292  
- Esplanade Parkway Phase 1 1992  
- By-law No. 2011  
The Office of the Planning  
Commissioner, Waterloo Region  
Municipality



3	11-01-01	Waterloo Region (DP 2292)
4	11-01-01	Waterloo Region (DP 2292)
5	11-01-01	Waterloo Region (DP 2292)

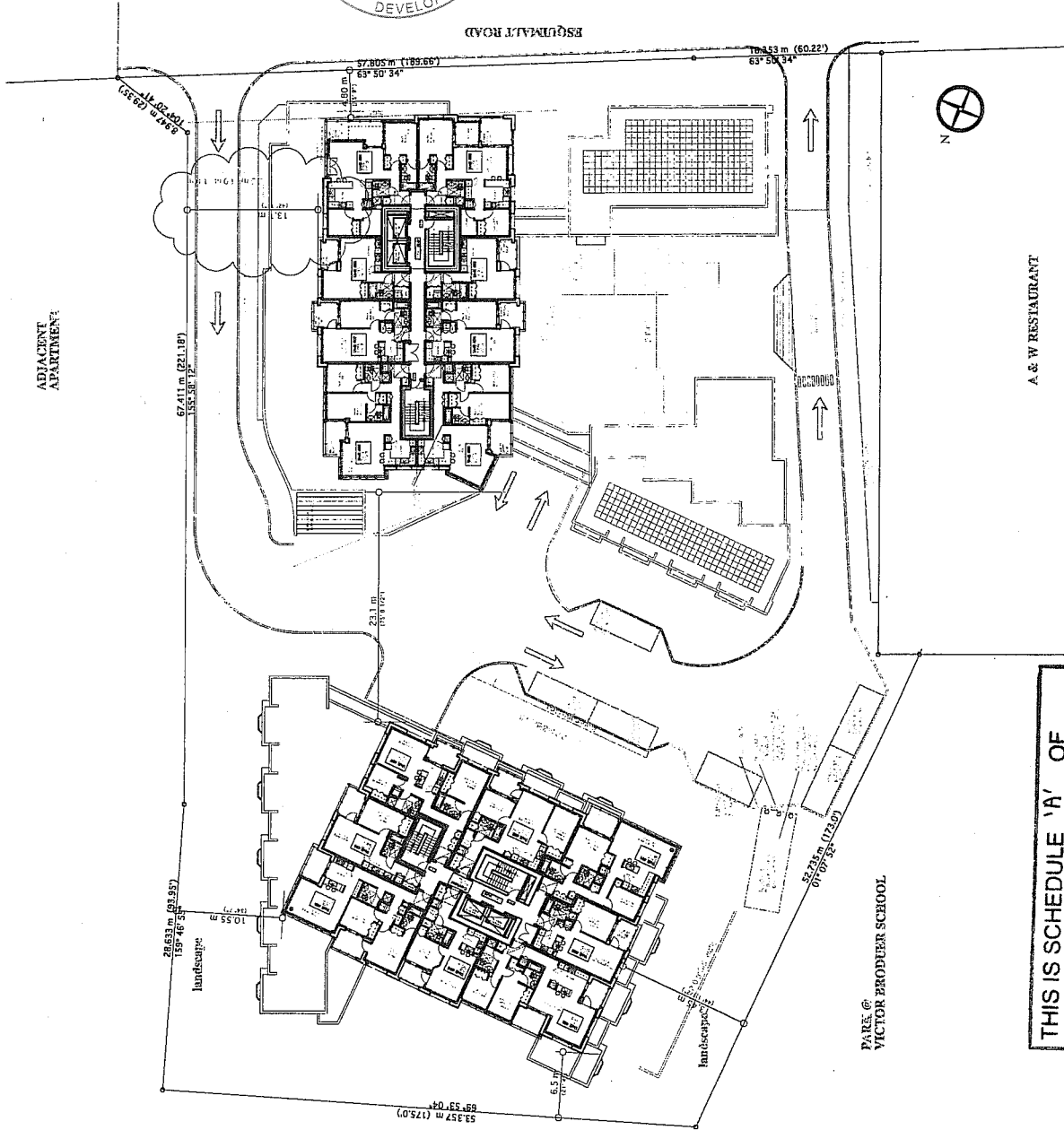
PROJECT:  
Mixed Use Development  
856 Esplanade Rd  
Esquimault, B.C.

SITE PLAN

- Typical Floor Plan -

DATE	11-01
BY	DM
DATE	January 27, 2011
DATE	11-09
DATE	11-04

DP A1.04



THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

DOUGLAS P MILLAR

ARCHITECT

10101 Millersville Rd, Suite 200  
 Millersville, MD 21104  
 Telephone: 410-261-2200  
 Fax: 410-261-2201  
 Website: www.dpmillar.com

**NOTES:**  
 1. Reference: Parking Station Design 1797  
 Engineering Station: 1797.00  
 Engineering Date: 06/28/2011  
 Engineering Title: Parking Station Design  
 The Office of Transportation  
 Department of Public Works  
 City of Baltimore, Maryland



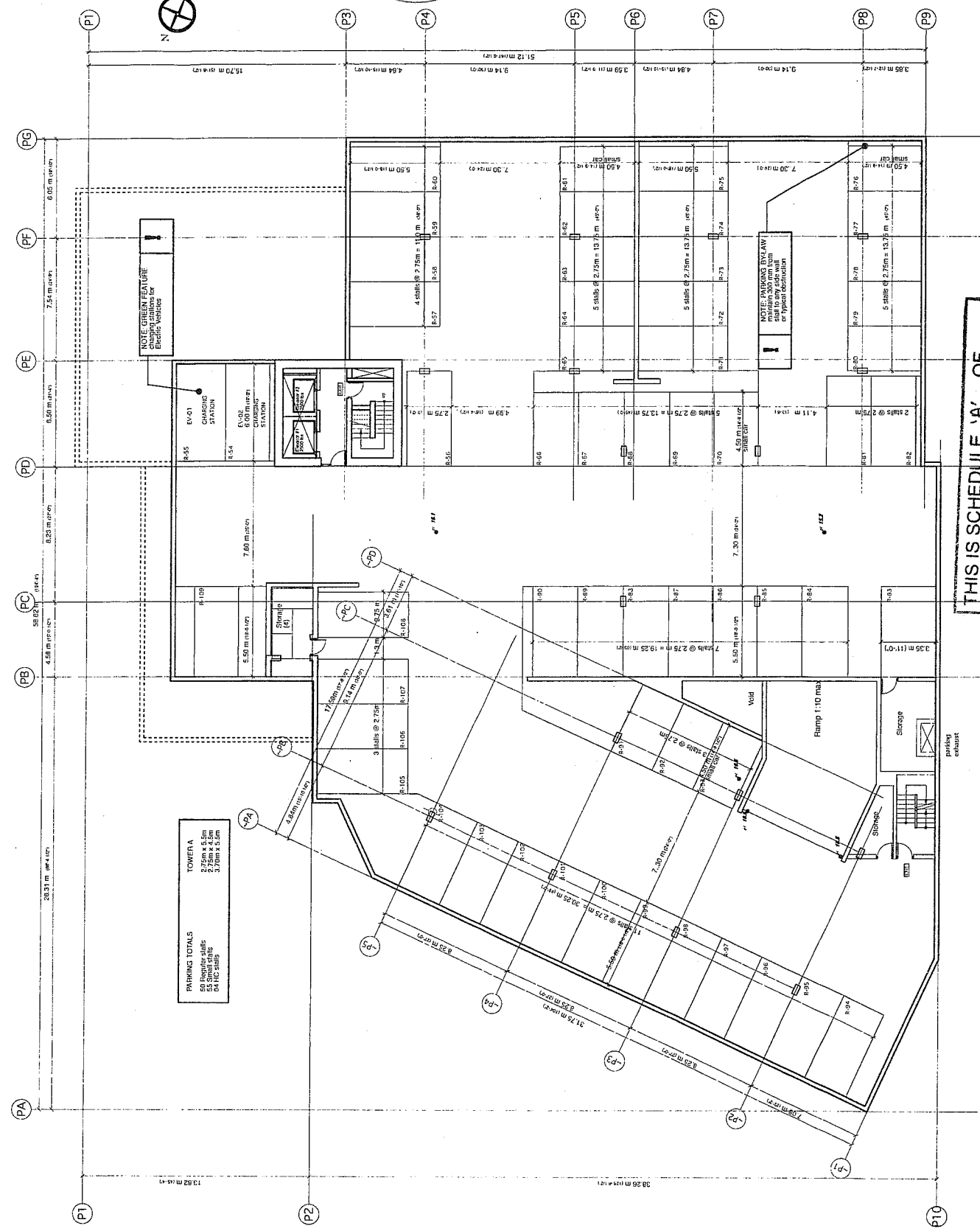
PROJECT	856 Esquamit Rd
CLIENT	Esquamit, S.C.
DATE	January 07, 2011
DRAWN BY	DM
CHECKED BY	DM
SCALE	AS SHOWN

**856 Esquamit Rd**  
**Esquamit, S.C.**

**P-3 PARKING PLAN**  
 - Building A -

DATE	11-02
STATUS	DM
BY	DM
DATE	January 07, 2011
SCALE	AS SHOWN

**DP A2.01**



**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO 06/2011**

**CORPORATE OFFICER**

City of Esquimalt  
57-4520 Esquimalt Blvd. of Avon  
Newcastle British Columbia, V8L 1Y1  
Tel: 250.631.4520  
Fax: 250.631.4520

**NOTES:**  
1. Reference to 'As Shown' or 'As Noted' is to the original plans and specifications.  
2. The City of Esquimalt is not responsible for the design or construction of any structures or equipment.  
3. The City of Esquimalt is not responsible for the design or construction of any structures or equipment.



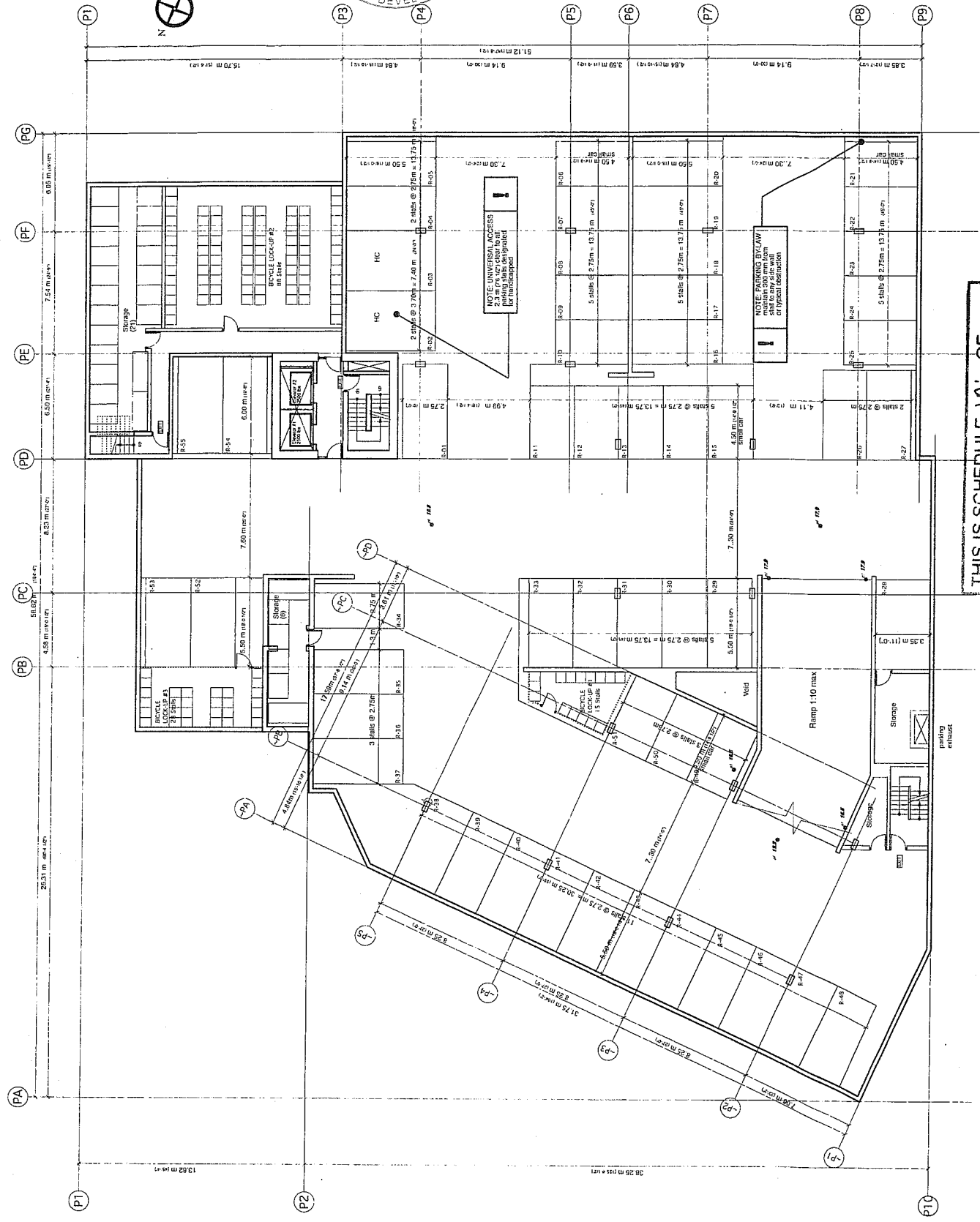
NO.	DATE	DESCRIPTION
1	10/05/11	Issued for 2011 Development
2	03/11/11	Revised for 2011 Development

Mixed Use Development  
856 Esquimalt Rd  
Esquimalt, B.C.

**P-2 PARKING PLAN**  
- Building A -

DATE	11/01
SCALE	1:100
DRAWN	JANUARY 07, 2011
CHECKED	J.M.M.
APPROVED	[Signature]

**DP A2.02**



**THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO 06/2011**

**CORPORATE OFFICER**

Plan 10/10/2011  
201 4030 East Boulevard Avenue  
University Heights, Cleveland, OH 44115  
E-Mail: doug@dpmillar.com

NOTES:

1. Refer to the site plan for the location of the building.
2. The location of the building is shown on the site plan.
3. The location of the building is shown on the site plan.
4. The location of the building is shown on the site plan.
5. The location of the building is shown on the site plan.



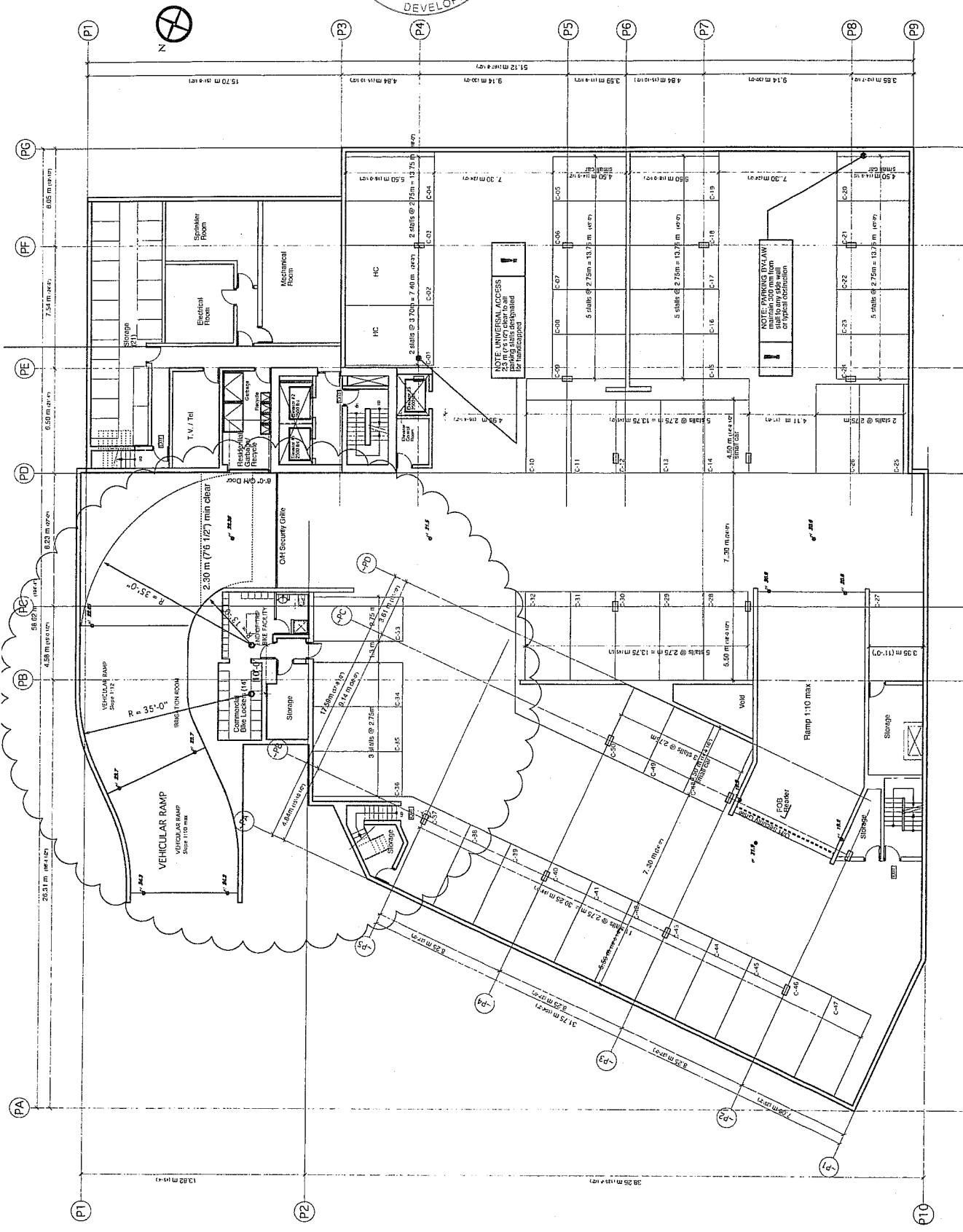
NO.	DATE	DESCRIPTION
1	10/11/11	Issue for R2 / R3 / R4 / R5 / R6 / R7 / R8 / R9 / R10 / R11 / R12 / R13 / R14 / R15 / R16 / R17 / R18 / R19 / R20 / R21 / R22 / R23 / R24 / R25 / R26 / R27 / R28 / R29 / R30 / R31 / R32 / R33 / R34 / R35 / R36 / R37 / R38 / R39 / R40 / R41 / R42 / R43 / R44 / R45 / R46 / R47 / R48 / R49 / R50 / R51 / R52 / R53 / R54 / R55 / R56 / R57 / R58 / R59 / R60 / R61 / R62 / R63 / R64 / R65 / R66 / R67 / R68 / R69 / R70 / R71 / R72 / R73 / R74 / R75 / R76 / R77 / R78 / R79 / R80 / R81 / R82 / R83 / R84 / R85 / R86 / R87 / R88 / R89 / R90 / R91 / R92 / R93 / R94 / R95 / R96 / R97 / R98 / R99 / R100

Mixed Use Development  
856 Esquimalt Rd  
Esquimalt, B.C.

P-1 PARKING PLAN  
- Building A -

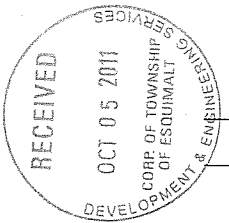
NO.	DATE	DESCRIPTION
1	11/01	Issue for R2 / R3 / R4 / R5 / R6 / R7 / R8 / R9 / R10 / R11 / R12 / R13 / R14 / R15 / R16 / R17 / R18 / R19 / R20 / R21 / R22 / R23 / R24 / R25 / R26 / R27 / R28 / R29 / R30 / R31 / R32 / R33 / R34 / R35 / R36 / R37 / R38 / R39 / R40 / R41 / R42 / R43 / R44 / R45 / R46 / R47 / R48 / R49 / R50 / R51 / R52 / R53 / R54 / R55 / R56 / R57 / R58 / R59 / R60 / R61 / R62 / R63 / R64 / R65 / R66 / R67 / R68 / R69 / R70 / R71 / R72 / R73 / R74 / R75 / R76 / R77 / R78 / R79 / R80 / R81 / R82 / R83 / R84 / R85 / R86 / R87 / R88 / R89 / R90 / R91 / R92 / R93 / R94 / R95 / R96 / R97 / R98 / R99 / R100

DP A2.03



THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER



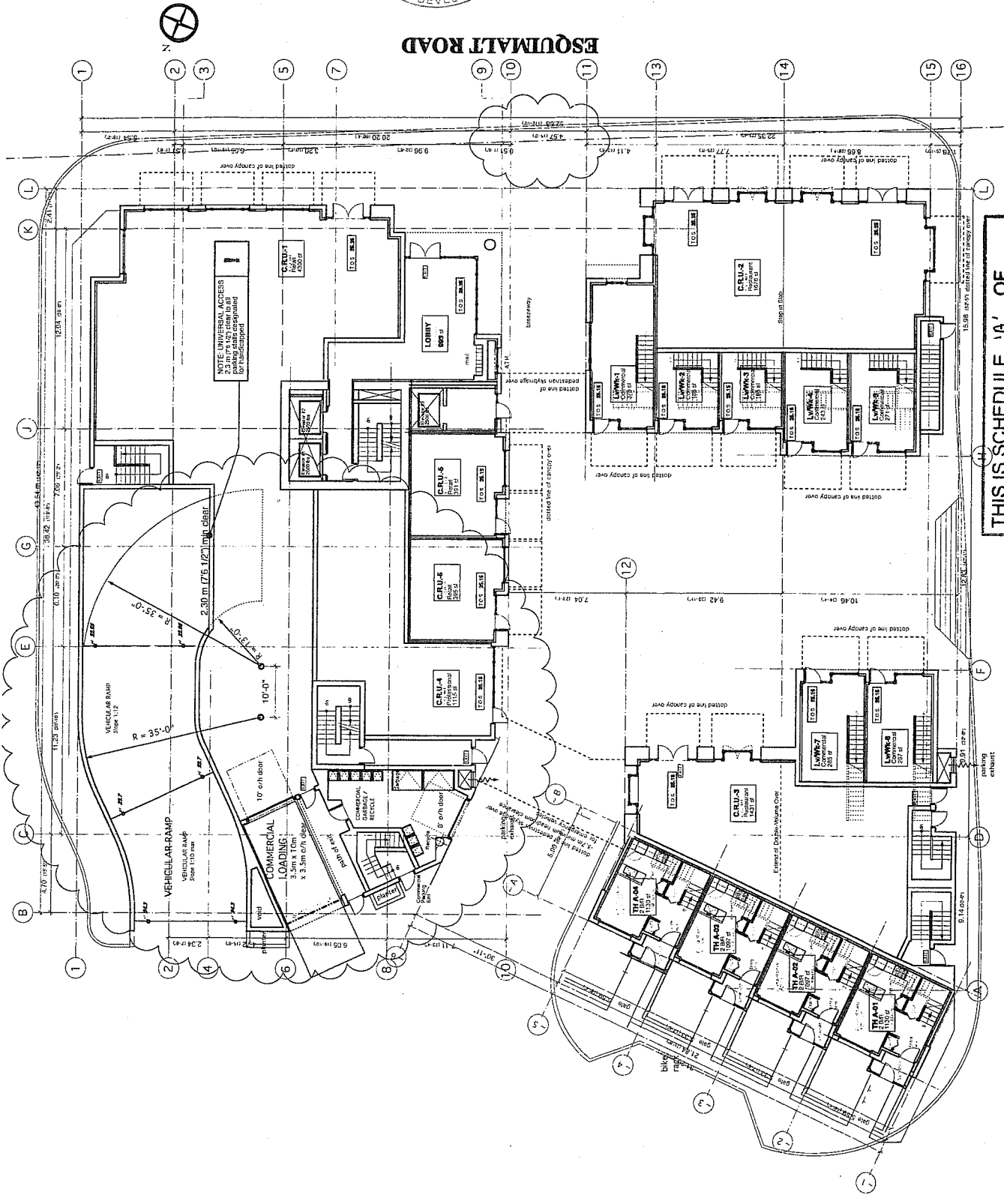
NO.	DATE	DESCRIPTION
1	11/01	Initial Design
2	11/01	Final Design
3	11/01	Final Design

**Mixed Use Development**  
**856 Esquimalt Rd**  
**Esquimalt, B.C.**

**GROUND FLOOR PLAN**  
Building A

NO.	DATE	DESCRIPTION
1	11/01	Initial Design
2	11/01	Final Design
3	11/01	Final Design

**DP A2.04**



**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. 06/2011**

**CORPORATE OFFICER**

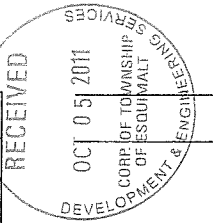
**NOTES:**  
1. Maximum Building Height: 100m  
2. Maximum Floor Area: 10,000 sqm  
3. Maximum Floor Area: 10,000 sqm  
4. Maximum Floor Area: 10,000 sqm

**NOTE: UNIVERSAL ACCESS**  
750mm x 1900mm door to all habitable rooms typical throughout suites.

**NOTE: UNIVERSAL ACCESS**  
1500mm x 1900mm door to all habitable rooms typical throughout suites.

**NOTE: UNIVERSAL ACCESS**  
1500mm x 1900mm door to all habitable rooms typical throughout suites.

**NOTE: UNIVERSAL ACCESS**  
Design, Evaluate Site for Enhanced Accessibility

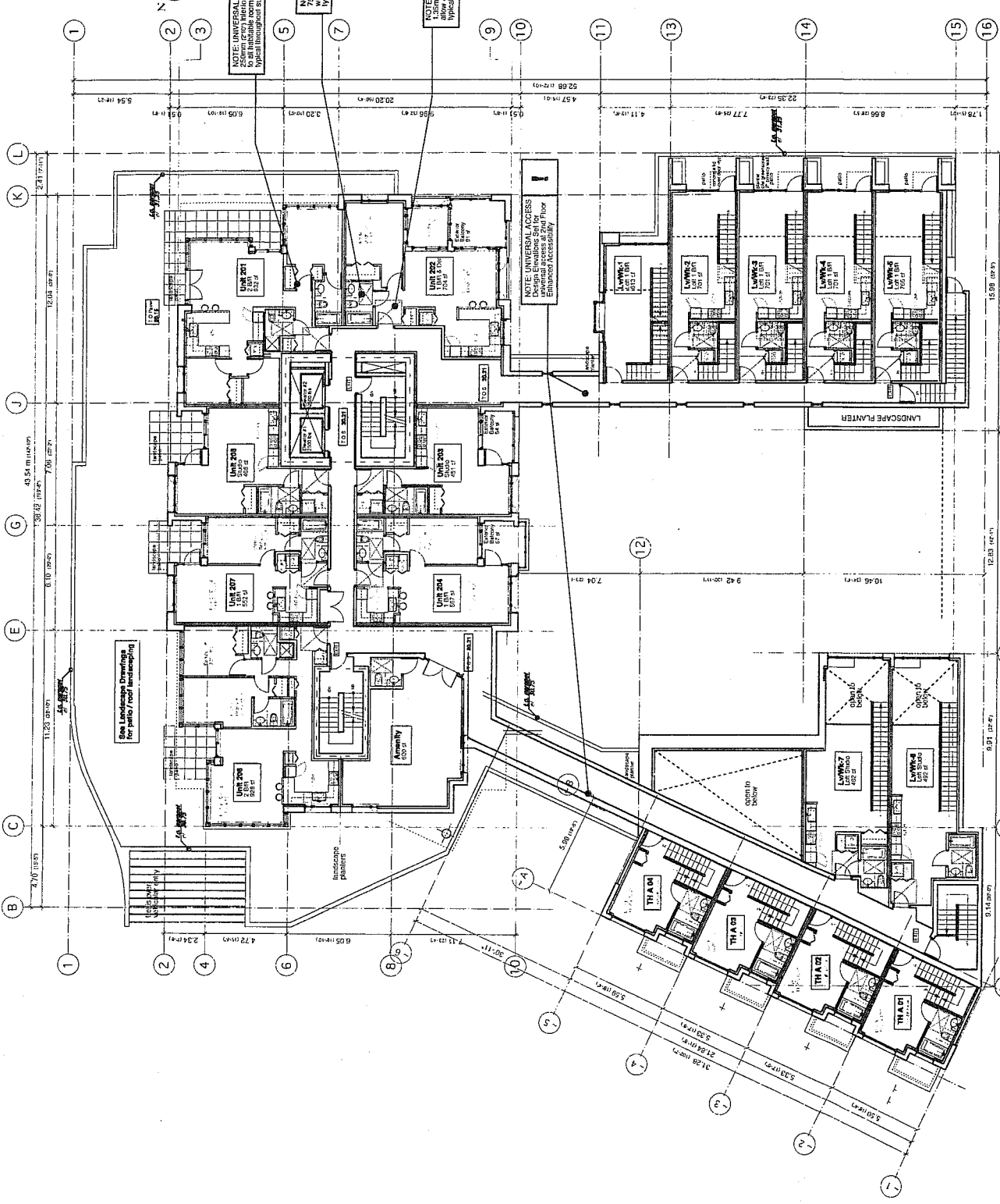


**Mixed Use Development**  
**856 Esquimalt Rd**  
**Esquimalt, B.C.**

**2nd FLOOR PLAN**  
Building A

PROJECT	856 Esquimalt Rd
DATE	January 07, 2011
SCALE	1:100
DESIGNED BY	JM
DRAWN BY	JM
CHECKED BY	JM
DATE	01/07/11

**DP A2.05**



**THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO 06/2011**

**CORPORATE OFFICER**



Unit 200  
Unit 201  
Unit 202  
Unit 203  
Unit 204  
Unit 205  
Unit 206  
Unit 207  
Unit 208  
Unit 209  
Unit 210  
Unit 211  
Unit 212

**NOTES:**  
1. Refer to the site plan for location of this floor plan.  
2. Refer to the site plan for location of this floor plan.  
3. Refer to the site plan for location of this floor plan.  
4. Refer to the site plan for location of this floor plan.  
5. Refer to the site plan for location of this floor plan.



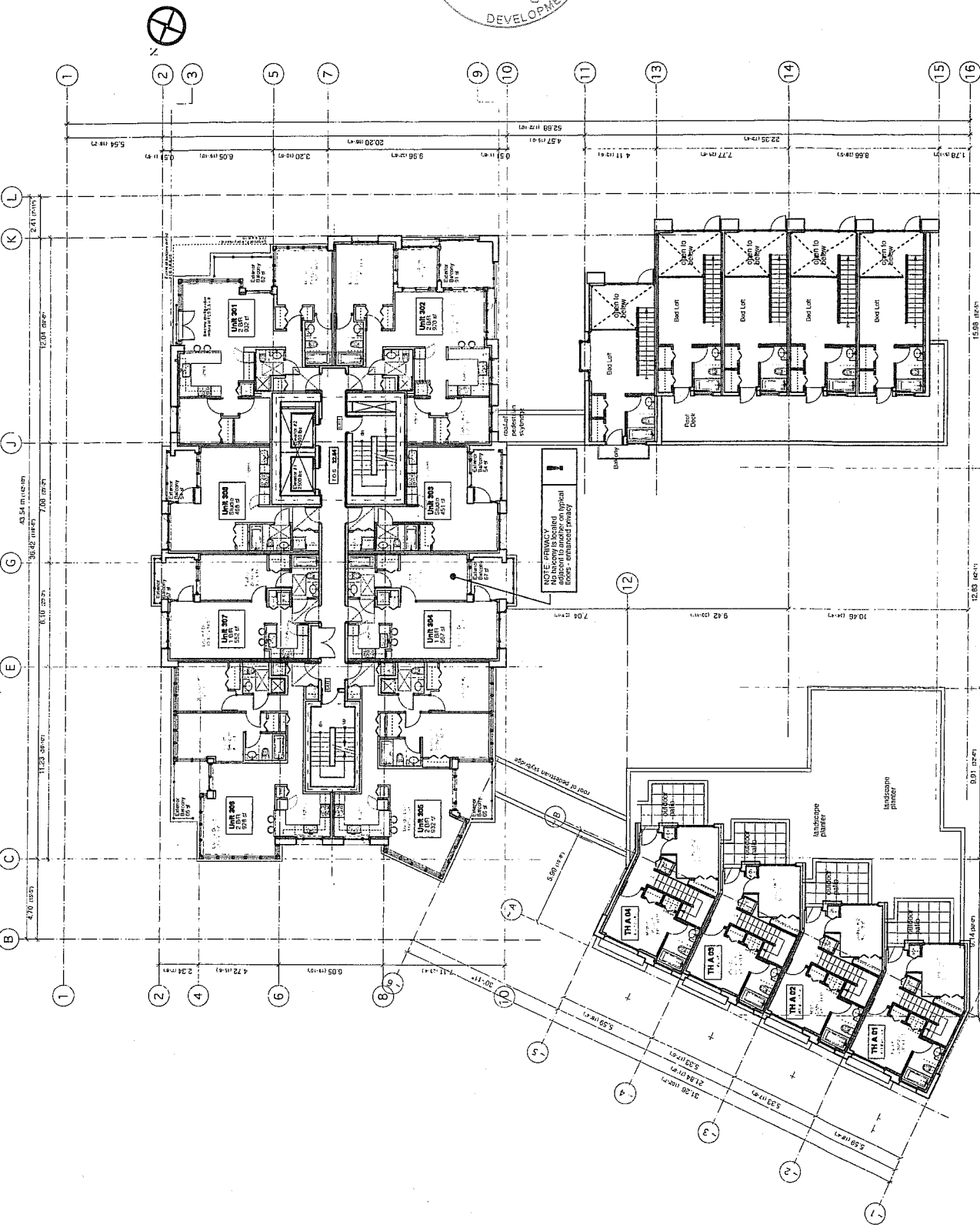
NO.	DATE	DESCRIPTION
1	2011.07.27	PRELIMINARY PLAN
2	2011.08.12	REVISED PLAN
3	2011.08.12	REVISED PLAN

Mixed Use Development  
856 Esquimat Rd  
Esquimat, B.C.

3rd FLOOR PLAN  
-Building A-

DATE	12/11
DATE	07/2011
DATE	1/10
DATE	1/10
DATE	1/10
DATE	1/10
DATE	1/10
DATE	1/10
DATE	1/10
DATE	1/10

DP A2.06



**NOTE: PRIVACY**  
adjacent to an adjacent on typical  
rooms - enhanced privacy

THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

Unit 400  
101 - 102 East Richmond Avenue  
Northwest Atlanta Office - 30307  
2 - 401 - 402 - 403 - 404 - 405 - 406 - 407 - 408 - 409 - 410 - 411 - 412 - 413 - 414 - 415 - 416 - 417 - 418 - 419 - 420 - 421 - 422 - 423 - 424 - 425 - 426 - 427 - 428 - 429 - 430 - 431 - 432 - 433 - 434 - 435 - 436 - 437 - 438 - 439 - 440 - 441 - 442 - 443 - 444 - 445 - 446 - 447 - 448 - 449 - 450 - 451 - 452 - 453 - 454 - 455 - 456 - 457 - 458 - 459 - 460 - 461 - 462 - 463 - 464 - 465 - 466 - 467 - 468 - 469 - 470 - 471 - 472 - 473 - 474 - 475 - 476 - 477 - 478 - 479 - 480 - 481 - 482 - 483 - 484 - 485 - 486 - 487 - 488 - 489 - 490 - 491 - 492 - 493 - 494 - 495 - 496 - 497 - 498 - 499 - 500 - 501 - 502 - 503 - 504 - 505 - 506 - 507 - 508 - 509 - 510 - 511 - 512 - 513 - 514 - 515 - 516 - 517 - 518 - 519 - 520 - 521 - 522 - 523 - 524 - 525 - 526 - 527 - 528 - 529 - 530 - 531 - 532 - 533 - 534 - 535 - 536 - 537 - 538 - 539 - 540 - 541 - 542 - 543 - 544 - 545 - 546 - 547 - 548 - 549 - 550 - 551 - 552 - 553 - 554 - 555 - 556 - 557 - 558 - 559 - 560 - 561 - 562 - 563 - 564 - 565 - 566 - 567 - 568 - 569 - 570 - 571 - 572 - 573 - 574 - 575 - 576 - 577 - 578 - 579 - 580 - 581 - 582 - 583 - 584 - 585 - 586 - 587 - 588 - 589 - 590 - 591 - 592 - 593 - 594 - 595 - 596 - 597 - 598 - 599 - 600 - 601 - 602 - 603 - 604 - 605 - 606 - 607 - 608 - 609 - 610 - 611 - 612 - 613 - 614 - 615 - 616 - 617 - 618 - 619 - 620 - 621 - 622 - 623 - 624 - 625 - 626 - 627 - 628 - 629 - 630 - 631 - 632 - 633 - 634 - 635 - 636 - 637 - 638 - 639 - 640 - 641 - 642 - 643 - 644 - 645 - 646 - 647 - 648 - 649 - 650 - 651 - 652 - 653 - 654 - 655 - 656 - 657 - 658 - 659 - 660 - 661 - 662 - 663 - 664 - 665 - 666 - 667 - 668 - 669 - 670 - 671 - 672 - 673 - 674 - 675 - 676 - 677 - 678 - 679 - 680 - 681 - 682 - 683 - 684 - 685 - 686 - 687 - 688 - 689 - 690 - 691 - 692 - 693 - 694 - 695 - 696 - 697 - 698 - 699 - 700 - 701 - 702 - 703 - 704 - 705 - 706 - 707 - 708 - 709 - 710 - 711 - 712 - 713 - 714 - 715 - 716 - 717 - 718 - 719 - 720 - 721 - 722 - 723 - 724 - 725 - 726 - 727 - 728 - 729 - 730 - 731 - 732 - 733 - 734 - 735 - 736 - 737 - 738 - 739 - 740 - 741 - 742 - 743 - 744 - 745 - 746 - 747 - 748 - 749 - 750 - 751 - 752 - 753 - 754 - 755 - 756 - 757 - 758 - 759 - 760 - 761 - 762 - 763 - 764 - 765 - 766 - 767 - 768 - 769 - 770 - 771 - 772 - 773 - 774 - 775 - 776 - 777 - 778 - 779 - 780 - 781 - 782 - 783 - 784 - 785 - 786 - 787 - 788 - 789 - 790 - 791 - 792 - 793 - 794 - 795 - 796 - 797 - 798 - 799 - 800 - 801 - 802 - 803 - 804 - 805 - 806 - 807 - 808 - 809 - 810 - 811 - 812 - 813 - 814 - 815 - 816 - 817 - 818 - 819 - 820 - 821 - 822 - 823 - 824 - 825 - 826 - 827 - 828 - 829 - 830 - 831 - 832 - 833 - 834 - 835 - 836 - 837 - 838 - 839 - 840 - 841 - 842 - 843 - 844 - 845 - 846 - 847 - 848 - 849 - 850 - 851 - 852 - 853 - 854 - 855 - 856 - 857 - 858 - 859 - 860 - 861 - 862 - 863 - 864 - 865 - 866 - 867 - 868 - 869 - 870 - 871 - 872 - 873 - 874 - 875 - 876 - 877 - 878 - 879 - 880 - 881 - 882 - 883 - 884 - 885 - 886 - 887 - 888 - 889 - 890 - 891 - 892 - 893 - 894 - 895 - 896 - 897 - 898 - 899 - 900 - 901 - 902 - 903 - 904 - 905 - 906 - 907 - 908 - 909 - 910 - 911 - 912 - 913 - 914 - 915 - 916 - 917 - 918 - 919 - 920 - 921 - 922 - 923 - 924 - 925 - 926 - 927 - 928 - 929 - 930 - 931 - 932 - 933 - 934 - 935 - 936 - 937 - 938 - 939 - 940 - 941 - 942 - 943 - 944 - 945 - 946 - 947 - 948 - 949 - 950 - 951 - 952 - 953 - 954 - 955 - 956 - 957 - 958 - 959 - 960 - 961 - 962 - 963 - 964 - 965 - 966 - 967 - 968 - 969 - 970 - 971 - 972 - 973 - 974 - 975 - 976 - 977 - 978 - 979 - 980 - 981 - 982 - 983 - 984 - 985 - 986 - 987 - 988 - 989 - 990 - 991 - 992 - 993 - 994 - 995 - 996 - 997 - 998 - 999 - 1000

NOTES:

1. Refer to Schedule 'A' of Development Permit No. 06/2011
2. Refer to Schedule 'A' of Development Permit No. 06/2011
3. Refer to Schedule 'A' of Development Permit No. 06/2011
4. Refer to Schedule 'A' of Development Permit No. 06/2011
5. Refer to Schedule 'A' of Development Permit No. 06/2011
6. Refer to Schedule 'A' of Development Permit No. 06/2011
7. Refer to Schedule 'A' of Development Permit No. 06/2011
8. Refer to Schedule 'A' of Development Permit No. 06/2011
9. Refer to Schedule 'A' of Development Permit No. 06/2011
10. Refer to Schedule 'A' of Development Permit No. 06/2011
11. Refer to Schedule 'A' of Development Permit No. 06/2011
12. Refer to Schedule 'A' of Development Permit No. 06/2011
13. Refer to Schedule 'A' of Development Permit No. 06/2011
14. Refer to Schedule 'A' of Development Permit No. 06/2011
15. Refer to Schedule 'A' of Development Permit No. 06/2011
16. Refer to Schedule 'A' of Development Permit No. 06/2011

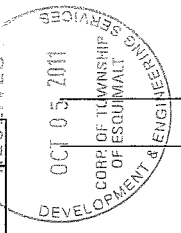
NOTE: UNIVERSAL ACCESS  
250mm x 1200mm clear  
to all entrances and exits  
to all units through the stairs

NOTE: UNIVERSAL ACCESS  
allow 450mm gap at door  
to all entrances and exits  
to all units through the stairs

NOTE: UNIVERSAL ACCESS  
provide a minimum 1.8m x 1.8m  
typical wheelchair space

NOTE: PRIVACY  
Adjacent to another on typical  
floor - enhanced privacy

NOTE: GREEN FEATURE  
250mm x 200mm clear x 247  
mm deep  
to combat lead sink



NO.	DATE	BY	FOR
1	08.24.11	DP	DP
2	08.24.11	DP	DP

Mixed Use Development  
856 Esquimault Rd  
Esquimault, B.C.

4th - 10th FLOOR PLAN  
- Building A -

NO.	DATE	BY	FOR
1	08.24.11	DP	DP
2	08.24.11	DP	DP

DP A2.07

THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER



One N.W. 4th St.  
P.O. Box 1000  
Miami Beach, Florida 33139  
Tel: 305.375.1111  
Fax: 305.375.1112

NOTES:  
1. Reference: *Architect's Manual*  
2. *Florida Building Code*  
3. *Florida State Board of Building, Code and Safety*  
4. *Florida State Board of Professional Engineers and Architects*  
5. *Florida State Board of Professional Surveyors*  
6. *Florida State Board of Professional Land Surveyors*  
7. *Florida State Board of Professional Engineers and Architects*  
8. *Florida State Board of Professional Surveyors*  
9. *Florida State Board of Professional Land Surveyors*  
10. *Florida State Board of Professional Engineers and Architects*  
11. *Florida State Board of Professional Surveyors*  
12. *Florida State Board of Professional Land Surveyors*  
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28. *Florida State Board of Professional Engineers and Architects*  
29. *Florida State Board of Professional Surveyors*  
30. *Florida State Board of Professional Land Surveyors*



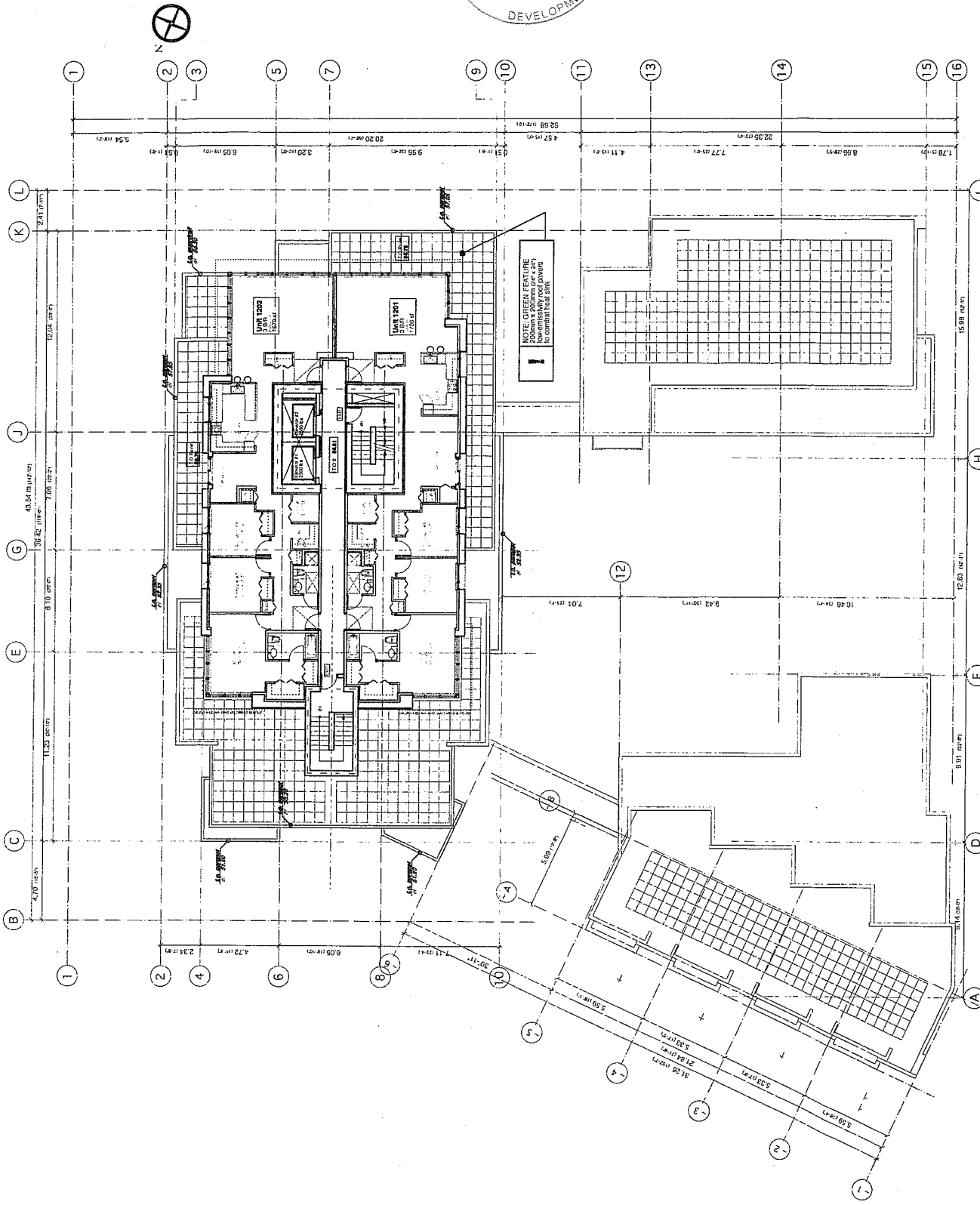
NO.	DATE	DESCRIPTION
1	10/05/11	ISSUED FOR PERMIT
2	10/05/11	ISSUED FOR PERMIT

Mixed Use Development  
856 Esplanade Rd  
Esquimalet, B.C.

12m FLOOR PLAN  
Building A

DATE	11-01
BY	DM
DATE	January 07, 2011
BY	DM
DATE	11-00
BY	DM

DP A2.09

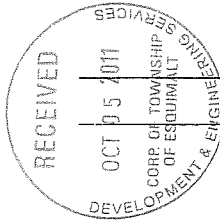


THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

One Mills Ave.  
201 West 10th Street  
New Brunswick, NJ 07102  
Tel: 908.527.1111  
Fax: 908.527.1112

NOTES:  
1. Reference: L. B. Williams, Inc.  
2. Reference: L. B. Williams, Inc.  
3. Reference: L. B. Williams, Inc.  
4. Reference: L. B. Williams, Inc.  
5. Reference: L. B. Williams, Inc.  
6. Reference: L. B. Williams, Inc.  
7. Reference: L. B. Williams, Inc.  
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9. Reference: L. B. Williams, Inc.  
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11. Reference: L. B. Williams, Inc.  
12. Reference: L. B. Williams, Inc.  
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14. Reference: L. B. Williams, Inc.  
15. Reference: L. B. Williams, Inc.  
16. Reference: L. B. Williams, Inc.



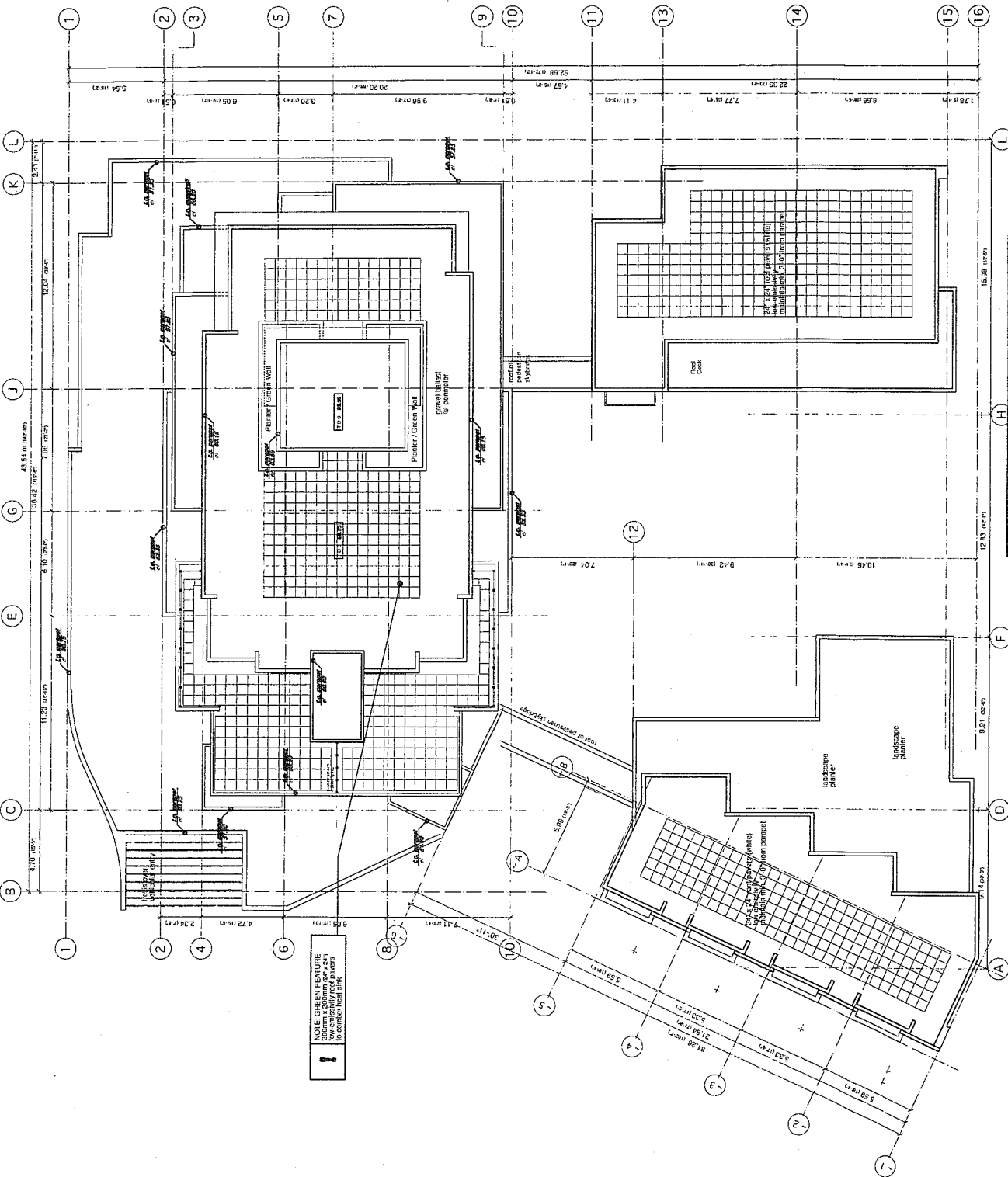
REVISIONS:  
1. 10/05/11  
2. 10/05/11  
3. 10/05/11

Mixed Use Development  
856 Esquimalt Rd  
Esquimalt, B.C.

ROOF PLAN  
Building, A

DATE	11-01
BY	DM
CHECKED	DM
DATE	January 07, 2011
SCALE	1:100
PROJECT	TM
DESCRIPTION	856 Esquimalt Rd, Esquimalt, B.C.

DP A2.10

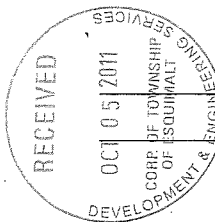


THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

Drawn By: [Name]  
Checked By: [Name]  
Reviewed By: [Name]  
Date: [Date]

NOTES:  
1. Refer to [Reference]  
2. Refer to [Reference]  
3. Refer to [Reference]



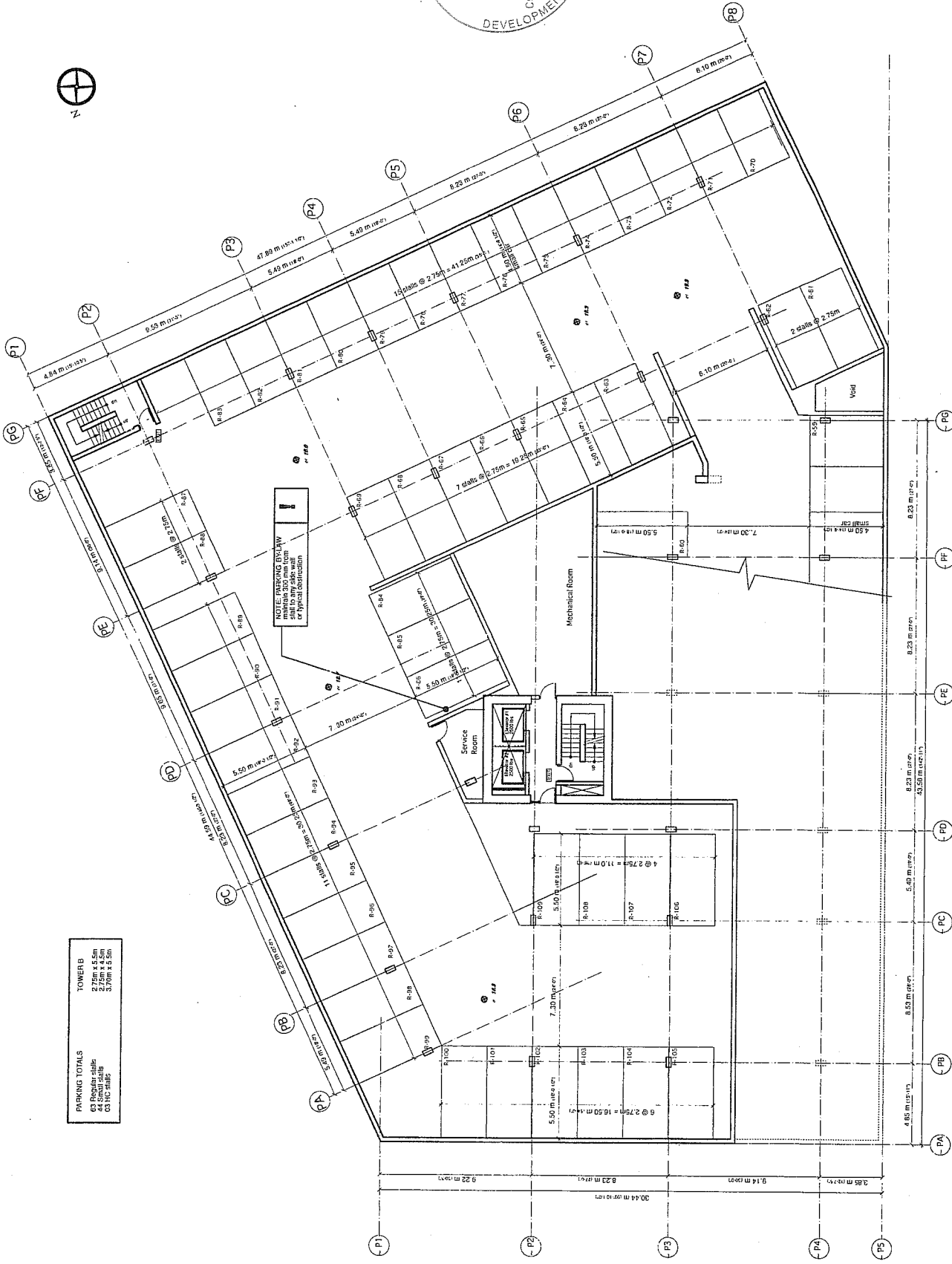
NO.	DATE	DESCRIPTION
1	10/05/11	Issue for [Description]
2	10/05/11	Issue for [Description]

Mixed Use Development  
856 Esplanade Rd  
Esplanade, B.C.

P-2 PARKING PLAN  
Building B.

DATE	11/01
BY	DM
DATE	January 07, 2011
SCALE	1:100
PROJECT	DM

DP A2.11



THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. D16/2011

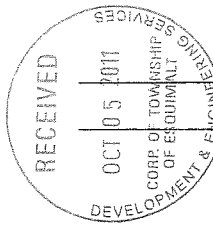
CORPORATE OFFICER

PARKING TOTALS

TOWER B	277m x 4.5m
Regular stalls	377m x 4.5m
HC stalls	377m x 4.5m

Plan No. 101  
1700 East Broadway Avenue  
Vancouver, British Columbia V6L 1K1  
Tel: 604.681.1111  
Fax: 604.681.1112

NOTES:  
1. Refer to the site plan for  
Equipment, Parking, Drive, etc.  
Equipment Parking Drive etc.  
- 2000, 2001, 2002  
The Office of Development  
is responsible for the review and  
approval of this plan.



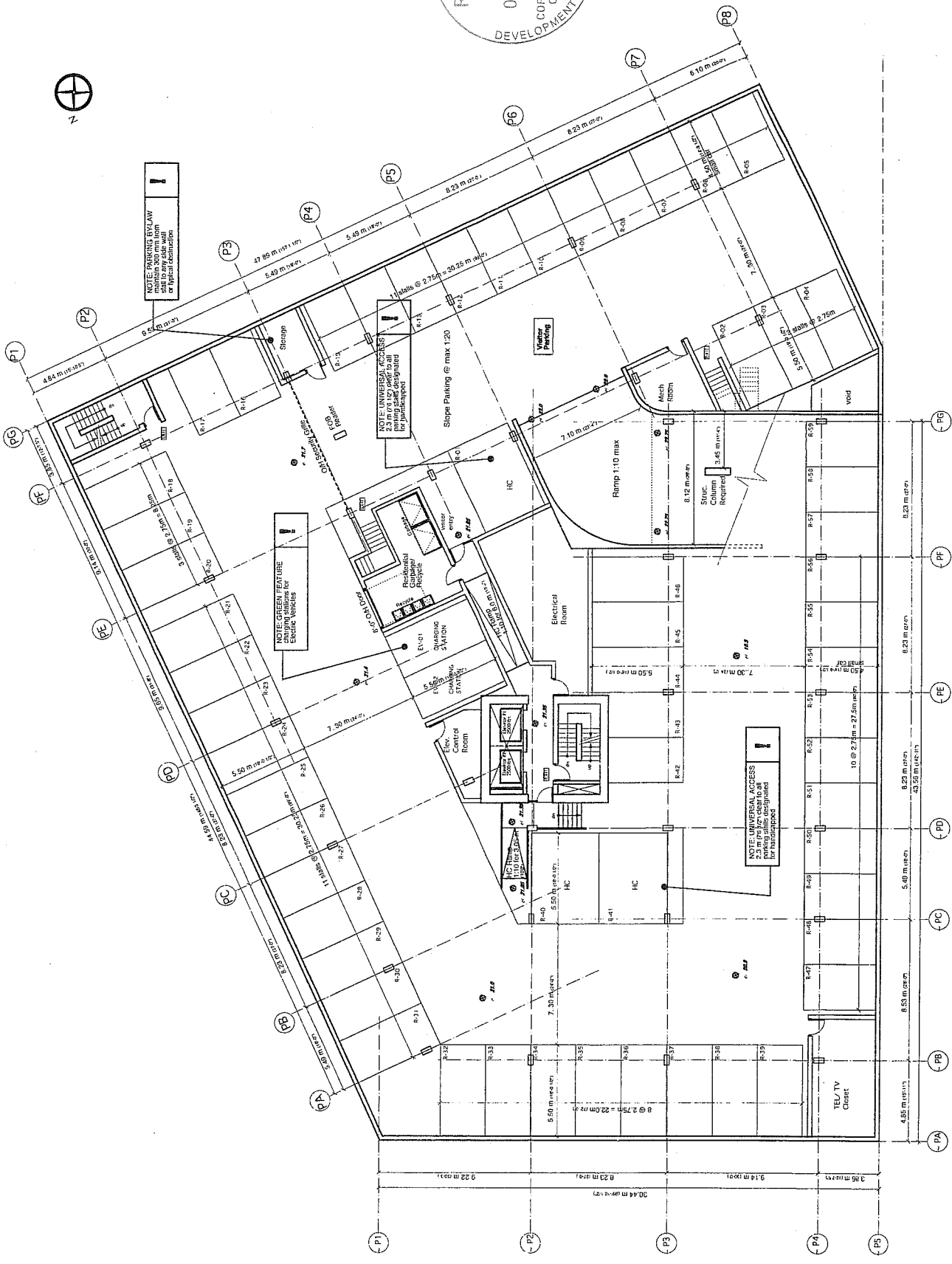
NO.	DATE	DESCRIPTION
1	10/05/11	Issue for P-1 P-1
2	10/05/11	Issue for P-1 P-1

Mixed Use Development  
856 Equipment Rd  
Equipment, B.C.

PROJECT TITLE  
P-1 PARKING PLAN  
- Building 11 -

NO.	DATE	DESCRIPTION
1	10/05/11	Issue for P-1 P-1
2	10/05/11	Issue for P-1 P-1

DP A2.12



NOTE: ACCESSIBLE PARKING  
2.3 m x 3.6 m stalls  
adjacent to any side wall  
or typical destination.

NOTE: UNIVERSAL ACCESS  
2.3 m x 3.6 m stalls to all  
parking stalls designated  
for handicapped.

NOTE: ACCESSIBLE PARKING  
2.3 m x 3.6 m stalls  
adjacent to any side wall  
or typical destination.

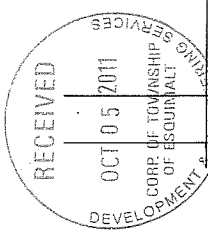
NOTE: UNIVERSAL ACCESS  
2.3 m x 3.6 m stalls to all  
parking stalls designated  
for handicapped.

THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

Plan 1/16/11, 2/2/11  
225 - 2250 East Broadway Avenue  
Vancouver, British Columbia, Canada V6M 1Y5  
Tel: 604.273.3333  
Fax: 604.273.3333  
E-mail: doug@dpjmillar.com

NOTES:  
1. Refer to: **Approved**  
**Development Permit No. 2011-0011**  
**Expendable Trucking Before 1972**  
**2. Project No. 2011**  
**The Options of Development**  
approved by the City of Vancouver

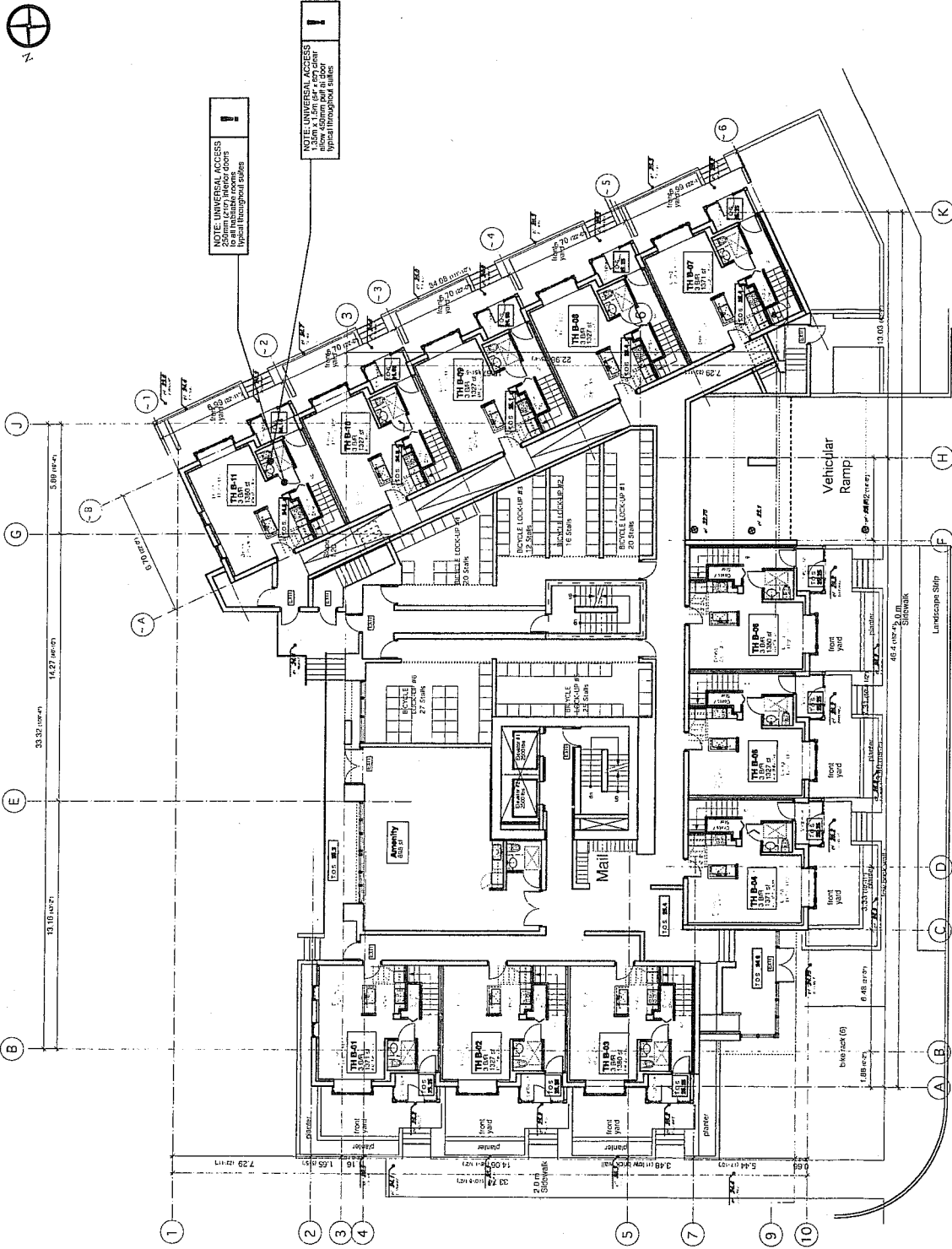


PROJECT:  
**Mixed Use Development**  
**8556 Esquimalt Rd**  
**Esquimalt, B.C.**

**GROUND FLOOR PLAN**  
- Building B -

DATE:	11-03
DESIGN:	DM
CHECK:	DM
DATE:	January 07, 2011
SCALE:	1:100
PROJECT:	DM
DATE:	11-03
DESIGN:	DM
CHECK:	DM
DATE:	11-03
DESIGN:	DM
CHECK:	DM
DATE:	11-03
DESIGN:	DM
CHECK:	DM
DATE:	11-03
DESIGN:	DM
CHECK:	DM

**DP A2.13**



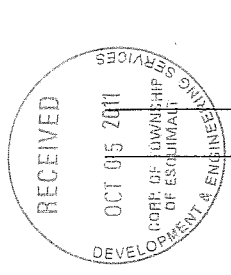
THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER



One Millar Place  
100-1025 East 10th Avenue  
Vancouver, British Columbia V6M 1K7  
Canada - 604.681.1111

**NOTES:**  
1. Reference: Building Bylaw 971  
Enforcement Order No. 1971  
Enforcement Order No. 1972  
Enforcement Order No. 1973  
Bylaw No. 2011  
The Official of Vancouver  
enforcement order no. 1971, 1972, 1973  
enforcement order no. 1971, 1972, 1973

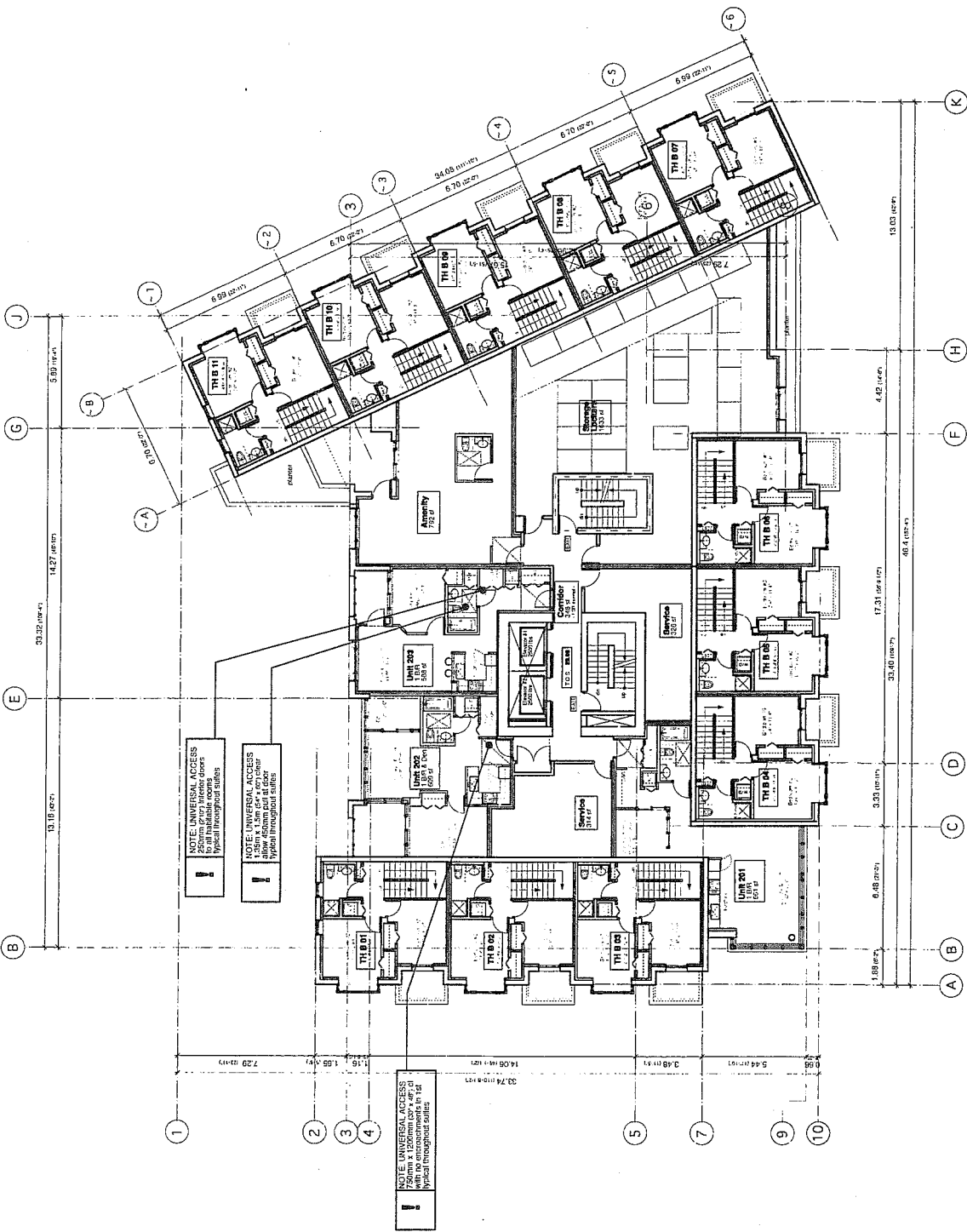


PROJECT:  
**Mixed Use Development  
856 Esquimalt Rd  
Esquimalt, B.C.**

DESIGNED BY:  
**2nd FLOOR PLAN**  
- Building 11 -

REV NO	11-01
DATE	JAN
BY	January 07, 2011
SCALE	1:100
DRAWN	JML
CHECKED	JML
DATE	
BY	
CHECKED	
DATE	

**DP A2.14**

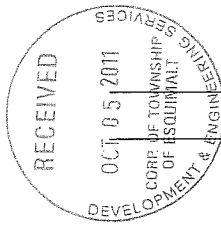


THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

Dist. 2010-04-06  
27 - 4020 Fairford Street  
Vancouver, British Columbia V6L 5A1  
E-mail: doug@dpjmillar.com

NOTES:  
1. Refer to: **Development**  
- **Bylaw No. 2008**  
- **Residential Planning Bylaw 1997**  
- **Bylaw No. 2011**  
The Office of Urban Services  
- **Development Services**



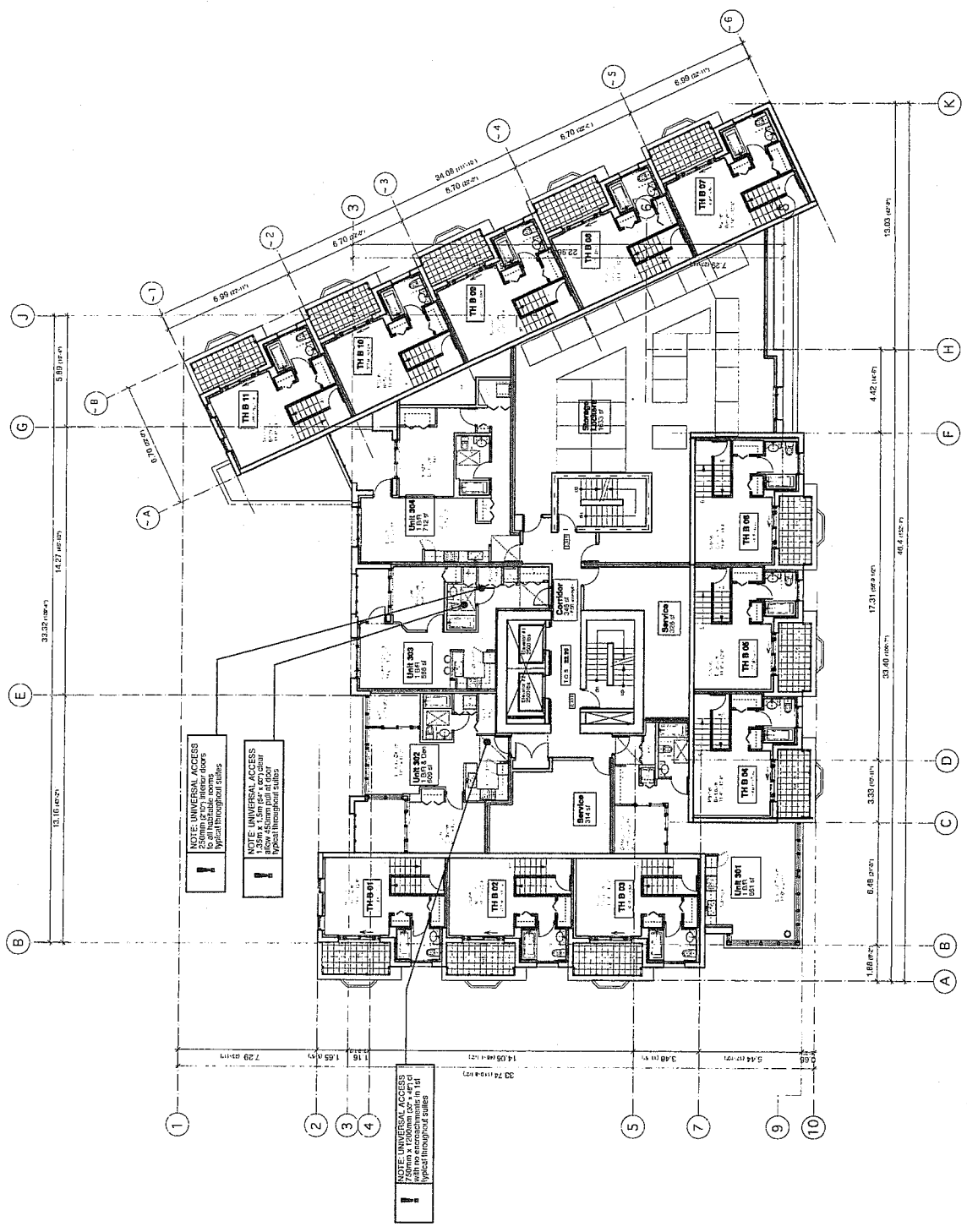
NO.	DATE	DESCRIPTION
1	10.05.11	Pre-Sub for RZ/DP (Open)
2	08.11.11	Sub for RZ/DP

Client: The Development  
856 Esquimalt Rd  
Esquimalt, B.C.

Project: 3rd FLOOR PLAN  
- Building B -

NO.	DATE	DESCRIPTION
1	11.01.11	Sub for RZ/DP
2	01.07.11	Sub for RZ/DP
3	01.08.11	Sub for RZ/DP

DP A2.15



NOTE: UNIVERSAL ACCESS  
to all habitable rooms  
typical through-out suites

NOTE: UNIVERSAL ACCESS  
to all habitable rooms  
typical through-out suites

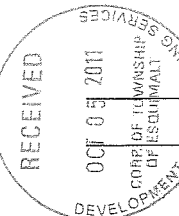
NOTE: UNIVERSAL ACCESS  
to all habitable rooms  
typical through-out suites

THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

Three Mills, Inc.  
300 - 4225 St. John's Road  
Weymouth, BC V6L 3L7  
Tel: 250.633.4343  
Fax: 250.633.4344  
www.threemills.com

**NOTES:**  
1. Reference: Building Bylaw 1871  
2. Equipment: Zone 1  
3. Approved: 17/07/2011  
4. Approved: 17/07/2011  
The Office of the  
Director of Building  
Department of Planning



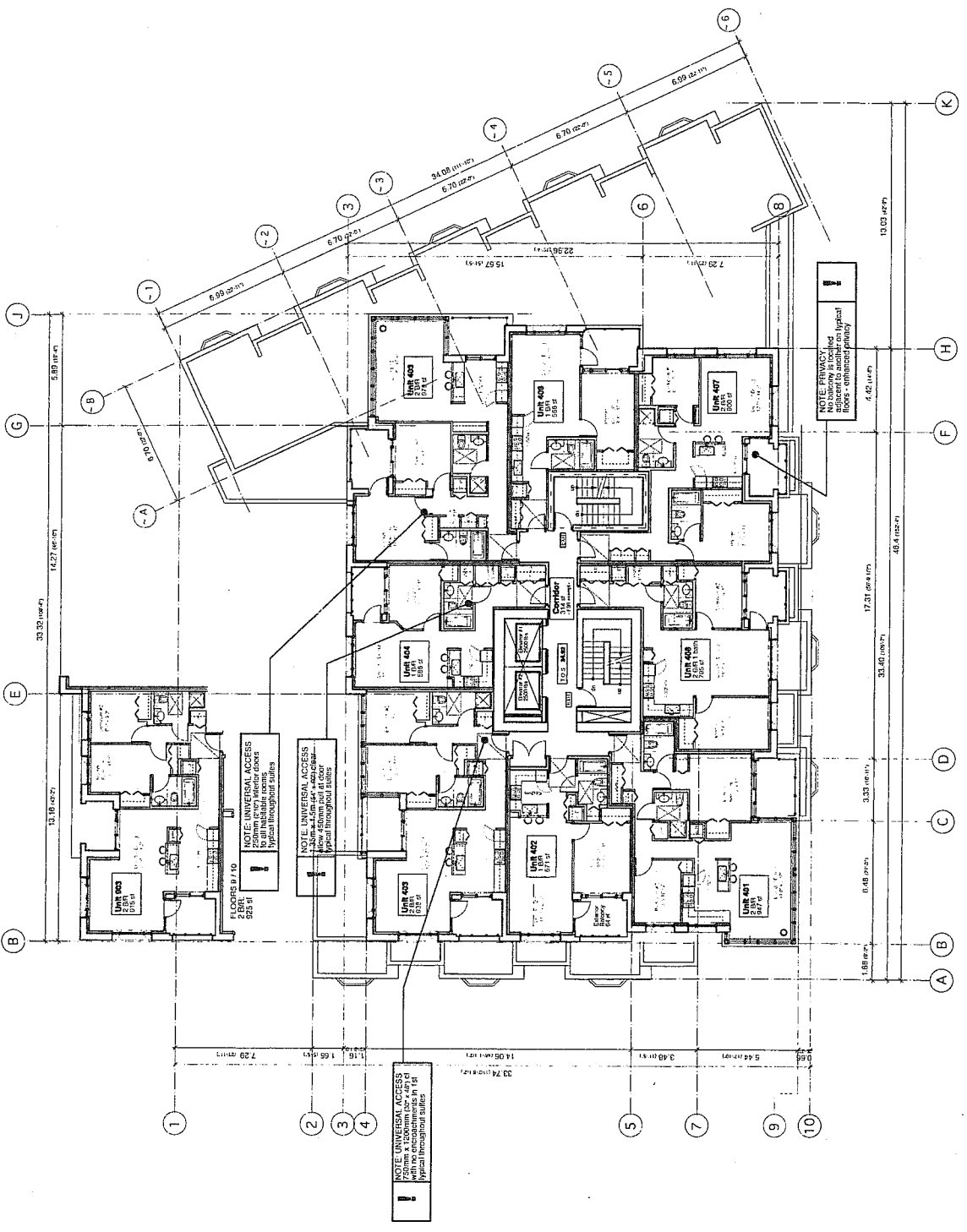
NO	REV	DATE	DESCRIPTION
1	1	17/07/2011	ISSUED FOR PERMIT
2	1	17/07/2011	ISSUED FOR PERMIT

Mixed Use Development  
**856 Esplanet Rd**  
Esquimalt, B.C.

4th - 10th FLOOR PLAN  
Building B

DATE	BY	SCALE
11-01	DM	1:100
15-06	DM	1:100

**DP A2.16**



**THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO 06/2011**

CORPORATE OFFICER

11111 11111  
11111 11111  
11111 11111  
11111 11111  
11111 11111

NOTES:

1. Refer to the following documents for information regarding this project:
  - Zoning Bylaw No. 1972
  - Building Bylaw No. 2000
  - Development Permit No. 006/2011
  - The Official Development Plan



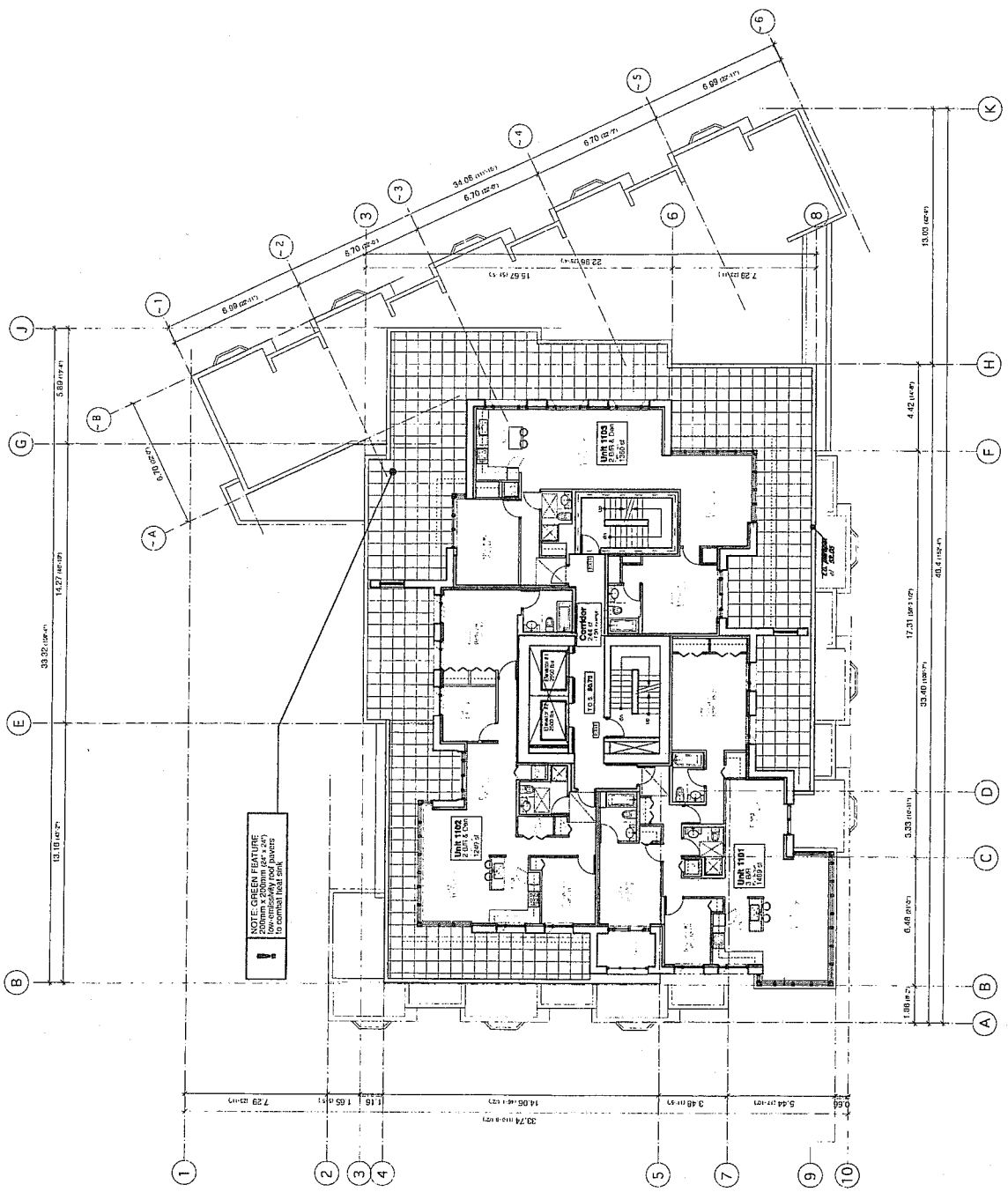
NO.	DATE	DESCRIPTION
1	10/05/11	Issue for DP for Development
2	10/11/11	Issue for DP for Development

Mixed Use Development  
856 Esplanat Rd  
Esquimalt, B.C.

11th - 12th FLOOR PLAN  
Building 11

DATE	11-01
BY	DJM
CHECKED BY	January 07, 2011
SCALE	1:1000
PROJECT NO.	DJM

DP A2.17



THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO 006/2011

CORPORATE OFFICER

Drawn by: [Name]  
Checked by: [Name]  
Project: [Name]  
Date: [Date]

**NOTES:**  
1. Refer to [Reference]  
2. Refer to [Reference]  
3. Refer to [Reference]



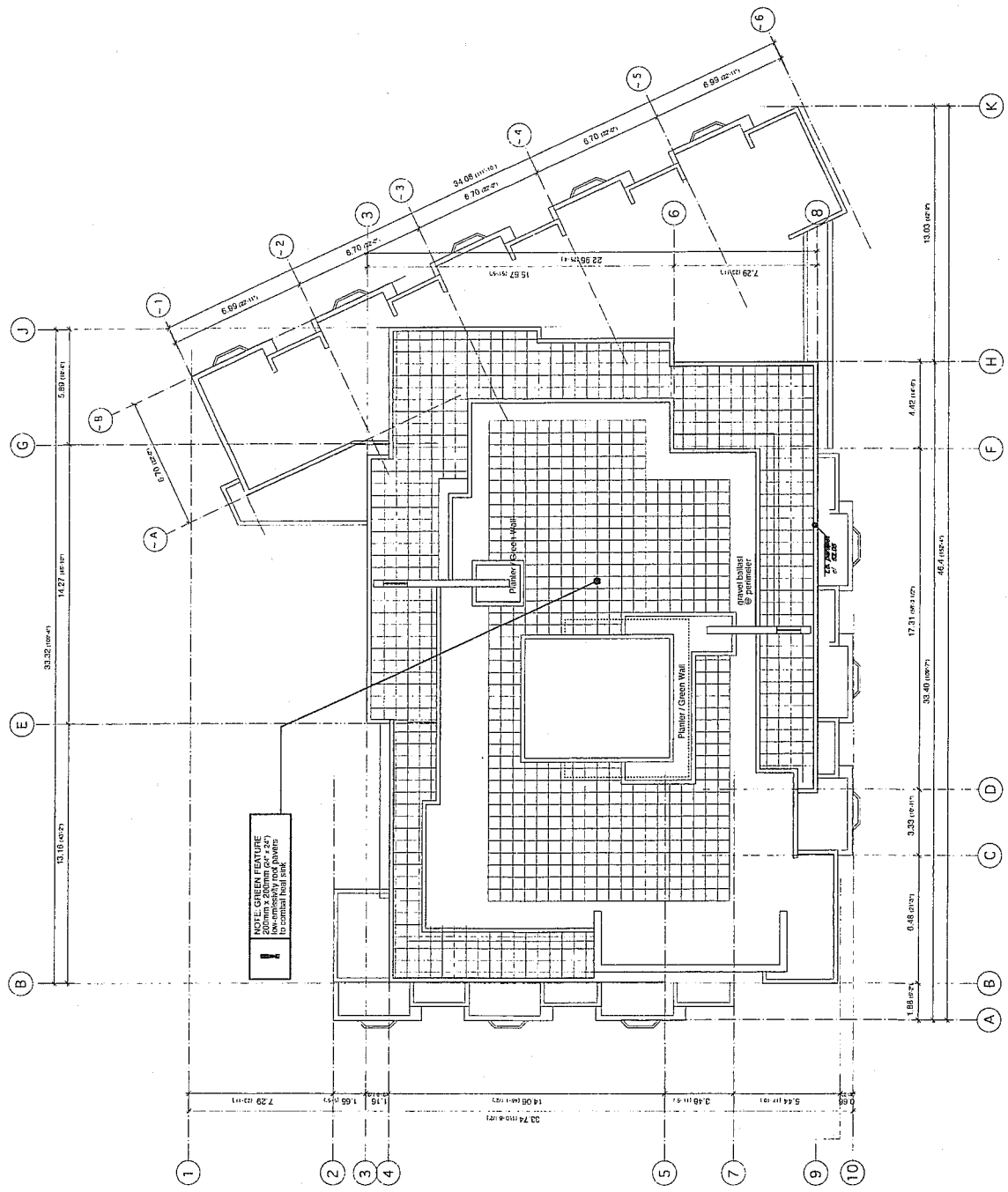
NO.	DATE	DESCRIPTION
1	10/05/11	ISSUED FOR PERMIT
2	10/05/11	REVISED FOR PERMIT

**PROJECT:**  
Mixed Use Development  
856 Esquimalt Rd  
Esquimalt, B.C.

**ROOF PLAN**  
[Drawing Title]

DATE	11-01
BY	DM
DATE	January 07, 2011
SCALE	1:100
PROJECT	DM

**DP A2.18**



THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

One 1125a Ave  
207 402 East 10th Street  
Vancouver, British Columbia V5L 3S5  
Tel: 604.681.1111  
Fax: 604.681.1111  
Email: doug@dpmillar.com

NOTES:

1. Refer to:
  - 1.1. Schedule 'A' of Development Permit No. 216/2011
  - 1.2. Schedule 'A' of Development Permit No. 216/2011
  - 1.3. Schedule 'A' of Development Permit No. 216/2011
  - 1.4. Schedule 'A' of Development Permit No. 216/2011
  - 1.5. Schedule 'A' of Development Permit No. 216/2011



NO.	DATE	BY	DESCRIPTION
1	10/05/11	DP	ISSUED FOR PERMIT

PROJECT:  
Mixed Use Development  
856 Esquimalt Rd  
Esquimalt, B.C.

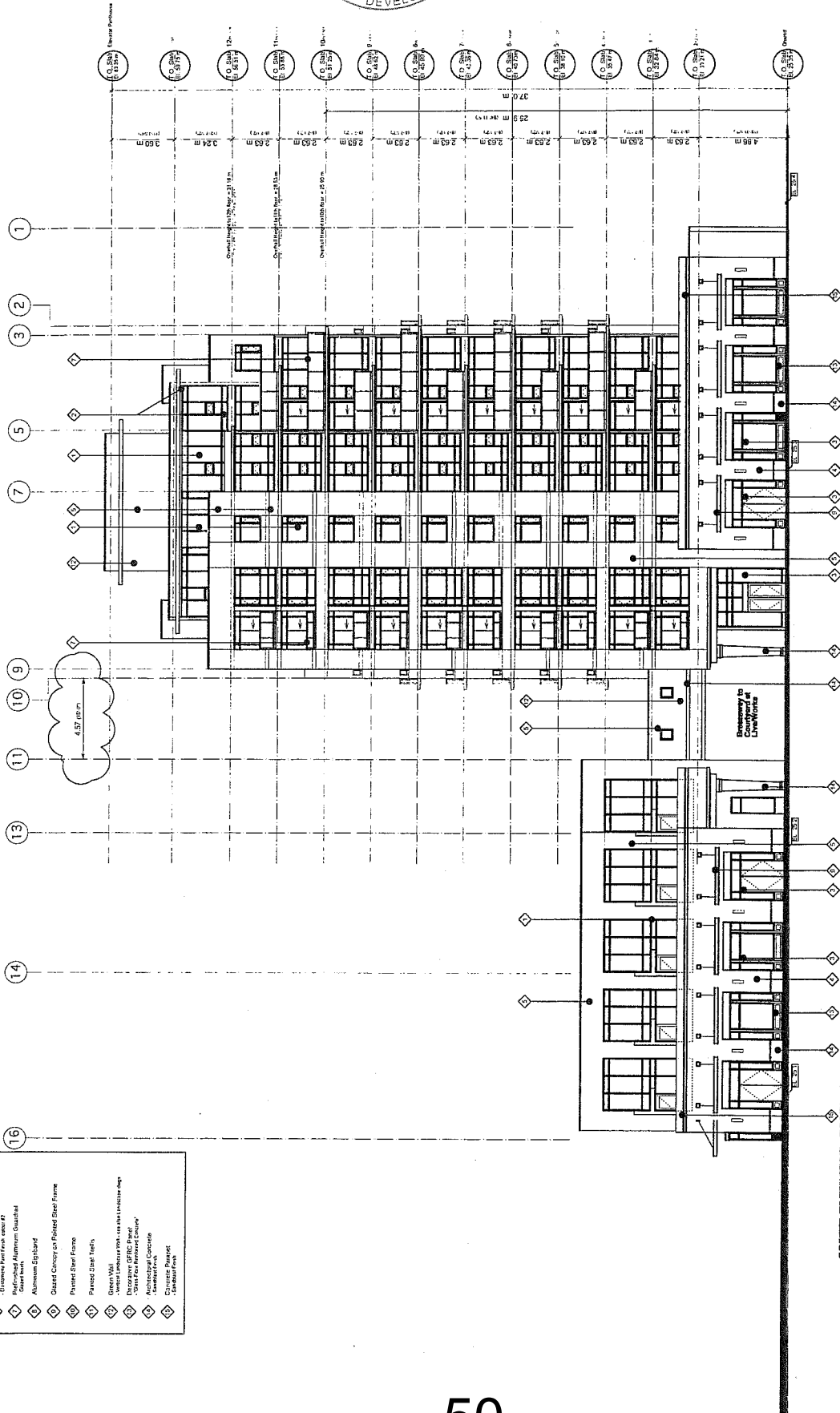
DATE: 11-01  
DRAWN: DMK  
CHECKED: DMK  
DATE: January 07, 2011  
SCALE: 1/100  
PROJECT: DMK

NO.	DATE	BY	DESCRIPTION
1	11/01/11	DMK	ISSUED FOR PERMIT

DP A3.01

**MATERIAL LIST**

- ◆ Double-Glazed Window (low-E) in Metal Frame
- ◆ 1/2" Plywood Substrate
- ◆ Standard Panel - Insulated
- ◆ Reinforced Concrete
- ◆ Brick Masonry
- ◆ Cast-in-Place Concrete
- ◆ Structural Steel Frame
- ◆ Aluminum Siding
- ◆ Painted Steel Frame
- ◆ Painted Steel Panels
- ◆ Green Wall
- ◆ Architectural Concrete
- ◆ Standard Finish



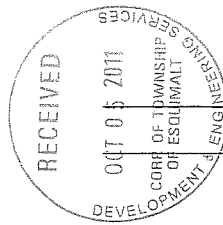
SOUTH ELEVATION - ESQUIMALT ROAD

THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 216/2011

CORPORATE OFFICER

One King's Head  
170 - 182 East Beaver Creek Avenue  
Westborough, Massachusetts 01581  
Tel: 508-336-1100  
Fax: 508-336-1101  
E-mail: douglas@dpjmillar.com

NOTES:  
1. Reference: Building By-Laws 1972  
Expenditure: 27th Nov. 2010  
Expenditure: 27th Nov. 2010  
Expenditure: 27th Nov. 2010  
The Office of Development  
www.development.com



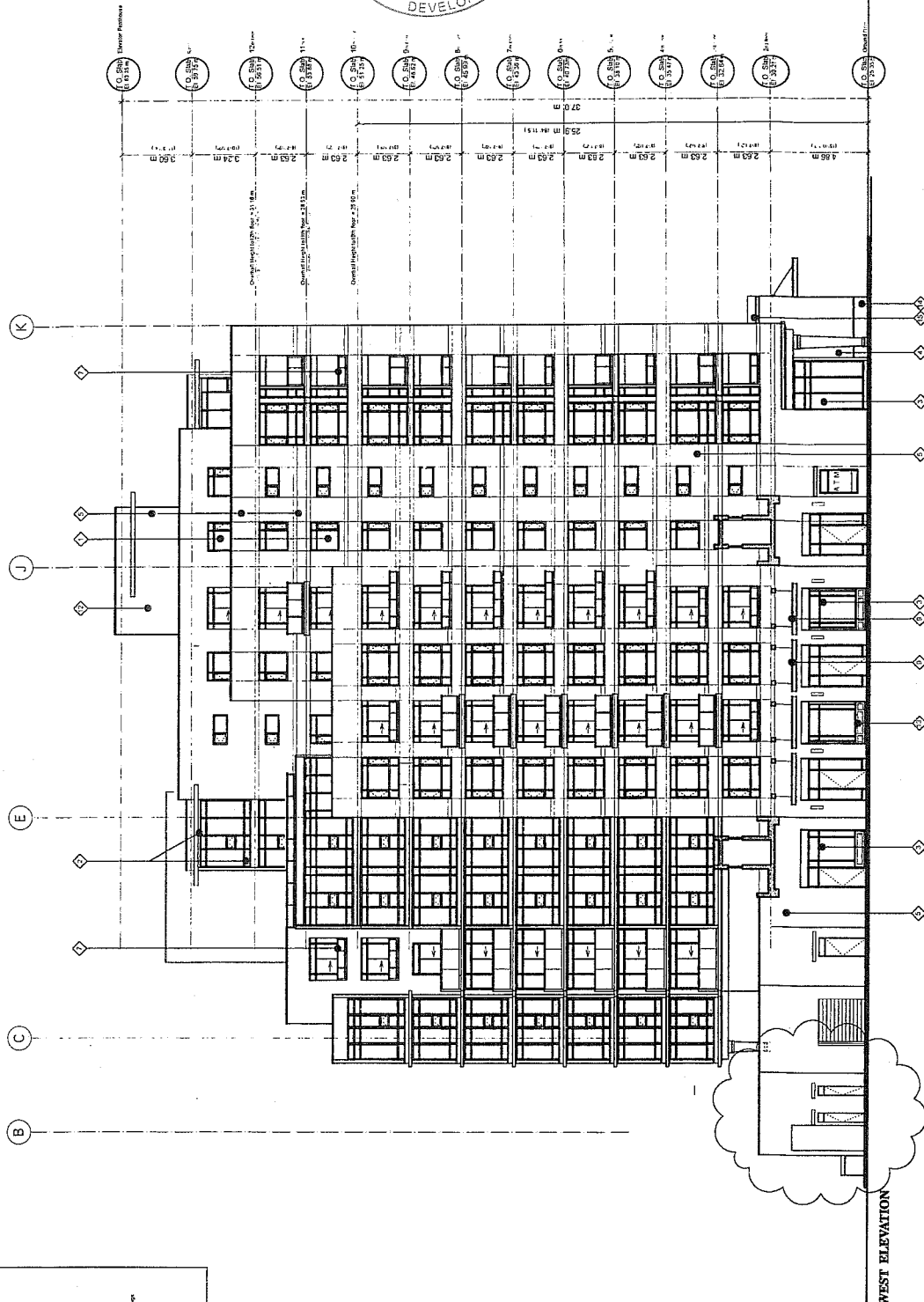
1	DATE	REVISION
1	04/05/2011	NEW FOR 02/DP
2	04/05/2011	NEW FOR 02/DP

Project Name: 856 Esquimault Rd Esquimault, B.C.

WEST ELEVATION  
- Building A -

DATE	11/01
BY	DP
CHECKED	DP
DATE	January 01, 2011
SCALE	1:100
PROJECT	DP

DP A302



WEST ELEVATION

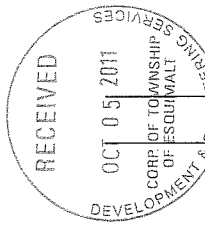
MATERIAL LIST

- 1 Double Glazed Window (600) in Metal Frame
- 2 4" x 8" x 16" Plywood
- 3 4" x 8" x 16" Plywood
- 4 4" x 8" x 16" Plywood
- 5 4" x 8" x 16" Plywood
- 6 4" x 8" x 16" Plywood
- 7 4" x 8" x 16" Plywood
- 8 4" x 8" x 16" Plywood
- 9 4" x 8" x 16" Plywood
- 10 4" x 8" x 16" Plywood
- 11 4" x 8" x 16" Plywood
- 12 4" x 8" x 16" Plywood
- 13 4" x 8" x 16" Plywood
- 14 4" x 8" x 16" Plywood
- 15 4" x 8" x 16" Plywood
- 16 4" x 8" x 16" Plywood
- 17 4" x 8" x 16" Plywood
- 18 4" x 8" x 16" Plywood
- 19 4" x 8" x 16" Plywood
- 20 4" x 8" x 16" Plywood
- 21 4" x 8" x 16" Plywood
- 22 4" x 8" x 16" Plywood
- 23 4" x 8" x 16" Plywood
- 24 4" x 8" x 16" Plywood
- 25 4" x 8" x 16" Plywood
- 26 4" x 8" x 16" Plywood
- 27 4" x 8" x 16" Plywood

THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO 06/2011  
CORPORATE OFFICER

Douglas P. J. Millar  
37th & 42nd Street  
New York, NY 10018  
Tel: 212-695-4400  
Fax: 212-695-4401  
www.douglas-p-j-millar.com

**NOTICE:**  
L. Ryerson  
Professional Building 1971  
- 1974, No. 2011  
The Office of Municipal  
Administration of the City of  
Toronto



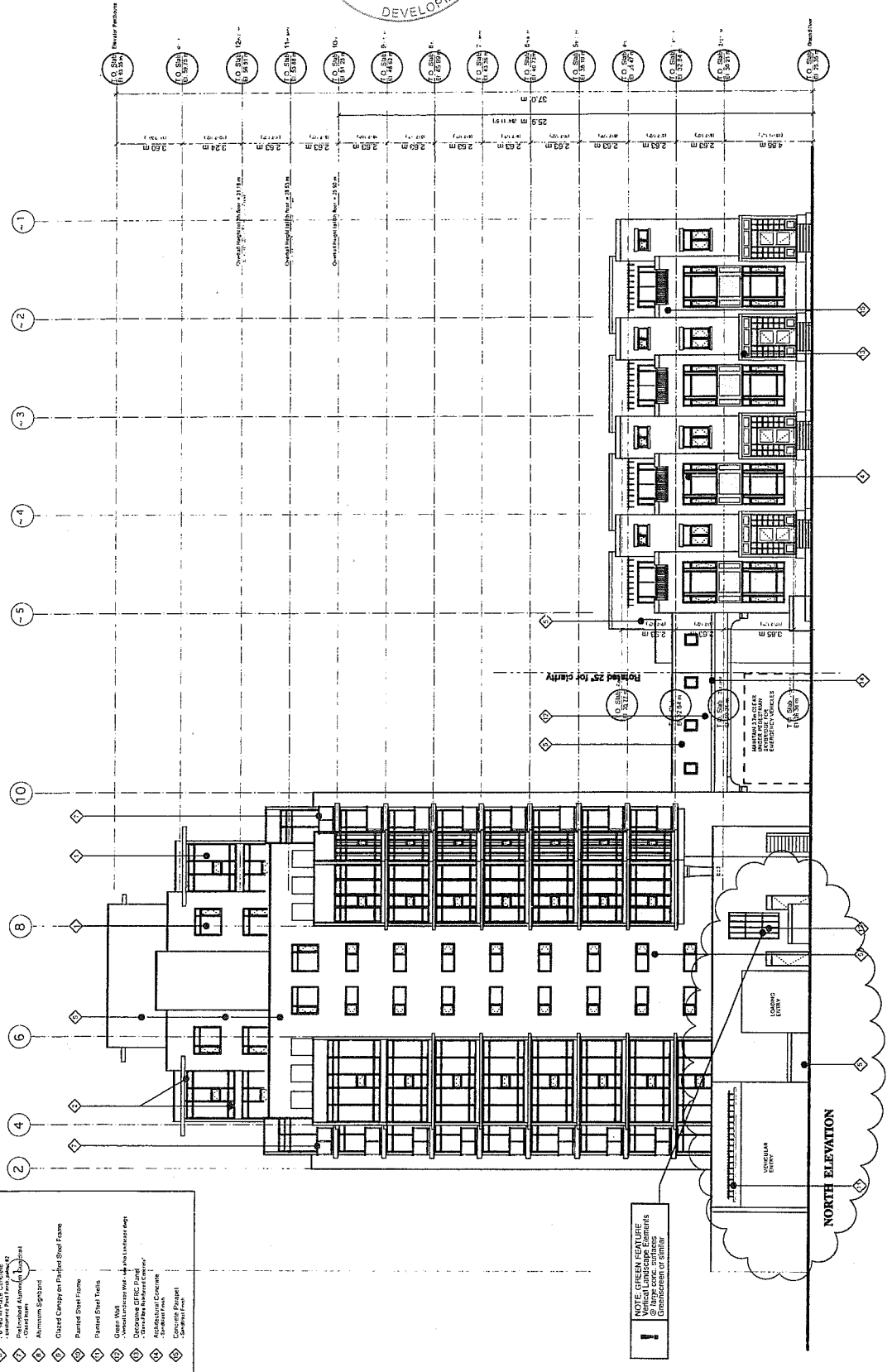
NO.	DATE	DESCRIPTION
1	10.01.11	Revised for 102 (DP) (New)
2	10.01.11	Revised for 102 (DP) (New)

Mixed Use Development  
**856 Esquimalt Rd**  
Esquimalt, B.C.

**NORTH ELEVATION**  
Building A.

NO.	DATE	DESCRIPTION
1	11-01	DM
2	11-01	DM
3	11-01	DM
4	11-01	DM
5	11-01	DM

**DP A3.03**



THIS IS SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

**MATERIAL LIST**

- ◆ Double-Glazed Window (shown in Metal Frame) - 720 Series - Inset Glass in Frame
- ◆ Bronze Paint - Subcontractor
- ◆ Concrete - Cast in Place
- ◆ Brick Masonry
- ◆ Brown or Grey Concrete
- ◆ 1/2" Red in Face Concrete
- ◆ Cast-in-Place Concrete
- ◆ Cast-in-Place Concrete
- ◆ Aluminum Siding
- ◆ Gated Canopy on Pulled Steel Frame
- ◆ Painted Steel Frame
- ◆ Painted Steel Panels
- ◆ Glass Wall
- ◆ Vertical Landscape Elements - Greenery or similar
- ◆ Greenery or similar
- ◆ Greenery or similar
- ◆ Greenery or similar
- ◆ Greenery or similar
- ◆ Greenery or similar
- ◆ Greenery or similar
- ◆ Greenery or similar
- ◆ Greenery or similar

NOTE GREEN FEAT USE Vertical Landscape Elements Greenery or similar Greenery or similar



2145, 2146, 2147, 2148  
217, 402 East Broadway Avenue  
Vancouver, British Columbia, Canada V6B 1Y4  
Tel: 604.681.2828  
Fax: 604.681.2829  
E-Mail: doug@millararchitect.com

**NOTES:**

1. Reference: *Code of Township of Essoumalt*  
*By-law No. 1792*  
*Enactment: October 20, 2007*  
*By-law No. 2011*  
*Enactment: October 10, 2011*  
*The Option of Staircases*  
*By-law No. 2011*  
*Enactment: October 10, 2011*



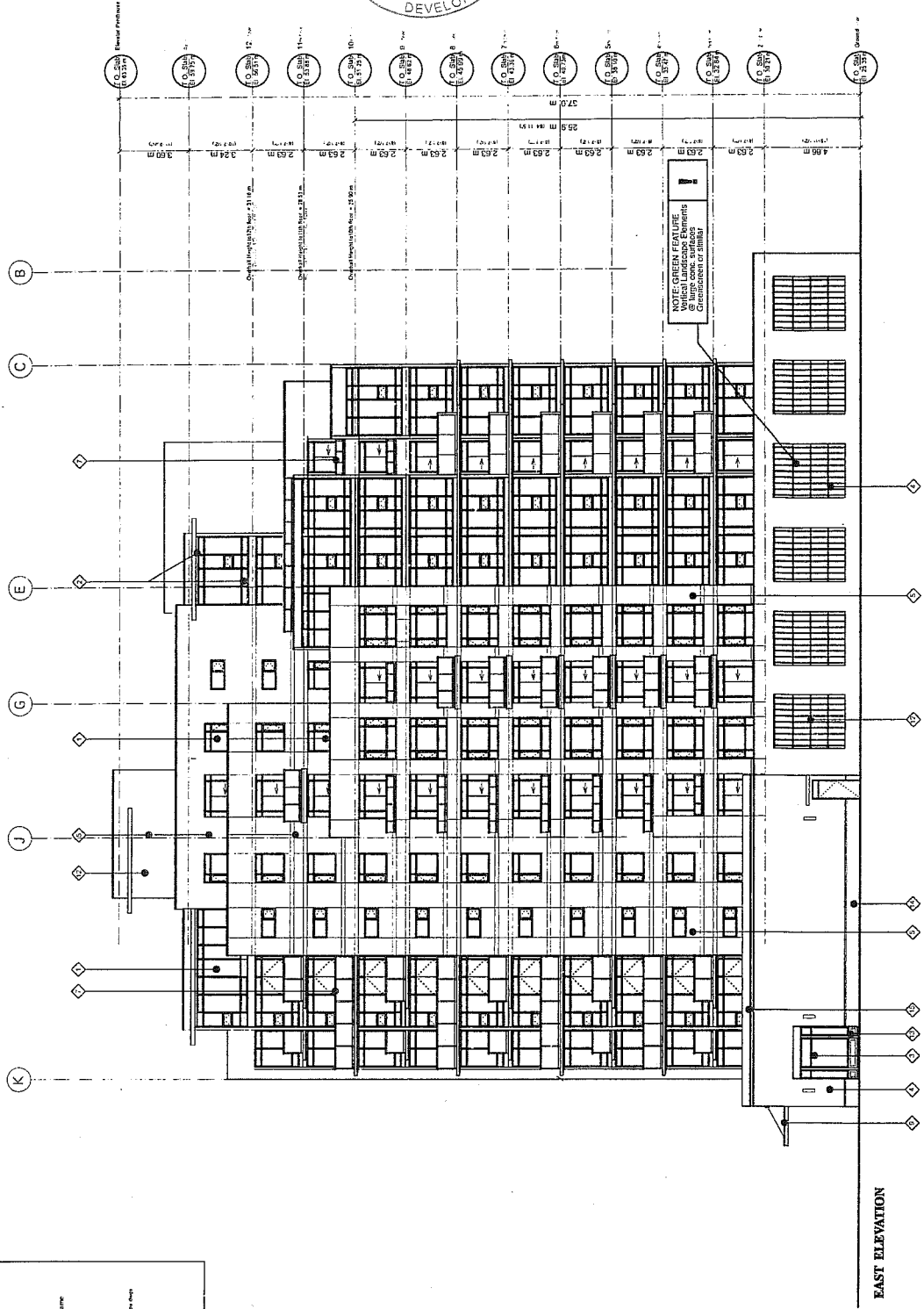
NO.	DATE	DESCRIPTION
1	10.26.11	Issue for 2D/3D Drawings
2	11.21.11	Issue for 2D/3D Drawings

PROJECT:  
**Mixed Use Development**  
**856 Esquimalt Rd**  
**Esquimalt, B.C.**

PERMIT TYPE:  
**NORTH ELEVATION**  
- Building A -

NO.	DATE	DESCRIPTION
1	11.01	Issue for 2D/3D Drawings
2	11.01	Issue for 2D/3D Drawings
3	11.01	Issue for 2D/3D Drawings
4	11.01	Issue for 2D/3D Drawings
5	11.01	Issue for 2D/3D Drawings
6	11.01	Issue for 2D/3D Drawings
7	11.01	Issue for 2D/3D Drawings
8	11.01	Issue for 2D/3D Drawings
9	11.01	Issue for 2D/3D Drawings
10	11.01	Issue for 2D/3D Drawings
11	11.01	Issue for 2D/3D Drawings
12	11.01	Issue for 2D/3D Drawings
13	11.01	Issue for 2D/3D Drawings
14	11.01	Issue for 2D/3D Drawings
15	11.01	Issue for 2D/3D Drawings
16	11.01	Issue for 2D/3D Drawings
17	11.01	Issue for 2D/3D Drawings
18	11.01	Issue for 2D/3D Drawings
19	11.01	Issue for 2D/3D Drawings
20	11.01	Issue for 2D/3D Drawings

**DP A3.04**



**MATERIAL LIST**

□	Double Glazed Window (Steel) in Metal Frame
□	Single Glazed Window (Steel) in Metal Frame
□	Fixed Glass Panel - Insulated
□	Spotlight Glazing in Metal Frame
□	Brick Masonry
□	Painted on Form Concrete
□	Claystone Panel Floor Slab #1
□	Precast Concrete Panel Slab #2
□	Precast Aluminum Guardrail
□	Aluminum Sillband
□	Grated Chantry on Painted Steel Frame
□	Painted Steel Truss
□	Grated Walk
□	Decorative Ceramic Panel
□	Structural Concrete
□	Structural Steel
□	Concrete Paving
□	Asphalt Paving

THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. *06/12/011*  
CORPORATE OFFICER

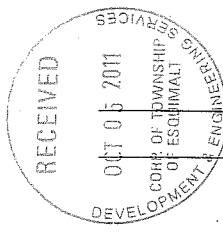






100 West Hill Street  
3rd Floor  
Vancouver, British Columbia, Canada V6C 1A7  
Telephone: 604.681.1776  
Fax: 604.681.1777  
www.douglaspmillar.com

**NOTES:**  
1. Reference: Building Bylaw 897  
Enforcement Building Bylaw 897  
Enforcement Building Bylaw 897  
The Office of Development  
www.vancouver.ca/development



NO.	DESCRIPTION	DATE
1	ISSUED	10/05/11
2	REVISED	10/05/11

**PROJECT:**  
Mixed Use Development  
866 Esquimalt Rd  
Esquimalt, B.C.

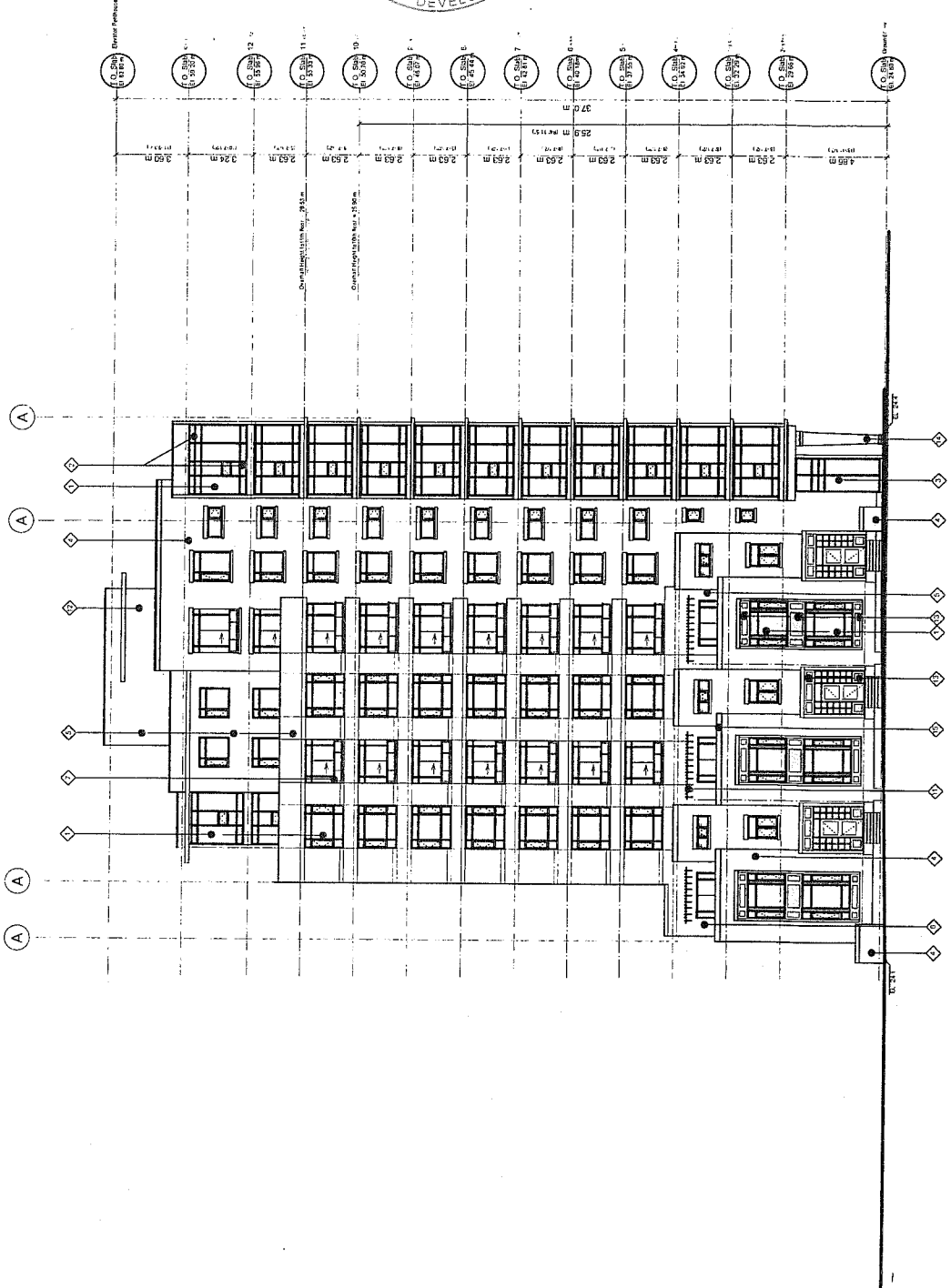
**DRAWING TITLE:**  
WEST ELEVATION  
- Building 2 -

NO.	DATE	BY	CHKD BY
1	10/05/11	DM	DM
2	10/05/11	DM	DM
3	10/05/11	DM	DM

**DP A3.08**

**MATERIAL LIST**

- 1. Polished Chrome Window, Door, & Metal Frame
- 2. Polished Chrome Window, Door, & Metal Frame
- 3. Polished Chrome Window, Door, & Metal Frame
- 4. Polished Chrome Window, Door, & Metal Frame
- 5. Polished Chrome Window, Door, & Metal Frame
- 6. Polished Chrome Window, Door, & Metal Frame
- 7. Polished Chrome Window, Door, & Metal Frame
- 8. Polished Chrome Window, Door, & Metal Frame
- 9. Polished Chrome Window, Door, & Metal Frame
- 10. Polished Chrome Window, Door, & Metal Frame
- 11. Polished Chrome Window, Door, & Metal Frame
- 12. Polished Chrome Window, Door, & Metal Frame
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- 41. Polished Chrome Window, Door, & Metal Frame
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- 43. Polished Chrome Window, Door, & Metal Frame
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- 51. Polished Chrome Window, Door, & Metal Frame
- 52. Polished Chrome Window, Door, & Metal Frame
- 53. Polished Chrome Window, Door, & Metal Frame
- 54. Polished Chrome Window, Door, & Metal Frame
- 55. Polished Chrome Window, Door, & Metal Frame
- 56. Polished Chrome Window, Door, & Metal Frame
- 57. Polished Chrome Window, Door, & Metal Frame
- 58. Polished Chrome Window, Door, & Metal Frame
- 59. Polished Chrome Window, Door, & Metal Frame
- 60. Polished Chrome Window, Door, & Metal Frame
- 61. Polished Chrome Window, Door, & Metal Frame
- 62. Polished Chrome Window, Door, & Metal Frame
- 63. Polished Chrome Window, Door, & Metal Frame
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- 71. Polished Chrome Window, Door, & Metal Frame
- 72. Polished Chrome Window, Door, & Metal Frame
- 73. Polished Chrome Window, Door, & Metal Frame
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- 81. Polished Chrome Window, Door, & Metal Frame
- 82. Polished Chrome Window, Door, & Metal Frame
- 83. Polished Chrome Window, Door, & Metal Frame
- 84. Polished Chrome Window, Door, & Metal Frame
- 85. Polished Chrome Window, Door, & Metal Frame
- 86. Polished Chrome Window, Door, & Metal Frame
- 87. Polished Chrome Window, Door, & Metal Frame
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- 89. Polished Chrome Window, Door, & Metal Frame
- 90. Polished Chrome Window, Door, & Metal Frame
- 91. Polished Chrome Window, Door, & Metal Frame
- 92. Polished Chrome Window, Door, & Metal Frame
- 93. Polished Chrome Window, Door, & Metal Frame
- 94. Polished Chrome Window, Door, & Metal Frame
- 95. Polished Chrome Window, Door, & Metal Frame
- 96. Polished Chrome Window, Door, & Metal Frame
- 97. Polished Chrome Window, Door, & Metal Frame
- 98. Polished Chrome Window, Door, & Metal Frame
- 99. Polished Chrome Window, Door, & Metal Frame
- 100. Polished Chrome Window, Door, & Metal Frame



THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

One Millar Suite  
201 - 4250 East Industrial Avenue  
University Heights, Cleveland, Ohio 44118  
Tel: 216.462.1100  
Fax: 216.462.2333  
Email: douglas@dpjmillar.com

NOTES:

1. Reference: - Building Code 1997  
- Building Code 2009  
- International Building Code 2006  
- International Building Code 2009  
- International Building Code 2012  
- International Building Code 2015
2. The Owner of this building is the City of Lakewood.



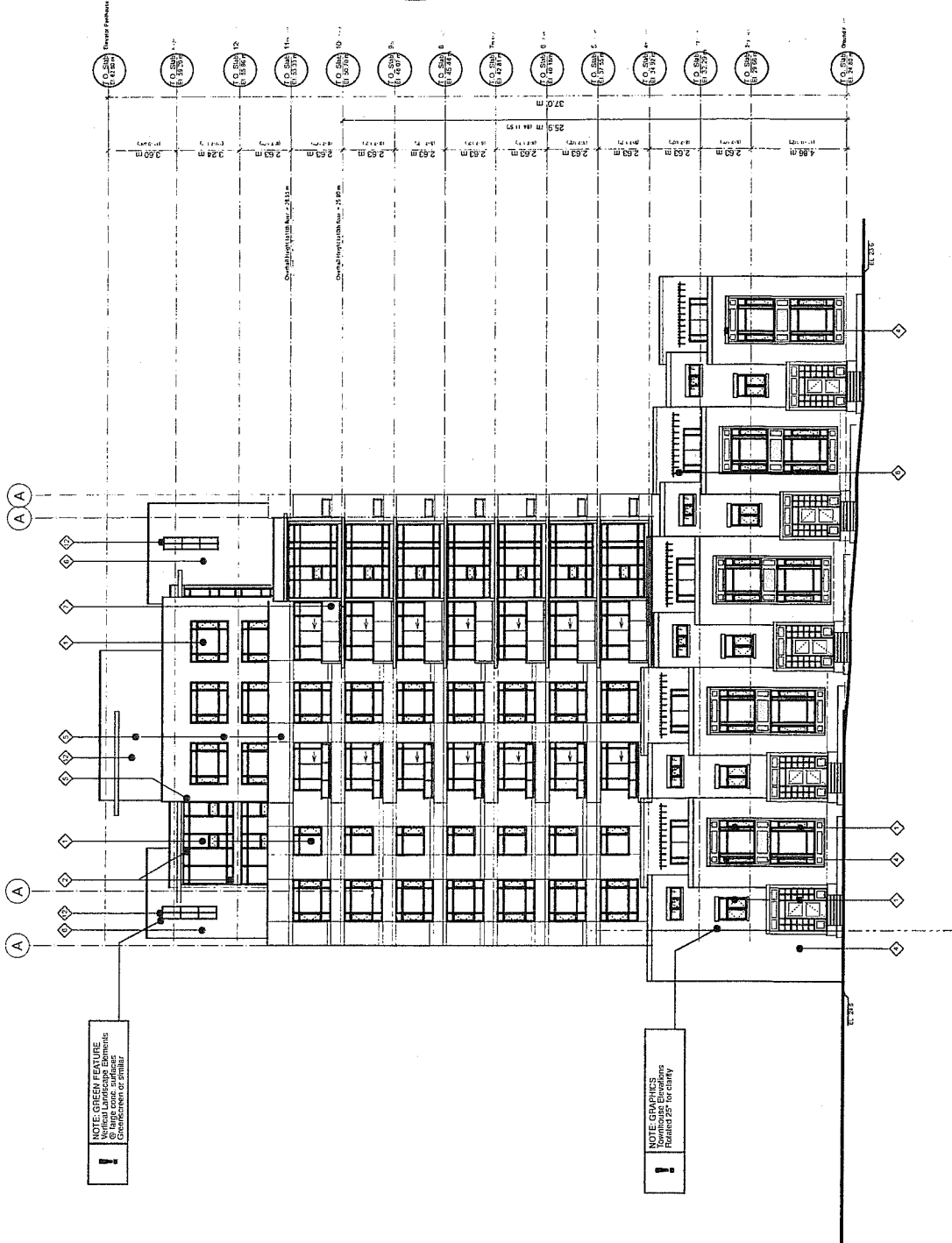
1	18.04.11	Revised for 10/12/11 (New Program)
2	18.04.11	Revised for 10/12/11 (New Program)

Mixed Use Development  
856 Esquimault Rd  
Esquimault, B.C.

EAST ELEVATION  
- Building B -

DATE	11.01
BY	DM
DATE	January 07, 2011
SCALE	1:100
DESIGNER	DM

DP A3.09



THIS IS SCHEDULE 'A' OF  
DEVELOPMENT PERMIT NO. 06/1201  
CORPORATE OFFICER

**MATERIAL LIST**

- ◆ Double Glazed Window (Down) in Metal Frame
- ◆ 20mm Glass - Fixed Glass or Frame
- ◆ Standard Panel - backpainted
- ◆ Window Sillings in Metal Frame
- ◆ Window Sillings in Brick
- ◆ Black Masonry
- ◆ Standard Panel - Concrete
- ◆ Standard Panel - Concrete #1
- ◆ 2" x 4" in Brick - Concrete
- ◆ Extruded Polystyrene Insulation #2
- ◆ Standard Panel - Aluminum Composite Panel
- ◆ Aluminum Sillings
- ◆ Glass Clarity on Painted Steel Frame
- ◆ Painted Steel Frame
- ◆ Painted Steel Rails
- ◆ Green Wall
- ◆ Vertical Landscape Elements (Landscape) - Green Wall
- ◆ Architectural Concrete
- ◆ Standard Panel - Concrete
- ◆ Standard Panel - Concrete
- ◆ Standard Panel - Concrete

Site: 855 Esplanade, Esplanade  
 855 Esplanade, Esplanade  
 Esplanade, Esplanade  
 Esplanade, Esplanade

NOTES:  
 1. Esplanade, Esplanade  
 Esplanade, Esplanade  
 Esplanade, Esplanade  
 Esplanade, Esplanade



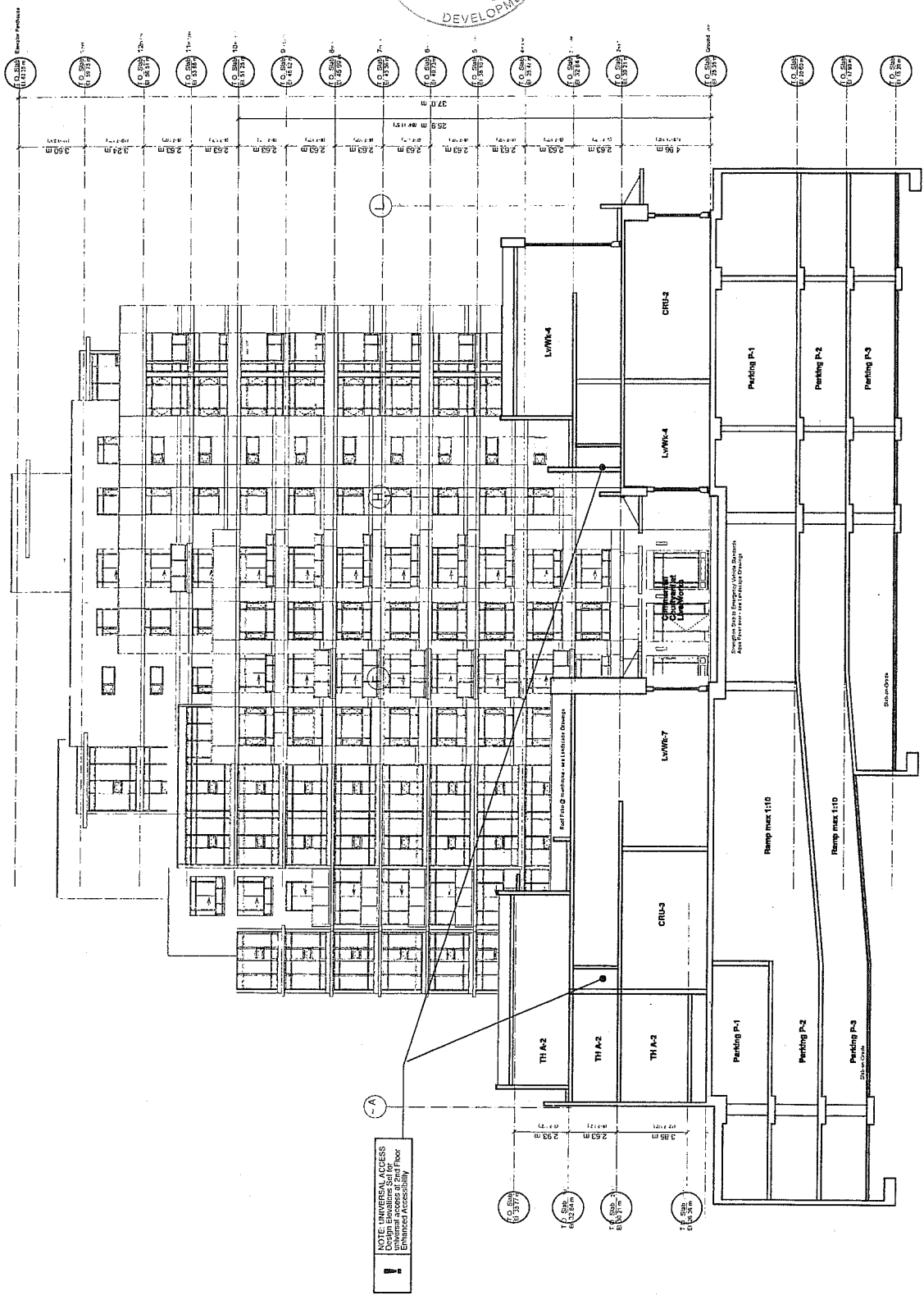
3	ESPLANADE	855 Esplanade, Esplanade
1	ESPLANADE	855 Esplanade, Esplanade

PROJECT:  
 Mixed Use Development  
 855 Esplanade Rd  
 Esplanade, B.C.

SECTION A-A  
 Commercial  
 Esplanade

DATE	REV	BY
January 07, 2011		
DATE	REV	BY
January 07, 2011		

DP A401



NOTE: UNIVERSAL ACCESS  
 Design Elevations, Sill or Floor  
 Enhanced Accessibility

THIS IS SCHEDULE 'A' OF  
 DEVELOPMENT PERMIT NO. 06/2011  
 CORPORATE OFFICER

**Site Plan Of:  
 Lot A, Plan VP80973,  
 And Lot 2, Plan 23904,  
 Section 11, Esquimalt District.**

Dated this 4th day of October, 2011.  
 Elevations are based upon geodetic datum.  
 Elevations & distances shown are in metres.  
 Scale = 1: 250

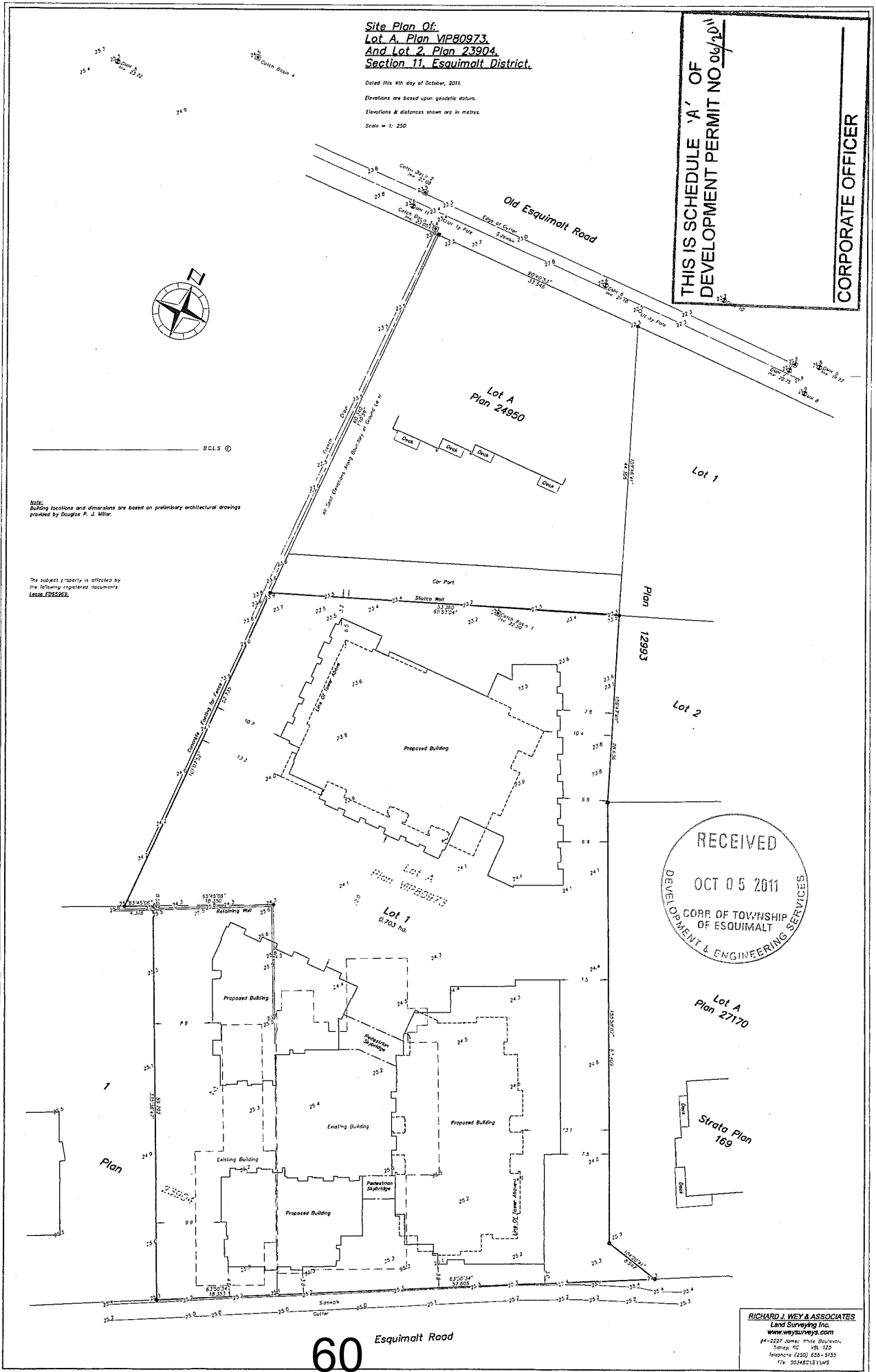
**THIS IS SCHEDULE 'A' OF  
 DEVELOPMENT PERMIT NO. 06/12/01**

**CORPORATE OFFICER**



**NOTE:**  
 Building locations and dimensions are based on preliminary architectural drawings  
 provided by Douglas B. J. Miller.

The subject property is affected by  
 the following registered documents:  
 Lot 1, Plan 23904.



**60** Esquimalt Road

**RICHARD J. WEY & ASSOCIATES**  
 Land Surveying Inc.  
 www.weysurveyors.com  
 14-2227 James Street Esquimalt  
 Esquimalt, BC V8E 1Z5  
 Telephone: (250) 858-3155  
 Fax: 504-621-5146



eckford + associates  
landscape architecture

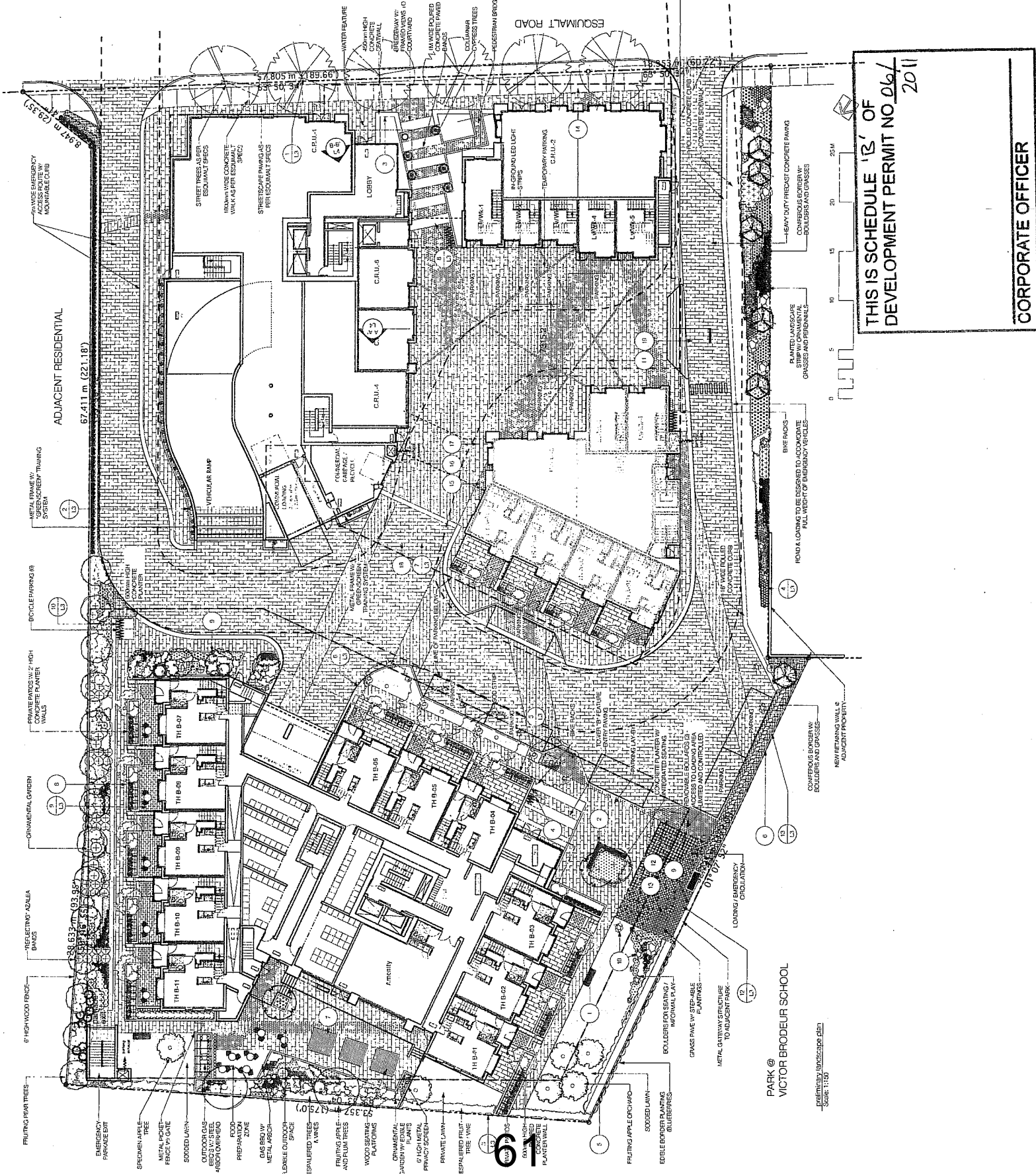
No.	Date	Revision/Notes
1	12/1/11	Revised for Construction
2	12/1/11	Revised for Final

**RECEIVED**  
OCT 05 2011  
CORP. OF TOWNSHIP OF ESQUIMALT  
DEVELOPMENT & ENGINEERING SERVICES

Layer Attributes 1  
L1 - Perimeter Wall 2  
L2 - Additions 3  
L3 - Additions 4

856 Esquimalt Rd  
856 Esquimalt Rd  
Esquimalt, BC  
Landscape Site Plan

Project No.	2118
Sheet No.	1100
Date	12/20/11
Scale	1:1
Author	L1
Checked	0
Drawn	0



THIS IS SCHEDULE 'B' OF  
DEVELOPMENT PERMIT NO. 06/2011

CORPORATE OFFICER

**eckford + associates**  
landscape architecture

32115 Esquimalt Road, Esquimalt, BC V8W 2Y8  
Tel: 250-218-4333 Fax: 250-218-4334

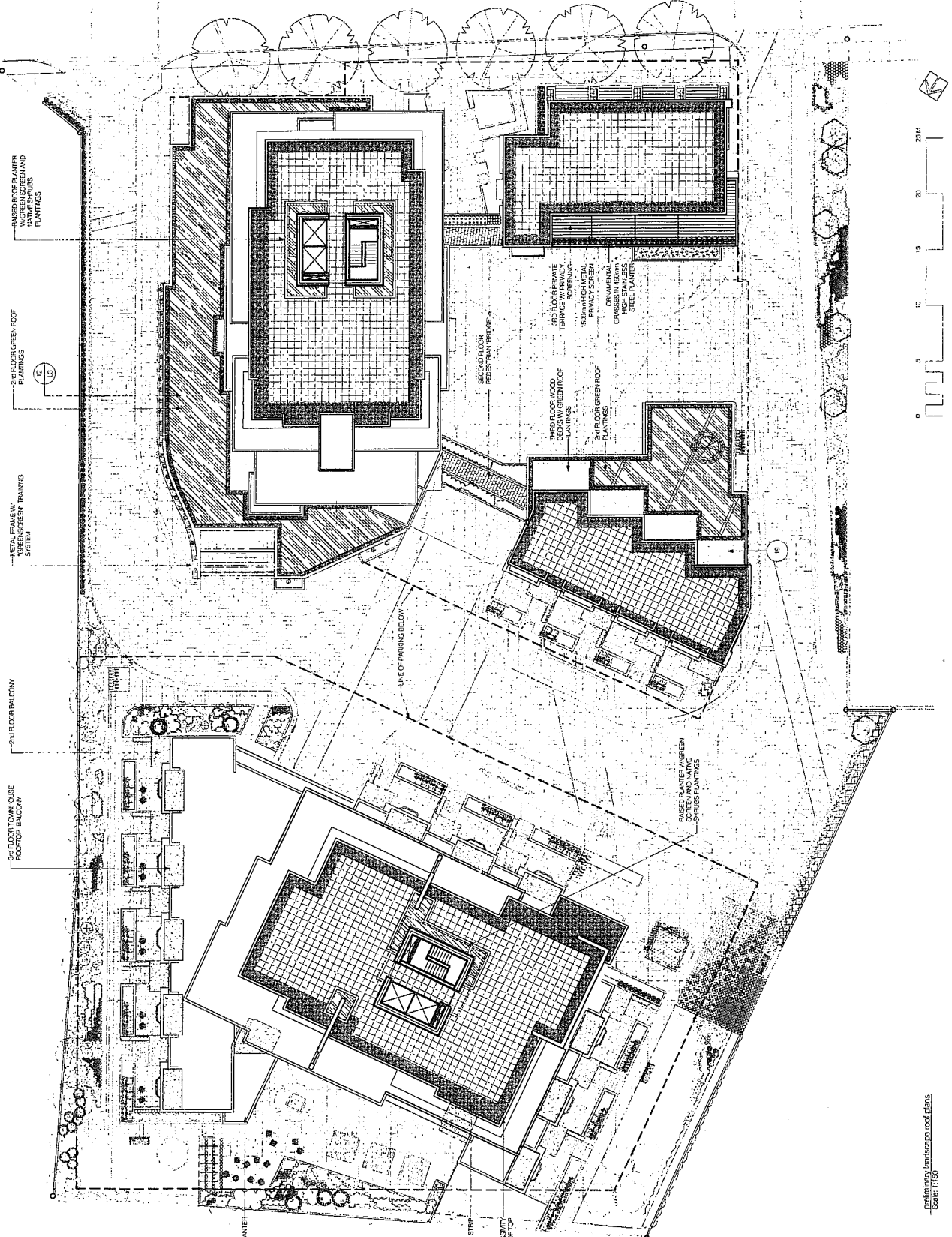
No. 1010 Project Name: Esquimalt Community Centre  
1 09/11/11 Project: Esquimalt Community Centre  
2 10/11/11 Project: Esquimalt Community Centre

RECEIVED  
OCT 05 2011  
CORPORATION OF TOWNSHIP OF ESQUIMALT  
DEVELOPMENT & ENGINEERING SERVICES

Project Name: Esquimalt Community Centre  
Project No: 1010  
Project: Esquimalt Community Centre

856 Esquimalt Rd  
Esquimalt, BC  
V8W 2Y8  
856 Esquimalt Rd  
Esquimalt, BC

No.	Date	Author
1	09/11/11	Project Manager
2	10/11/11	Project Manager

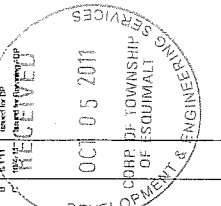


THIS IS SCHEDULE 'B' OF  
DEVELOPMENT PERMIT NO 06/2011

Preliminary landscape site plan  
Scale: 1:500

No.	Date	Revision Notes
1	8/27/11	Revised per the City Comments
2	8/27/11	Revised per the City Comments

NO. 10001  
DATE: 8/27/11  
PROJECT: 11111  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: AS SHOWN

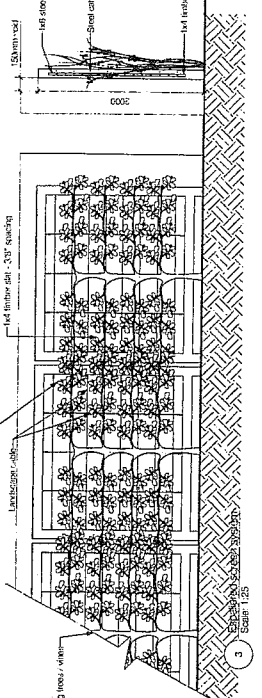
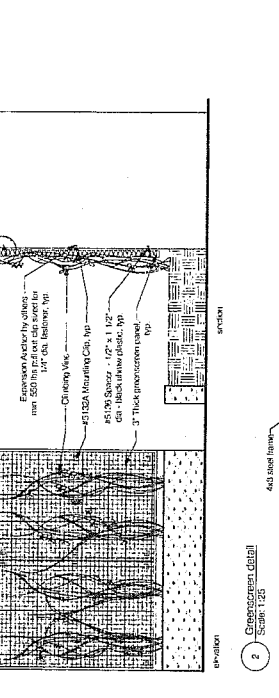
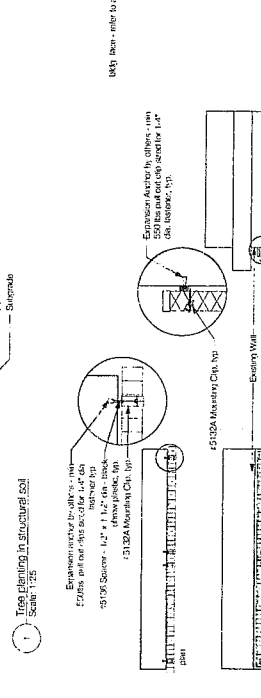
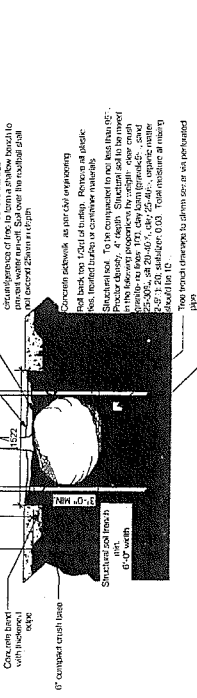
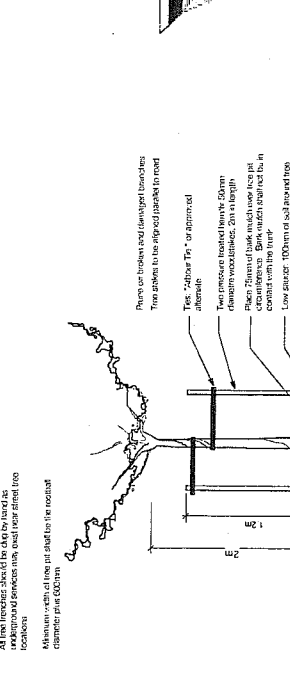
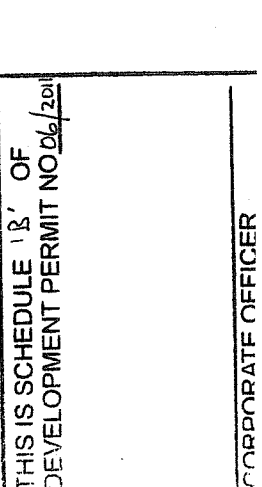
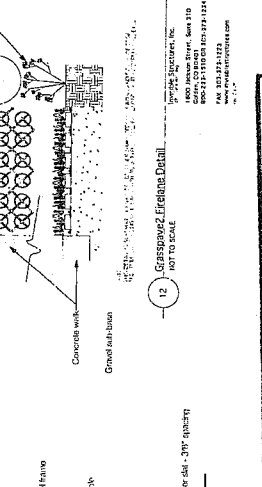
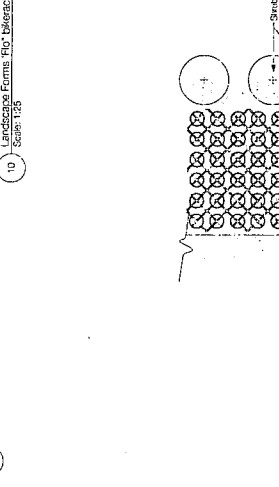
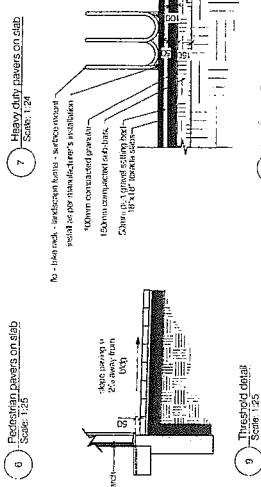
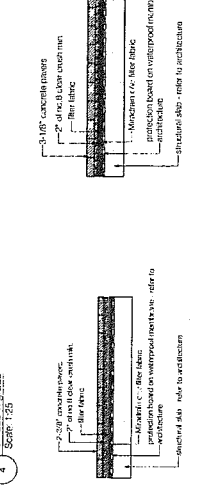
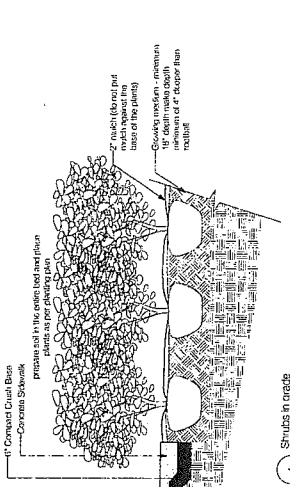
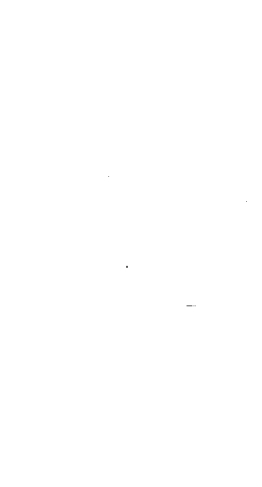
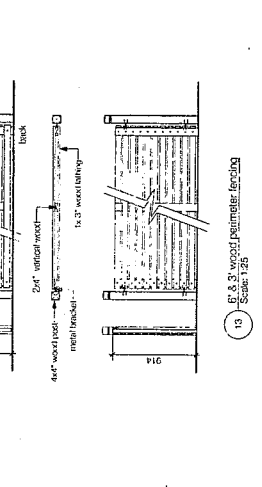
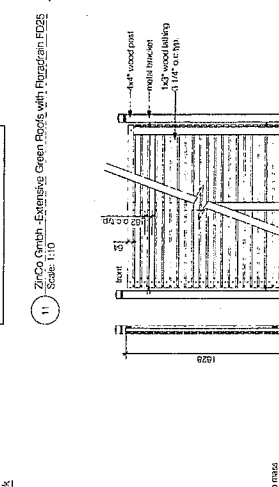
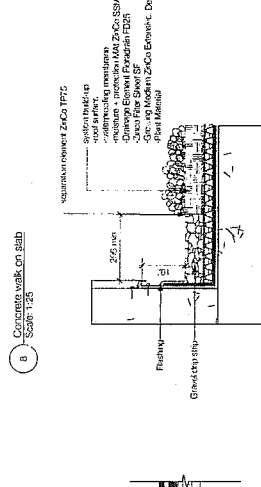
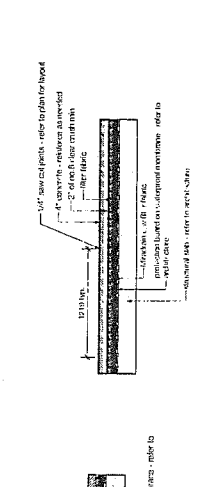
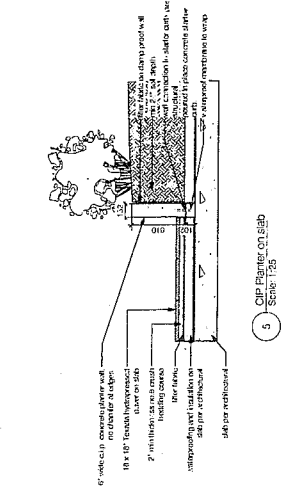


856 Esquimalt Rd  
Esquimalt, BC  
Landscape Details

No.	Date	Revision Notes
1	8/27/11	Revised per the City Comments
2	8/27/11	Revised per the City Comments

No.	Date	Revision Notes
1	8/27/11	Revised per the City Comments
2	8/27/11	Revised per the City Comments

No.	Date	Revision Notes
1	8/27/11	Revised per the City Comments
2	8/27/11	Revised per the City Comments







## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Website: [www.esquimalt.ca](http://www.esquimalt.ca) Email: [info@esquimalt.ca](mailto:info@esquimalt.ca)

Voice: (250) 414-7100  
Fax: (250) 414-7111

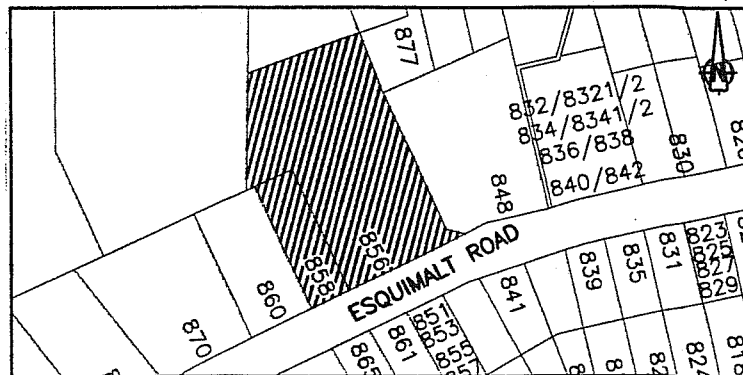
October 21, 2011

# NOTICE OF PUBLIC HEARING

An application for a change in zoning and a development permit has been received from Esquimalt Holdings Corp., Inc. No. 600168, the registered owner of both 856 Esquimalt Road and 858 Esquimalt Road. The applicant intends to remove the existing buildings and construct one, 88 unit tower with a height of 36 metres which would include approximately 934m<sup>2</sup> of commercial space, and one, 80 unit residential tower with a height of 36 metres.

### Purpose of the Application:

Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 provides for a change in the zoning designation of 856 Esquimalt Road [Lot A, Section 11, Esquimalt District, Plan VIP80973] and 858 Esquimalt Road [Lot 2, Section 11, Esquimalt District, Plan 23904] shown hatched on the map below from C-6 [Licensed Liquor Establishment] and C-2 [Neighbourhood Commercial], respectively, to CD No. 80 [Comprehensive Development District No. 80].



**Site Location:** Lot A, Section 11, Esquimalt District, Plan VIP80973 [856 Esquimalt Road]  
Lot 2, Section 11, Esquimalt District, Plan 23904 [858 Esquimalt Road]

The general purpose of this change in zoning is to facilitate redevelopment of the subject properties as two, 12 storey, multiple family residential towers, including commercial retail units at the grade level in the southern building.

The subject properties are part of Development Permit Area No. 2 - Commercial. Should the proposed amendment be approved, a development permit, controlling the form and character of development, including the landscaping, would be registered on the property titles.

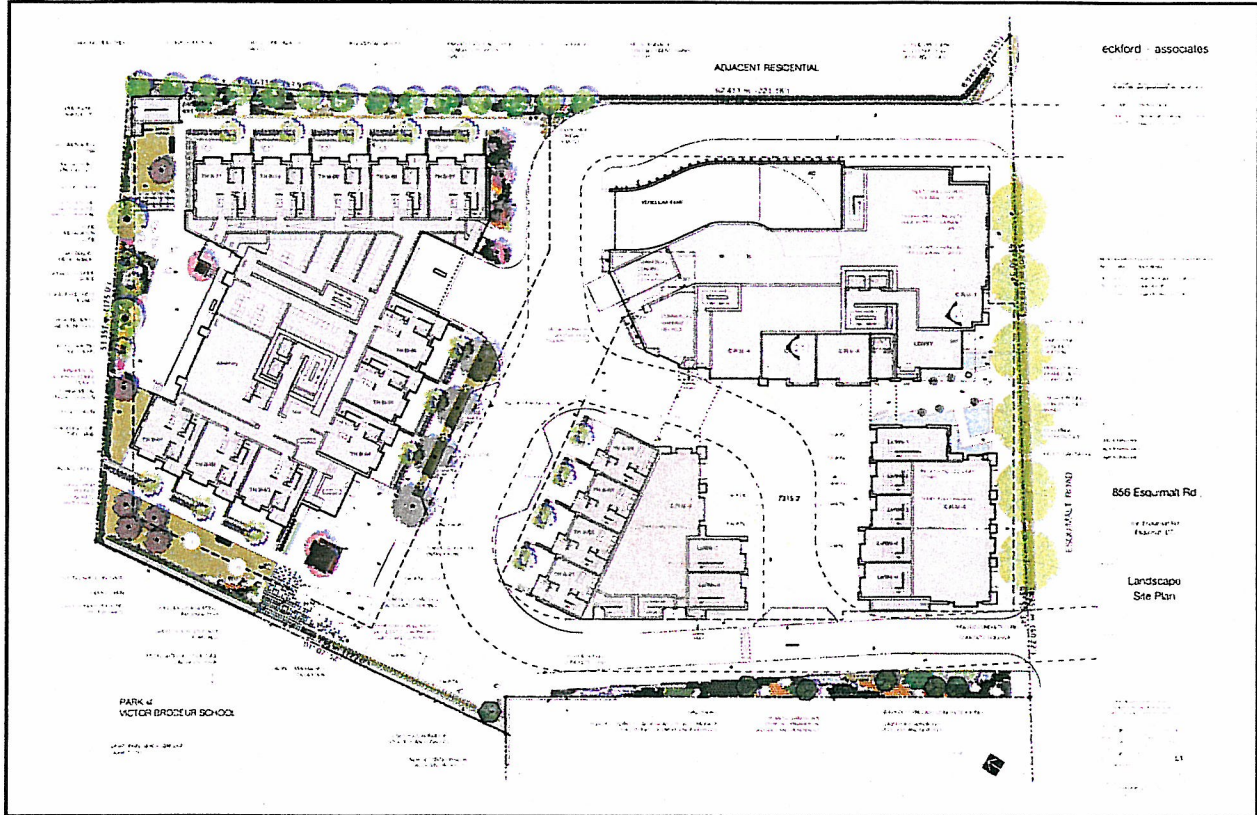
The Municipal Council will consider this application at 7:00 p.m., Monday, November 7, 2011, in the Council Chambers, Esquimalt Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. Affected persons may make representations to Council at that time or submit a written submission prior to that date.

"Please turn over"

Information related to this application may be reviewed at the Development Services counter, Municipal Hall, 1229 Esquimalt Road, from 8:30 a.m. until 4:30 p.m., Monday to Friday (excluding Saturdays, Sundays, Statutory Holidays) until November 7, 2011.

BARBARA SNYDER  
DIRECTOR OF DEVELOPMENT SERVICES

**856/858 Esquimalt Road – Landscape Site Plan**





# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

VICTORIA NEWS  
WEDNESDAY  
NOVEMBER 2, 2011

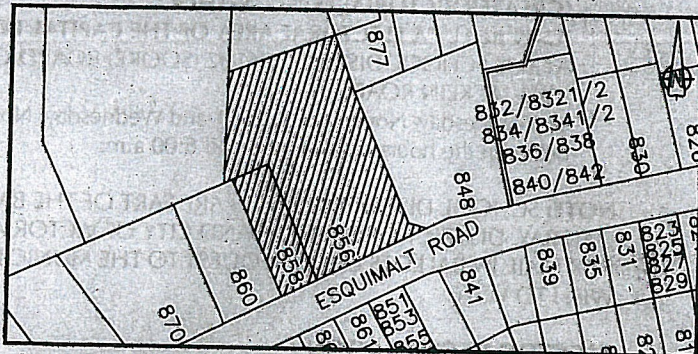
VICTORIA NEWS  
WEDNESDAY  
OCTOBER 26, 2011

## NOTICE OF PUBLIC HEARING

**TAKE NOTICE THAT A PUBLIC HEARING** will be held on Monday, November 7, 2011 at 7:00 p.m. in the Council Chambers, Esquimalt Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C., to allow the Public to make representations to the Municipal Council respecting matters contained in the following amending bylaw:

**Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No.205], 2011, No. 2772**

Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 205], 2011, No. 2772 provides for a change in the zoning designation of 856 Esquimalt Road [Lot A, Section 11, Esquimalt District, Plan VIP80973] and 858 Esquimalt Road [Lot 2, Section 11, Esquimalt District, Plan 23904] shown hatched on the map below from C-6 [Licensed Liquor Establishment] and C-2 [Neighbourhood Commercial], respectively, to CD No. 80 [Comprehensive Development District No. 80].



**Site Location:** Lot A, Section 11, Esquimalt District, Plan VIP80973  
[856 Esquimalt Road]  
Lot 2, Section 11, Esquimalt District, Plan 23904  
[858 Esquimalt Road]

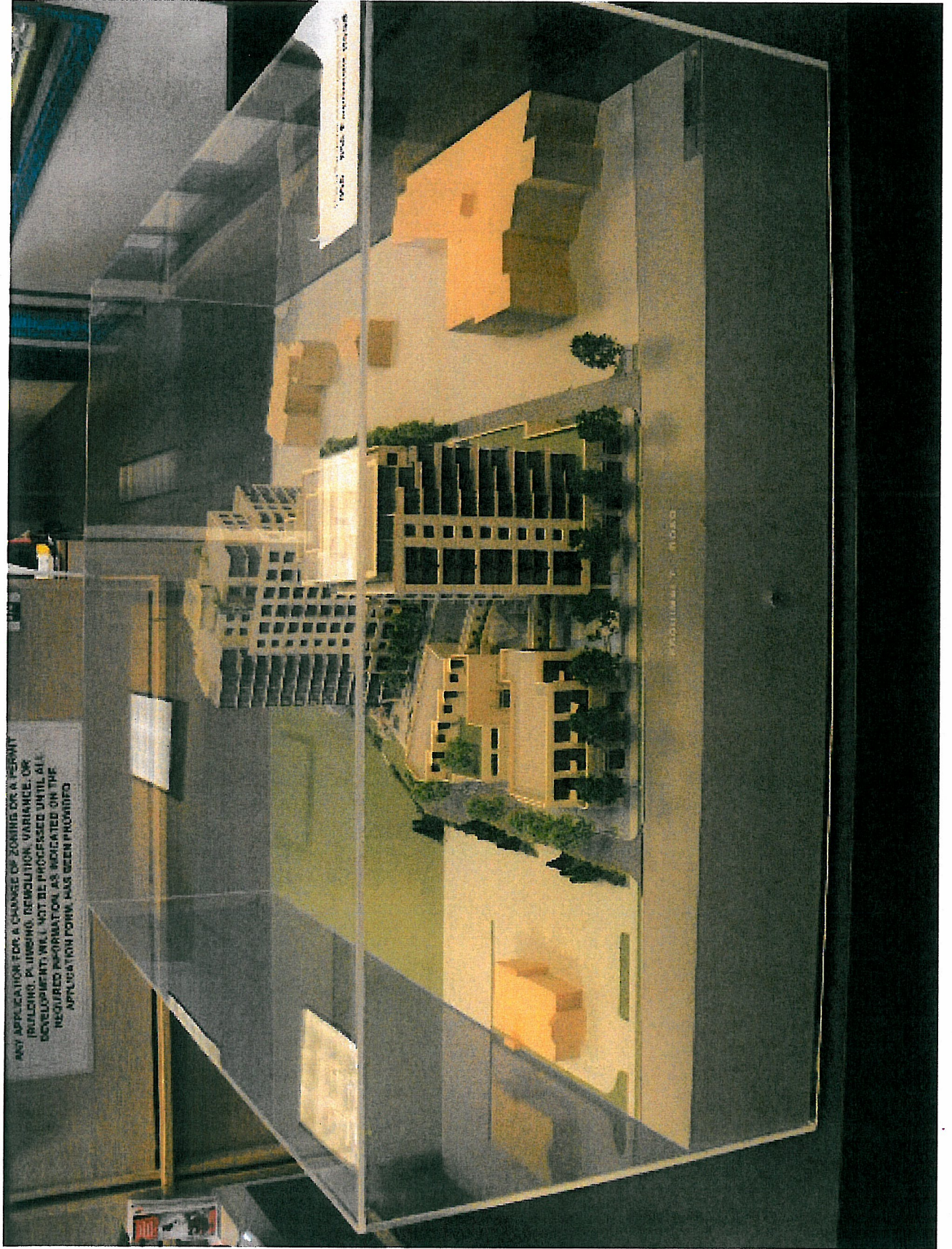
The general purpose of this change in zoning is to facilitate redevelopment of the subject properties as two, 12 storey, multiple family residential towers, including commercial retail units at the grade level in the southern building.

The subject properties are part of Development Permit Area No. 2 - Commercial. Should the proposed amendment be approved, a development permit, controlling the form and character of development, including the landscaping, would be registered on the property titles.

**AND FURTHERMORE TAKE NOTICE** that copies of the proposed Bylaw and relevant background documents may be inspected at the offices of Development Services, Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C., anytime between the hours of 8:30 a.m. and 4:30 p.m. [excluding Saturdays, Sundays and Statutory Holidays] until November 7, 2011.

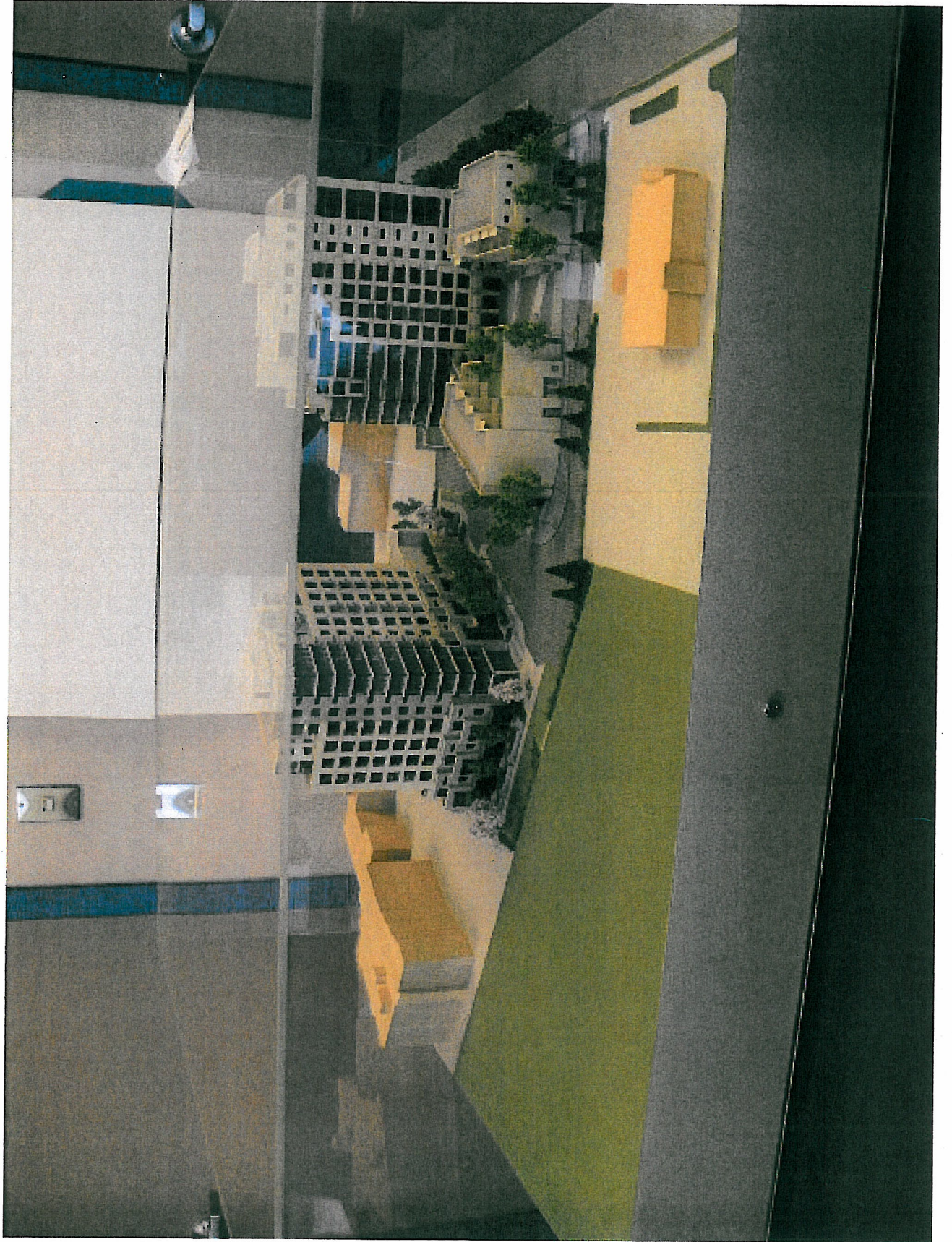
BARBARA SNYDER  
DIRECTOR OF DEVELOPMENT SERVICES

Model – South Elevation – Esquimalt Road

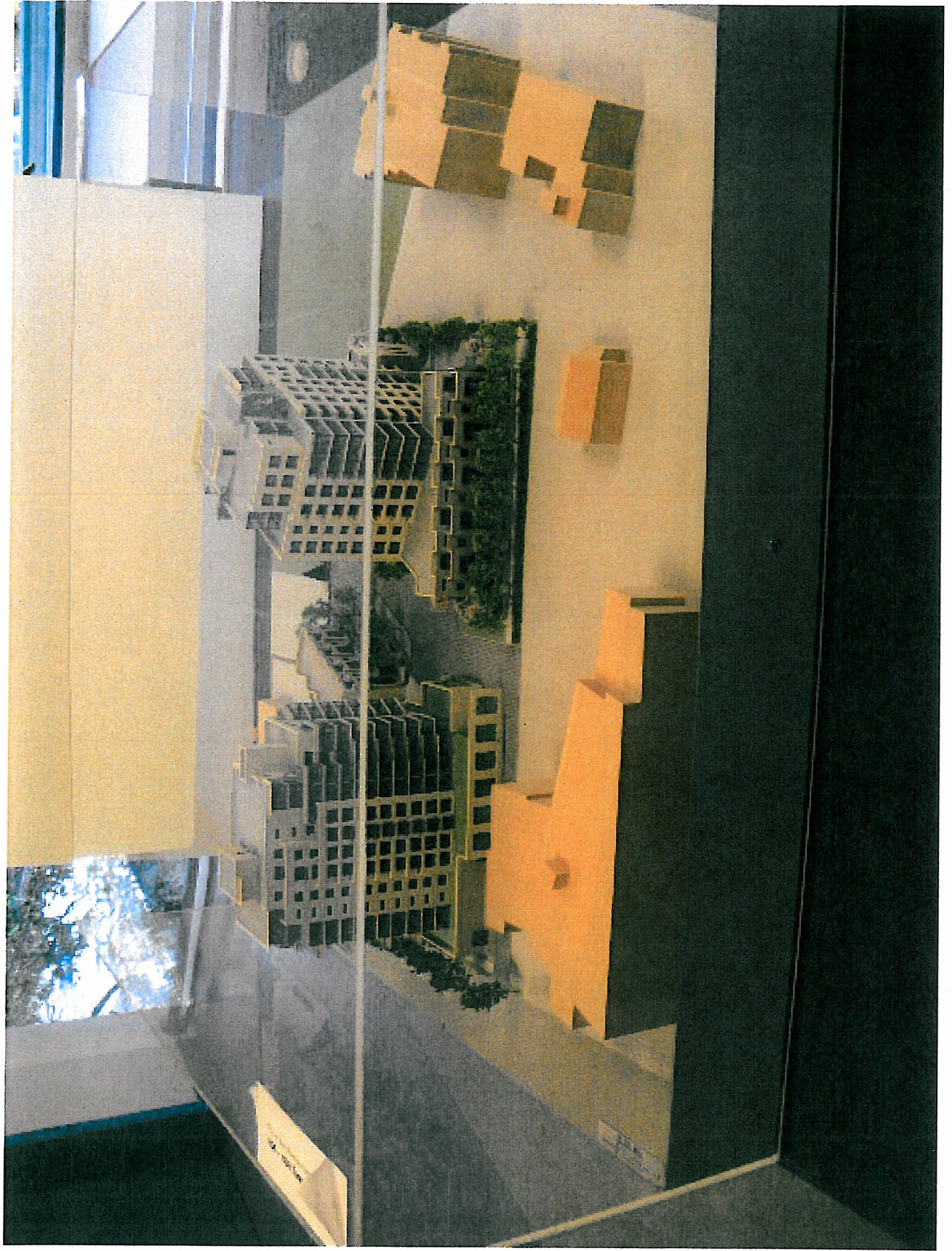




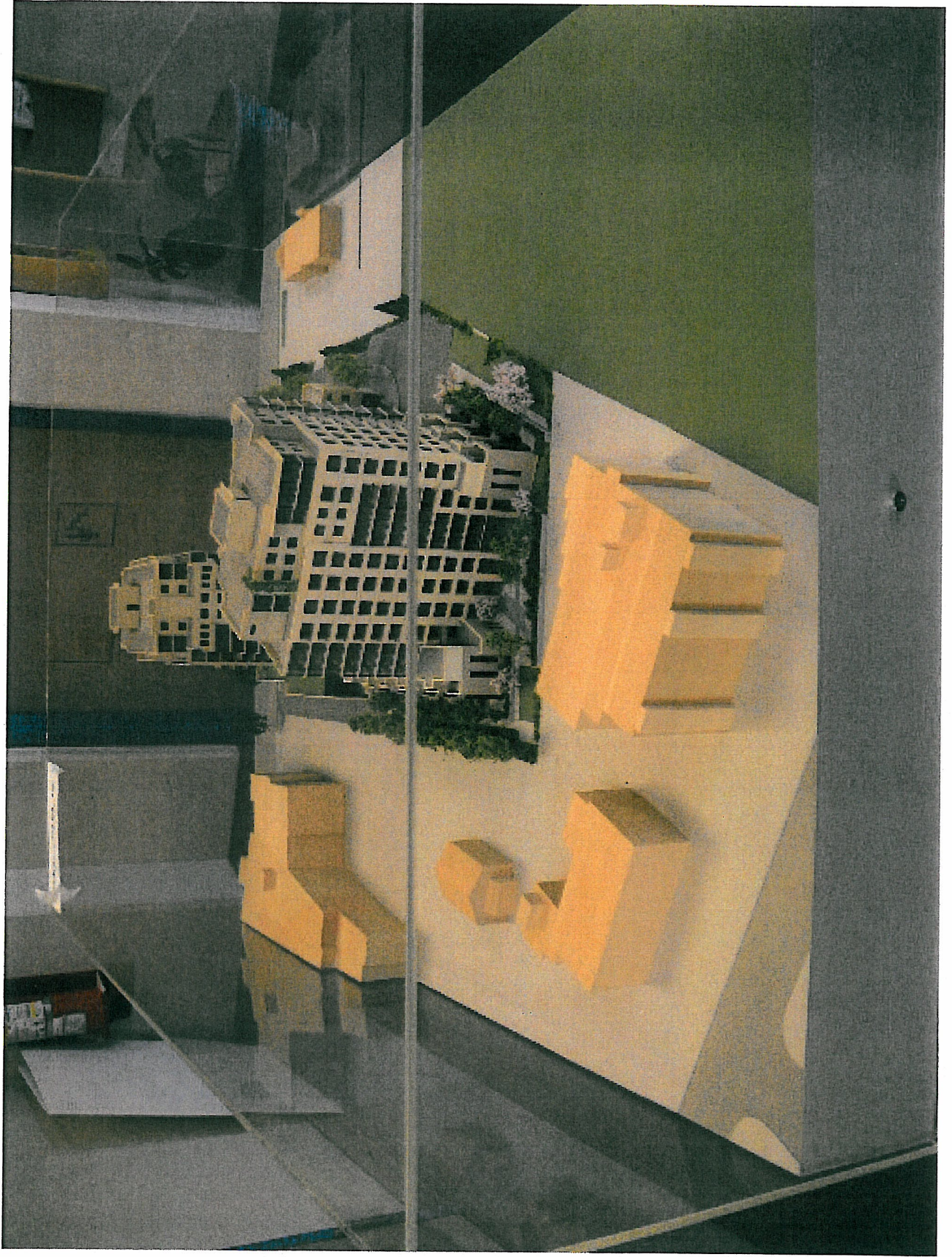
Model – West Elevation



Model – East Elevation



Model – North Elevation



OLD ESQUIMALT ROAD

901

885

881

877

855

851

849



848

ESQUIMALT ROAD

860

858

856

841

870

865

861

851  
853  
855  
857

880

873

846

844

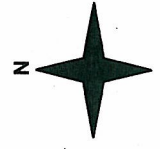
879


891

72

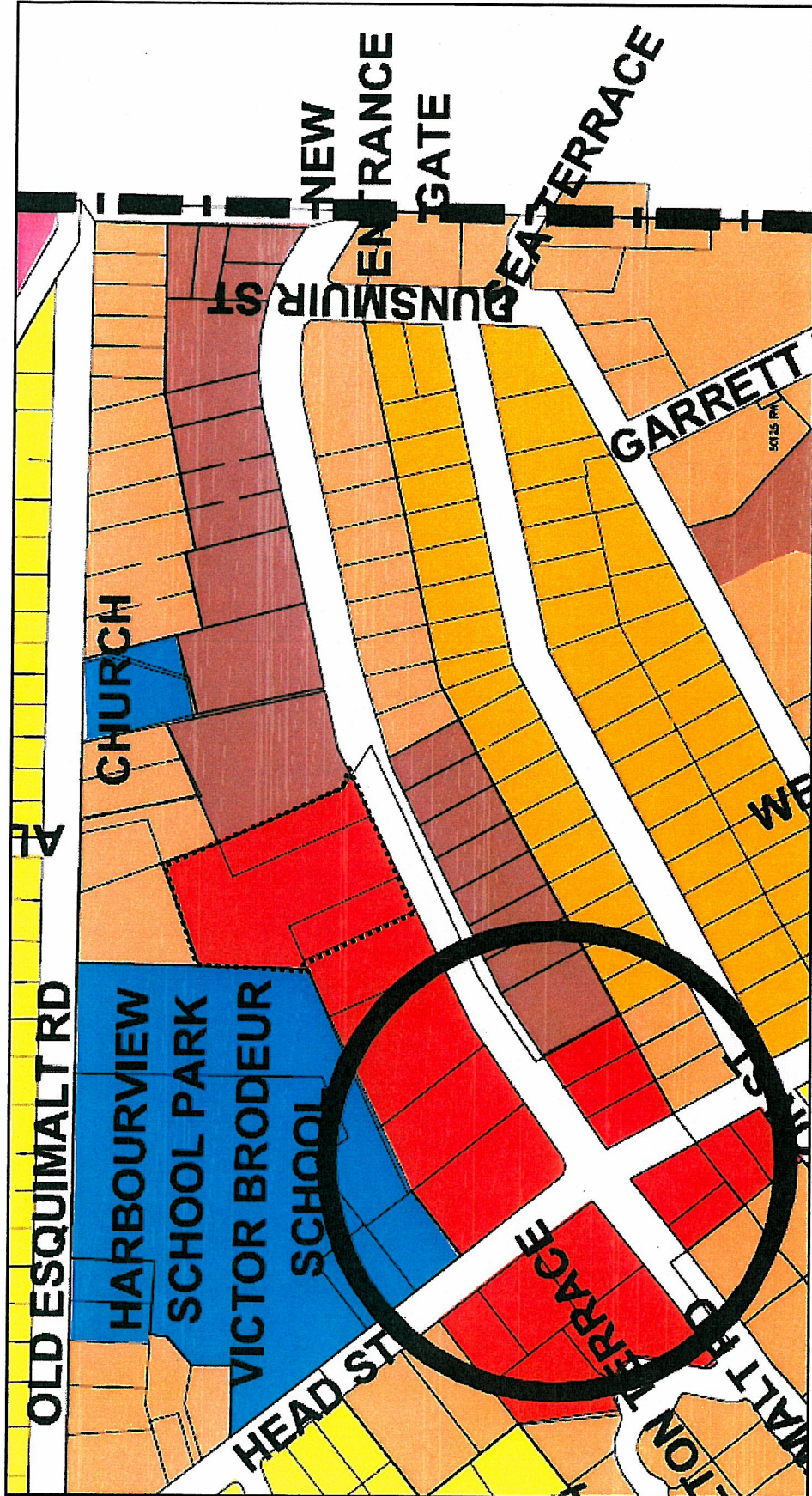
**SUBJECT PROPERTY MAP  
856/858 ESQUIMALT ROAD**

**856 and 858 Esquimalt Road**



Subject Property Boundary: 

Extract from Official Community Plan Bylaw No. 2646 Schedule 'A'  
Land Use Designations



Subject Property: .....

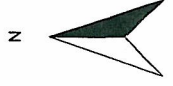
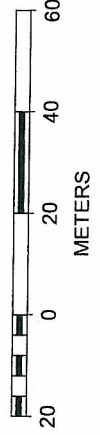
**LEGEND**

Single and Two-Unit Residential	Industrial
Townhouse Residential	Commercial Mixed-Use
Multi-Unit, Low-Rise Residential (up to four storeys)	Commercial Node
Multi-Unit, High-Rise Residential (five+ storeys)	Community Node
Flats/Condo Residential	Insti-Cultural
Parks and Open Space	DND Federal Land
Trails (related to adjacent)	Water Area
Transportation Corridor	Municipal Boundary

# 8566/ 8558 Esquimalt Road - Zoning Map



SCALE 1 : 1,500



## **2.3 Commercial—Mixed Land Use**

Commercial activity in Esquimalt is clustered in four main groupings:

- Esquimalt Village;
- Esquimalt Road/Head Street;
- Craigflower Road/Tillicum Road; and
- West Bay Harbour.

### **2.3.1 General Commercial - Mixed Use Objectives**

- a) To create a diversified commercial and employment sector that provides a wide range of goods and services to residents of Esquimalt.
- b) To foster the creation of an identifiable and vibrant Esquimalt Village that successfully integrates commercial, public and residential activity.
- c) To encourage growth through revitalization and redevelopment of commercial areas.
- d) To encourage a mix of ground-level commercial and upper-level(s) residential.

### **2.3.2 General Commercial - Mixed Use Policies**

- a) The Township encourages a mix of commercial and multi-unit residential developments in all commercial-mixed use areas denoted on "Schedule A". These will have commercial uses on the ground floor and residential uses above.
- b) All commercial-mixed use areas are designated Development Permit Areas, as shown on "Schedule C" in order to ensure that future development and infill contributes positively to the visual and aesthetic character of its site, setting and surrounding properties.
- c) The Township encourages public and private sector initiatives to improve streetscapes and accessibility for pedestrians and cyclists to all commercial areas.
- d) The Township will develop signage guidelines for each commercial area, as part of design guidelines for these areas. The Township, in partnership with interested members of the community, will take the initiative to design and install entrance signage at key street locations, including entrances to Esquimalt.
- e) The Township encourages the provision of amenities such as mini-parks/plazas, street furniture, public art and decorative lighting on private lands in all commercial areas. The Township is amenable to using density bonusing, or providing variances to zoning or parking regulations for redevelopment proposals.
- f) To encourage the use of bicycles, provision should be made in new commercial buildings for bicycle parking for employees and visitors. Secure bicycle parking for employees should be provided in the ratio of one (1) parking space per ten (10) full-time employees with a minimum of one (1) space for each new building. In all new commercial buildings, six (6) bicycle parking spaces should be available for the use of temporary visitors.
- g) End of trip facilities for cyclists such as secure bicycle parking/storage, lockers, change rooms and showers, should be provided to encourage cycling as a viable form of transportation.



- h) Where all of the following criteria are met in a commercial building, Council may reduce the off-street parking requirement through the Development Permit:
  - i) Two (2) or more secure bicycle storage spaces are provided;
  - ii) Shower and change rooms are provided;
  - iii) Six (6) visitor bicycle parking spaces are provided; and
  - iv) The building is located within 200 metres of a regional bus route.
- i) Lands outside the Commercial–Mixed Use designation on “Schedule A” will not be considered for commercial zoning unless the following criteria are met:
  - i) The project is needed to serve tourists or local residents and cannot be appropriately located within established commercial areas;
  - ii) The density and scale of the project is sensitive to the prevailing character of surrounding lands;
  - iii) The project, through its exterior finishes enhances the aesthetics of the neighbourhood;
  - iv) The project’s parking requirements can be satisfied on-site and will not unduly affect neighbouring residences; and
  - v) The proponent demonstrates that the neighbourhood has been consulted and residents have had an opportunity to express their concerns.

**[Amendment Bylaw [No. 6], 2010, No. 2730 - Adopted May 25, 2010]**

- j) In mixed commercial and multi-unit residential developments, buildings up to 12 storeys in height and with a floor area ratio of up to 3.0 for the residential portion of the building may be acceptable.
- K) Development proposals with heights and/or densities greater than those set out in Section 2.3.2 (j) may be considered, where appropriate, through variances to zoning and/or parking regulations and density bonusing of floor space where new commercial buildings provide affordable, accessible, or special needs housing units or amenities for the benefit of the community.

## 9.4 Development Permit Area No. 2 – Commercial

### 9.4.1 Scope

All lands designated Commercial on Schedule “C” are part of DPA No. 2.

### 9.4.2 Category

Section 919(1)(f) of the *Local Government Act* – form and character, commercial.

### 9.4.3 Justification

Traditionally, Esquimalt’s commercial areas have not been developed on the basis of a particular theme or concept. The design and form of commercial development has been rather haphazard and, as a result, the Esquimalt Village and other local commercial areas do not have the cohesiveness nor the attractiveness they could have.

When asked in a recent questionnaire to identify what they disliked most about Esquimalt, an overwhelming number of respondents identified the lack of a downtown commercial area, with appropriate shops and services, and the appearance of Esquimalt Road in the village core.

Where new development is to occur within Esquimalt’s commercial core, that development should add to the pedestrian appeal and overall appearance of the street through features such as easily accessible entrances, street furniture and public art, landscaping and attractive exterior finishing materials, and by their orientation to the street rather than to a parking lot or internal square.

The goals for Development Permit Area No. 2 are:

- a) to enhance the aesthetic image of Esquimalt’s commercial district, particularly those areas that are considered community focal points, such as the Village, the Head Street/Esquimalt Road intersection and major entrance points to the municipality;
- b) to revitalize existing commercial areas by encouraging a variety of businesses;
- c) to encourage growth in the tax base through diversified commercial development and redevelopment of existing commercial areas; and
- d) to encourage integrated residential/institutional/commercial uses in commercial areas.

### 9.4.4 Requirements of Owners of Land within the Development Permit Area

- a) Owners of land within Development Permit Area No. 2 must not do any of the following without first obtaining a development Permit in accordance with the guidelines for this Development Permit Area:
  - i) subdivide lands; or
  - ii) construct or alter a building or structure;without first obtaining a Development Permit in accordance with the guidelines of this Development Permit Area.
- b) Exemptions:

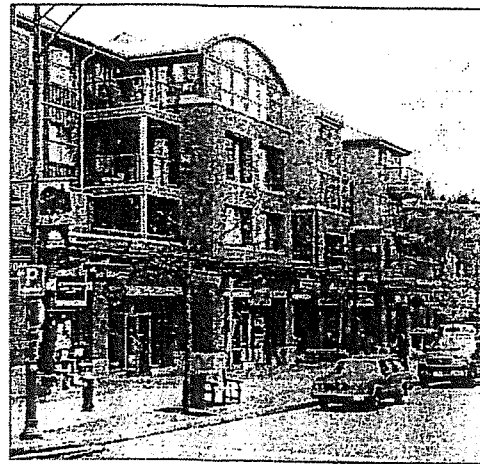
The following do not require a development permit:

  - i) construction of buildings or structures less than 10 square metres in area;

- ii) minor additions to existing structures where the floor area of the addition does not exceed 10 percent of the ground floor area of the structure;
- iii) emergency repairs to existing structures and public walkways where a potential safety hazard exists;
- iv) fences;
- v) the cutting of trees as permitted by the municipal tree protection bylaw; and
- vi) replacement or changing of existing signs, provided the sign area is not to be increased.

#### 9.4.5 Guidelines for Owners of Land within the Development Permit Area

- a) Commercial building facades should be appropriate to a pedestrian shopping area with windows facing the street and doors opening onto the street rather than onto a courtyard or laneway. (See image)
- b) Ornamental lighting that not only highlights the building but also increases the amount of light falling onto pedestrian areas should be used wherever possible. However, commercial lighting should not create unnecessary glare or shine directly into neighbouring residential properties.
- c) Buildings should be designed and sited to minimize the creation of shadows on public spaces.
- d) Where possible, weather protection (i.e. awnings and canopies) should be provided above all pedestrian walkways including walkways to on-site parking areas.
- e) Off-street parking areas should be located either at the rear of commercial buildings or underground. Surface parking should be screened with landscaping. Large parking areas should contain additional islands of landscaping.
- f) The design of new commercial buildings, including areas use for parking, should incorporate Crime Prevention through Environmental Design (CPTED) principles.
- g) Buildings may be located at the front property line in order to create a pedestrian-oriented environment, except where vehicle visibility is affected and on those streets that have been identified as requiring future road widening.
- h) Landscape screening and fencing should be located around outdoor storage areas and garbage and recycling receptacles.
- i) Retention and protection of trees and the natural habitat is encouraged wherever possible.



August 8, 2011

SENT BY E-MAIL

Trevor Parkes  
Senior Planner  
Development Services  
Township of Esquimalt  
Esquimalt, BC



Dear Trevor,

**Re: Esquimalt Inn Development; Outstanding Issues**

Please accept this letter as the applicant's formal response to your correspondence sent Friday July 22, 2011. In that correspondence (e-mail) you note several items and request further information. Below we have provided material for the township's considerations addressing each of these points.

Traffic

The first issue you enumerate concerns Bunt & Associates and it is my understanding that this further work has been concluded by them and submitted for your review.

The second issue with respect to traffic is the common access agreement with A&W property's ownership. Please note that at this time a Memorandum of Understanding (MOU) (attached hereto as Schedule 1) is in the possession of the owners of that parcel and we feel confident that an agreement will be completed forthwith.

Committee of the Whole (COTW) Meeting Issues

Please find attached a summary of Green Features and more thorough responses to items enumerated on the township's green checklist, to the best of our ability. It is important to note that green initiatives continue to become an embedded part of modern development permit applications. Methods of building, design and architecture are green in their conceptualization. This often has the effect of providing fewer green talking points but achieving meaningful green objectives. It is worth noting that considerations such as recessed balconies, proper window design and location, all aggregate to have a marked effect on energy consumption and passive solar energy reliance.

These homes are being designed to complement the growing understanding that we need communities designed for people to age in place, to have access to their home in any condition, including wheelchair access to every room without exorbitant renovation.

The COTW inquired as to whether, at this juncture, transit passes and/or a Car Share program had been considered. At the COTW we responded that it was premature to comment on such a program, but that in concept we were certainly in favour, both from a green initiative perspective and a marketing perspective.

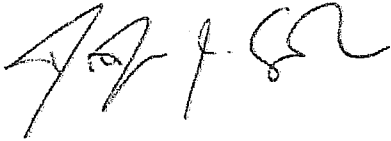
At this time we are happy to take the position that we will include transit passes for unit holders as a part of strata fees in the original bylaws. In order for transit passes to be a continual program at our development it would need to be an ascribed cost and part of the strata fees. Inasmuch as we can draft the original strata bylaws and budget it will be in the hands of strata-owners to determine whether this expense is one they wish to perpetuate as owners of the development going forward.

Lastly, the mention of public art by the Mayor at the COTW provided an excellent opportunity for us to reflect on this suggestion and come up with a way we could provide answer and create interest. Presently it is the intention of the applicant to have a contest, establishing a panel of judges to determine the winning entry, for a single piece of sculpture to be displayed near the "breezeway" along Esquimalt Road.

This piece of public art will need to be a tasteful embodiment of the development's overall themes of pedestrian-friendly, piazza-style public space and our site's unique heritage as an Inn once sitting atop a spring. These themes have been carried through the initial design of landscape architecture as submitted and will be continued through each step of the design process. The precise criteria for entrants will be determined in advance by the panel.

We look forward to speaking to the public about this wonderful development application soon. Thank you for all your assistance and if there are any questions or points of clarification please do not hesitate to contact the undersigned at your convenience.

Yours truly,



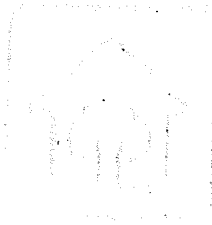
Brandon J. Smith, LLB

*Applicant's Representative*

cc. client



Township of  
**ESQUIMALT**



**GREEN BUILDING  
CHECKLIST**

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of Green Technologies in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

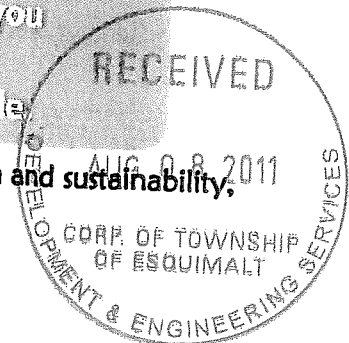
There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project.

As you review this checklist, if you have any questions please contact Development Services at 250.414.7108 for clarification.

New development is essential to Esquimalt.  
We look forward to working with you  
to ensure that development is  
as green and sustainable as possible.

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt



Adopted on January 10th, 2011

“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”

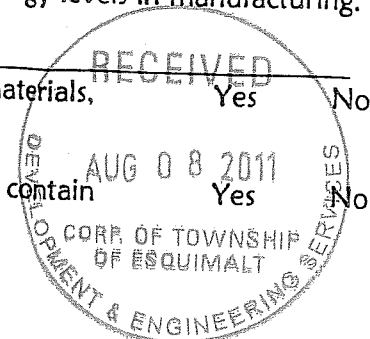
[Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

### Green Building Standards

*Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.*

- 1 Are you building to a recognized green building standard? Yes No  
If yes, to what program and level?
- 2 If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features? Yes No
- 3 Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? Yes No  
If so, please describe them.
- 4 What percentage of the existing building[s], if any, will be incorporated into the new building? \_\_\_\_\_ %
- 5 Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.
- 6 Have you considered advanced framing techniques to help reduce construction costs and increase energy savings? Yes No
- 7 Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? \_\_\_\_\_  
For which parts of the building (e.g. framing, roof, sheathing etc.)? \_\_\_\_\_
- 8 Can alternatives to Chlorofluorocarbon’s and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. Yes No \_\_\_\_\_
- 9 List any products you are proposing that are produced using lower energy levels in manufacturing.
- 10 Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]? Yes No
- 11 Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde? Yes No



## Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

### Indoor Water Fixtures

- |    |  |     |    |
|----|--|-----|----|
| 12 | Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs? | Yes | No |
| 13 | For commercial buildings, do flushes for urinals exceed BC Building Code requirements?                               | Yes | No |
| 14 | Does your project use dual flush toilets and do these exceed the BC Building Code requirements?                      | Yes | No |
| 15 | Does your project exceed the BC Building Code requirements for maximum flow rates for private showers?               | Yes | No |
| 16 | Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?          | Yes | No |

### Storm Water

- |    |  |     |    |     |
|----|--|-----|----|-----|
| 17 | If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.] | Yes | No | N/A |
| 18 | Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?  | Yes | No | N/A |
| 19 | Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. _____  | Yes | No | N/A |
| 20 | Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?  | Yes | No | N/A |
| 21 | Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____   | Yes | No | N/A |
| 22 | Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?  | Yes | No | N/A |
| 23 | What percentage of the site will be maintained as naturally permeable surfaces? _____ %  |     |    |     |

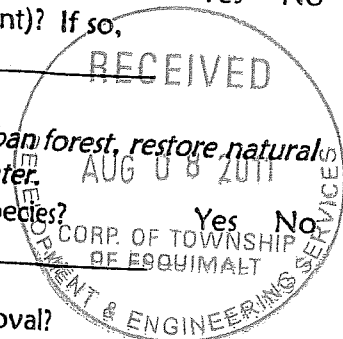
### Waste water

- |    |  |     |    |     |
|----|--|-----|----|-----|
| 24 | For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____ | Yes | No | N/A |
|----|--|-----|----|-----|

### Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

- |    |  |     |    |     |
|----|--|-----|----|-----|
| 25 | Are any healthy trees being removed? If so, how many and what species? _____ | Yes | No | N/A |
|    | Could your site design be altered to save these trees?                       |     |    |     |
|    | Have you consulted with our Parks Department regarding their removal?        |     |    |     |



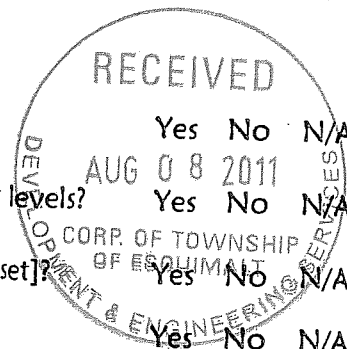


- 26 Will this project add new trees to the site and increase our urban forest?  
If so, how many and what species? \_\_\_\_\_ Yes No N/A
- 27 Are trees [existing or new] being used to provide shade in summer or to buffer winds? Yes No N/A
- 28 Will any existing native vegetation on this site be protected?  
If so, please describe where and how. \_\_\_\_\_ Yes No N/A
- 29 Will new landscaped areas incorporate any plant species native to southern Vancouver Island? Yes No N/A
- 30 Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas? Yes No N/A
- 31 Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)? Yes No N/A
- 32 Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? Yes No N/A
- 33 Will topsoil will be protected and reused on the site? Yes No N/A

### Energy Efficiency

*Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.*

- 34 Will the building design be certified by an independent energy auditor/analyst?  
If so, what will the rating be? \_\_\_\_\_ Yes No N/A
- 35 Have you considered passive solar design principles for space heating and cooling or planned for natural daylighting? Yes No N/A
- 36 Does the design and siting of buildings maximize exposure to natural light?  
What percentage of interior spaces will be illuminated by sunlight? \_\_\_\_\_ % Yes No N/A
- 37 Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.).  
If so, please describe. \_\_\_\_\_  
If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? \_\_\_\_\_ Yes No N/A
- 38 Has the building been designed to be solar ready? Yes No N/A
- 39 Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity? Yes No N/A
- 40 Do windows exceed the BC Building Code heat transfer coefficient standards? Yes No N/A
- 41 Are energy efficient appliances being installed in this project?  
If so, please describe. \_\_\_\_\_
- 42 Will high efficiency light fixtures be used in this project?  
If so, please describe. \_\_\_\_\_ Yes No N/A
- 43 Will building occupants have control over thermal, ventilation and light levels? Yes No N/A
- 44 Will outdoor areas have automatic lighting [i.e. motion sensors or time set]? Yes No N/A
- 45 Will underground parking areas have automatic lighting? Yes No N/A



### Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

- 46 Will ventilation systems be protected from contamination during construction and certified clean post construction? Yes No N/A
- 47 Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? Yes No N/A  
If so, please describe. \_\_\_\_\_
- 48 Will the building have windows that occupants can open? Yes No N/A
- 49 Will hard floor surface materials cover more than 75% of the liveable floor area? Yes No N/A
- 50 Will fresh air intakes be located away from air pollution sources? Yes No N/A

### Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

- 51 Will materials be recycled during demolition of existing buildings and structures? Yes No N/A  
If so, please describe. \_\_\_\_\_
- 52 Will materials be recycled during the construction phase? Yes No N/A  
If so, please describe. \_\_\_\_\_
- 53 Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting? Yes No N/A
- 54 For new commercial development, are you providing waste and recycling receptacles for customers? Yes No N/A

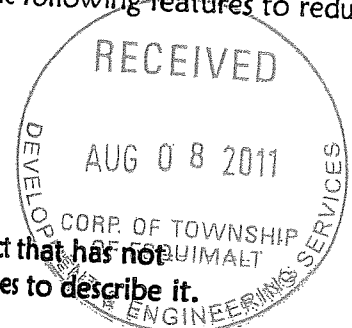
### Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

- 55 Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]? Yes No N/A
- 56 For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses? Yes No N/A
- 57 Is access provided for those with assisted mobility devices? Yes No N/A
- 58 Are accessible bike racks provided for visitors? Yes No N/A
- 59 Are secure covered bicycle parking and dedicated lockers provided for residents or employees? Yes No N/A
- 60 Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]:

- transit passes
- car share memberships
- shared bicycles for short term use
- weather protected bus shelters
- plug-ins for electric vehicles

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.



**Township of Esquimalt  
Green Building Checklist:**

**Question #1**

No- however it is important to note consideration is being given to something called LEED-ND (Leed Neighborhood Development). The project fits many of the criteria for the LEED – ND program, and research was done into this program when we commenced. Unfortunately, LEED-ND was still not recognized in Canada when the application was made. The Canada green Building Council (CGBC) introduced a Canadian Alternative Compliance Path in July of 2011. This project meets many of the goals (transit oriented development; bicycle friendly; accessible; infill project) promoted by LEED –ND. If any LEED designation is pursued, LEED-ND compliance will be sought first, as the project meets so many of the goals and standards set out by CGSB. Attached is a link to the LEED-ND Alternative Compliance Path:

[http://www.cagbc.org/AM/PDF/LEED 2009 ND with Canadian Alternative Compliance Paths DRAFT.PDF](http://www.cagbc.org/AM/PDF/LEED_2009_ND_with_Canadian_Alternative_Compliance_Paths_DRAFT.PDF)

**Question #2**

No. Our architectural team is well versed in Green features and will be incorporating them into our program.

**Question #3**

Yes. Brick and window wall will be rain-screen design. Concrete with high-performance elastomeric paint, recessed windows. Durable interior materials include hardwood flooring (some recycled content) and ceramic tile.

**Question #4**

0%

**Question #5**

Locally manufactured products will be used where possible. The closest IXL brick foundry was unfortunately closed this year after flooding, and a suitable brick will be sought from the manufacturers closest to the site. Local products will be sought where possible and practical.

**Question #6**

Not applicable.

**Question #7**

Not applicable.

**Question #8**

Not yet determined.



**Question #9**

Items that will include recycled content include hardwood flooring, roof materials, conc. pavers, millwork items, drywall.

**Question #10**

Yes. It is anticipated that many interior materials will have recycled content.

**Question #11**

No.

**Question #12**

For questions 12 to 16 please note that no work has yet been done regarding indoor water fixturing.

Yes.

**Question #13**

Yes.

**Question #14**

Yes.

**Question #15**

Yes.

**Question #16**

Yes.

**Question #17**

Not applicable.

**Question #18**

Yes.

**Question #19**

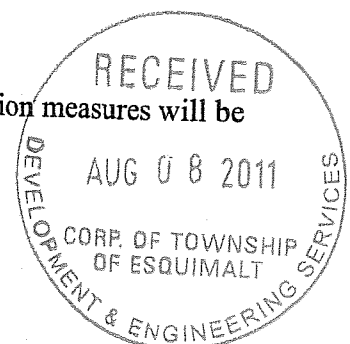
Yes - Storm water will be managed primarily via the use of significant native plantings and permeable pavers in paved areas; rain barrels will be added at strategic locations for additional irrigation use at the landscape.

**Question #20**

See above.

**Question #21**

Yes. Oil interceptors will be used, other pollution collection/ mitigation measures will be considered.



**Question #22**

No – Green Roof system over habitable spaces in a multi-family residential project has insurance implications, and experience has taught that insurers are reluctant to provide the necessary coverage needed for HPO (Home Protection Office) protection. Lack of HPO approval would prohibit occupancy. In lieu of this, to combat ‘urban heat sink’, low-emissivity roof pavers are used over habitable spaces as a green alternative. We also use rooftop planters where practical to do so (over non-habitable spaces, commercial spaces, at elevator penthouse) and also extensive use of green wall systems. The project uses creative alternatives to achieve the same goals as a green roof.

**Question #23**

Approximately 15% of the site at large.

**Question #24**

Integrated Resource Management (IRM) has been discussed; specific measures to be taken have not yet been determined.

**Question #25**

No - Some native shrubs along the property line will be removed and replaced with higher quality plantings. As of yet, we have not been presented with any information that would warrant the preservation on any particular plant species on site.

**Question #26**

Yes - All street trees will conform to Esquimalt standards. We are currently proposing 74 additional trees on site that will greatly enhance the existing condition. (See plant list L4)

**Question #27**

Yes - there are a mix of shade trees in exposed areas as well as coniferous trees to buffer winds.

**Question #28**

Yes, street trees & private areas - There is very little existing vegetation on this particular site. Some species along the perimeter of the site will be removed and replaced with higher quality species.

**Question #29**

Yes - native plants will be utilized wherever possible. Please refer to L4 in the submission package.

**Question #30**

Yes - native drought tolerant species will be utilized when possible.

**Question #31**

Yes - High efficiency irrigation will be installed.



**Question #32**

Yes - All existing vegetation on site will be replaced with higher quality plantings, namely native species where possible.

**Question #33**

No or N/A - The majority of the site is currently paved, therefore, very little topsoil would be present to be retained.

**Question #34**

Not yet determined.

**Question #35**

Yes. Buildings have been planned with a certain amount of passive solar in mind. Most balconies are recessed to keep units cool, and all punched windows are recessed (both solar and weather protection).

**Question #36**

Not yet calculated. Natural sunlight will certainly be a feature of many of the units and a key point in the design.

**Question #37**

'Solar ready' protocols have been signed into legislation by many communities such as the Township of Esquimalt, and apply to one and two bedroom dwellings under the BC Building Code. As this is a large scale development (168 living units plus commercial), the technology required to be solar-ready is somewhat different. Consideration will be given to larger-scale applications to offset part of the energy usage. The Veissman flat plate and vacuum-tube system (Vitosol-200) for larger solar hot water heat is being explored as part of the overall heat/hot water system. There is also an opportunity to offset heating costs with geothermal, but is only recommended as a horizontal circulation pool, eliminating its possibility under the parkades. This will be explored with construction phasing, as the best sites for horizontal circulation are around Tower 'B'.

**Question #38**

See above.

**Question #39**

See above.

**Question #40**

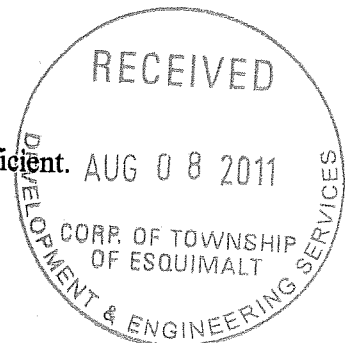
Yes.

**Question #41**

Yes - Energy star appliances will be used.

**Question #42**

Yes. It is anticipated that all common area fixtures will be highly efficient.



**Question #43**

Yes.

**Question #44**

Yes where appropriate (i.e. around townhouses).

**Question #45**

Yes however a minimum lighting level must be maintained by Code. The parkade walls will be painted white to lower the amount of lighting necessary to meet the required Lumens.

**Question #46**

Yes.

**Question #47**

Discussion around the use of low VOC finishes has begun but these features are not yet finalized. Low VOC paint will be specified.

**Question #48**

Yes. All residential units have operable windows.

**Question #49**

Yes – hardwood / ceramic (possible exception in bedrooms) will ensure 75% + hard surface. Carpet unsuitable for wheelchairs and this is a wheelchair friendly design.

**Question #50**

Yes.

**Question #51**

Anything of value in the old building will be removed and retained prior to demolition.

**Question #52**

Construction formwork will be recycled / reused.

**Question #53**

Yes.

**Question #54**

Yes.

**Question #55**

Yes.

**Question #56**

Yes.



**Question #57**

Yes.

**Question #58**

Yes. (more than 2x the bylaw requirement)

**Question #59**

Yes.

**Question #60**

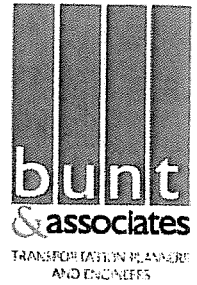
Yes (weather-protection near bus and plug-ins for electric vehicles). See cover letter re potential early strata bylaws and transit passes, etc.

**Last Comments:**

The project has been designed to be wheel-chair friendly throughout, with enhanced accessibility requirements applied. It is also designed with a variety of housing types, and is inspired in part by the 'walkable urban neighbourhood' concept espoused by Christopher Leinberger, an American urbanist and development consultant from the Brookings Institute. The principles espoused are now as noted at the beginning recognized in Canada by LEED under the LEED-ND (Neighborhood Development) category. The greenest features of this project are as much in the planning as in the building, given the proximity to transit, encouragement of alternate means of transport, and ability to age in place.







October 5, 2011

Township of Esquimalt  
3894 Triumph Street  
Burnaby, BC V5C 1Y7

Attn: Township of Esquimalt, c/o Mr. Trevor Parkes

**Re: Esquimalt Inn Mixed Use Development  
Addendum #1 to Transportation Impact Assessment Report**

Dear Trevor:

As you are aware, Bunt & Associates prepared a traffic impact assessment report for the subject development site as part of the rezoning application. Since then, the proposed site access and on-site circulation configuration has changed. Esquimalt staff has requested an updated traffic / site circulation review document to support the revised application.

We have prepared this Addendum to our June 28, 2011 report, to address the proposed site plan changes and any impact to our previous study and findings.

### **Site Plan Changes**

The most significant change is that the site access, previously proposed to be shared with the neighbouring A&W site, will now be relocated on-site and will serve the development independent of any other neighbouring parcels. The current site plan shows a single one-way driveway access at the eastern boundary and the exiting traffic will be via a one-way lane near the western boundary of the site. To maximize on-site circulation, two-way travel will be permitted beyond the driveway points. This scenario is in part intended to provide an opportunity to provide a landscape buffer between the A&W property and the proposed Mixed Use development and to minimize delay for traffic exiting the site.

Additionally, with the proposed one-way access circulation, slight modifications have been made to the location of both the residential and commercial loading areas to ensure good accessibility for large (WB-15) delivery trucks.

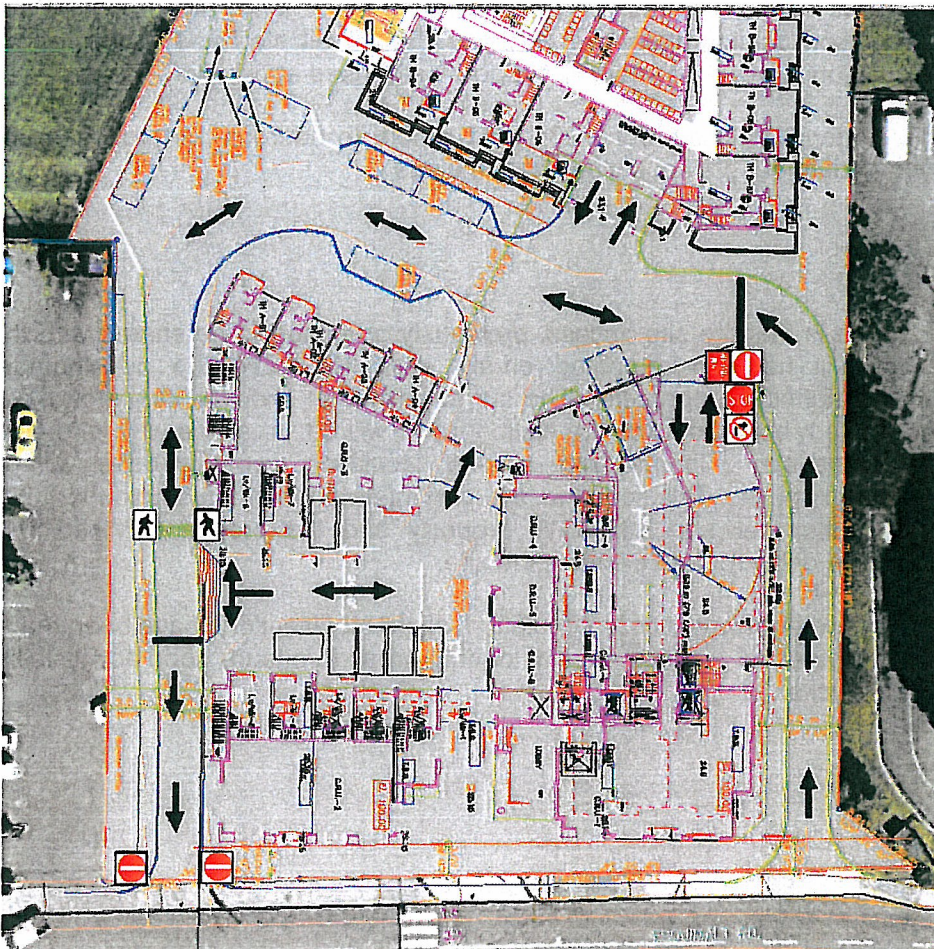
## Impact of New Driveway Configuration

With the proposed new access configuration, projected traffic volumes using the site driveways will be less than what was analyzed previously and therefore the anticipated delay for exiting site-related traffic will be decreased. There is no change in traffic volume on the adjacent road network above the previous analysis and no off-site traffic impacts are expected.

## On-Site Access / Circulation

The driveway aisles are intended to operate with one-way access / egress. In order to maximize the on-site circulation opportunities, it is recommended that two-way vehicle circulation be permitted within the site as shown in the following **Figure 1**. Appropriate signage is required at strategic locations.

**Figure 1 – On-Site Circulation**



### Passenger Cars:

In order to accommodate passenger car maneuvering into the underground parking structures, the underground commercial parking access has been shifted to the west slightly to provide improved visibility of approaching traffic for drivers exiting the parkade. A stop sign control should be installed at the underground parking egress point.

**Figure 2 – Passenger Car Circulation**



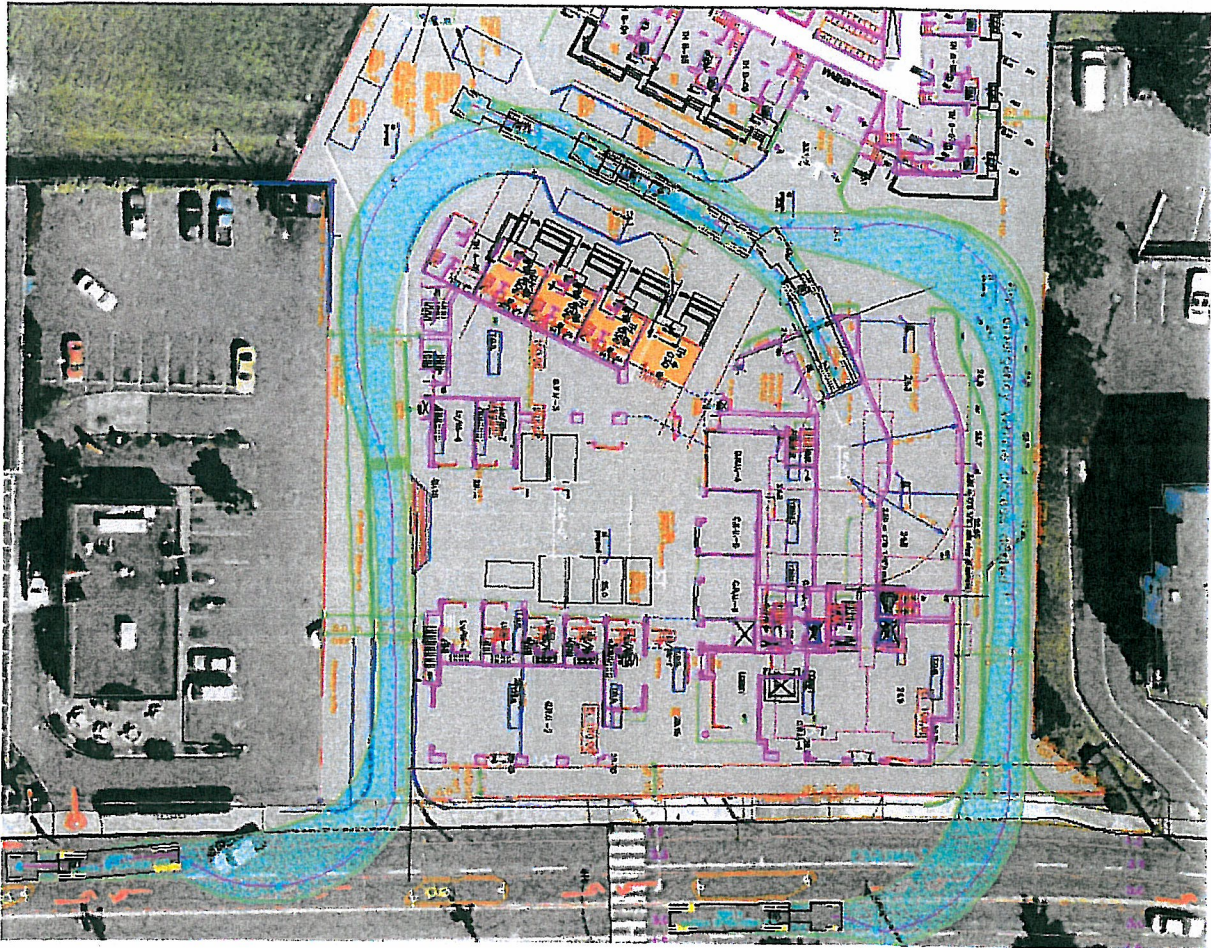
Commercial Loading Trucks:

The following **Figure 3** shows the vehicle path for a WB-15 loading truck entering and exiting the site to / from the east. Similar to the previous analysis, the westernmost median island on Esquimalt Road will need to be removed. **Figure 4** shows the vehicle path for the same WB-15 design vehicle entering and exiting to / from the west.

**Figure 3 – WB-15 Design Vehicle Entering / Exiting To / From East**



Figure 4 – WB-15 Design Vehicle Entering / Exiting To / From West



Residential Loading Trucks:

The following **Figure 5** shows the vehicle path for a large WB-15 residential moving truck entering and exiting the site to / from the east. **Figure 6** shows the vehicle path for the same design vehicle entering and exiting to / from the west.

**Figure 5 – WB-15 Design Vehicle Entering / Exiting To / From East**

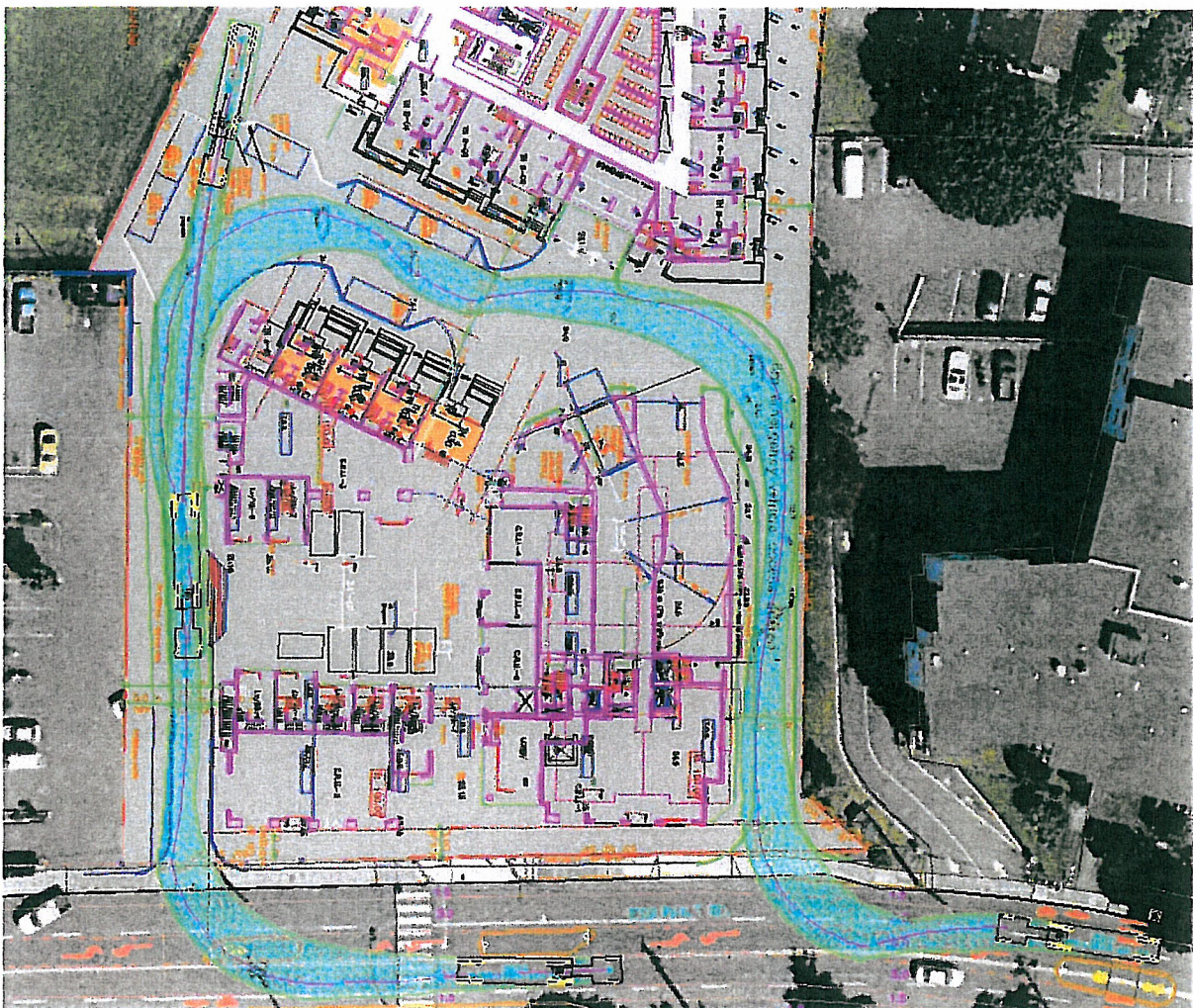
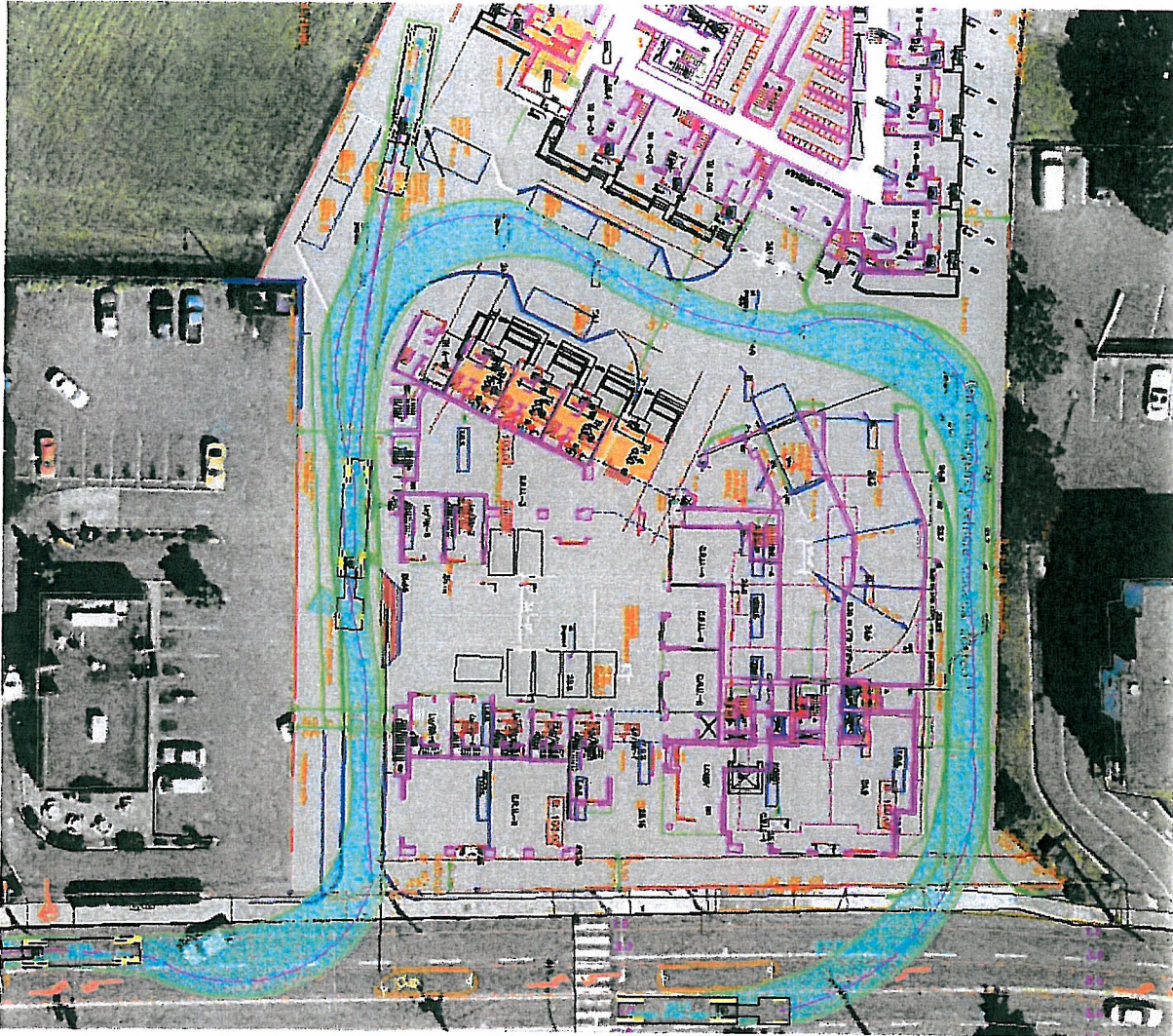


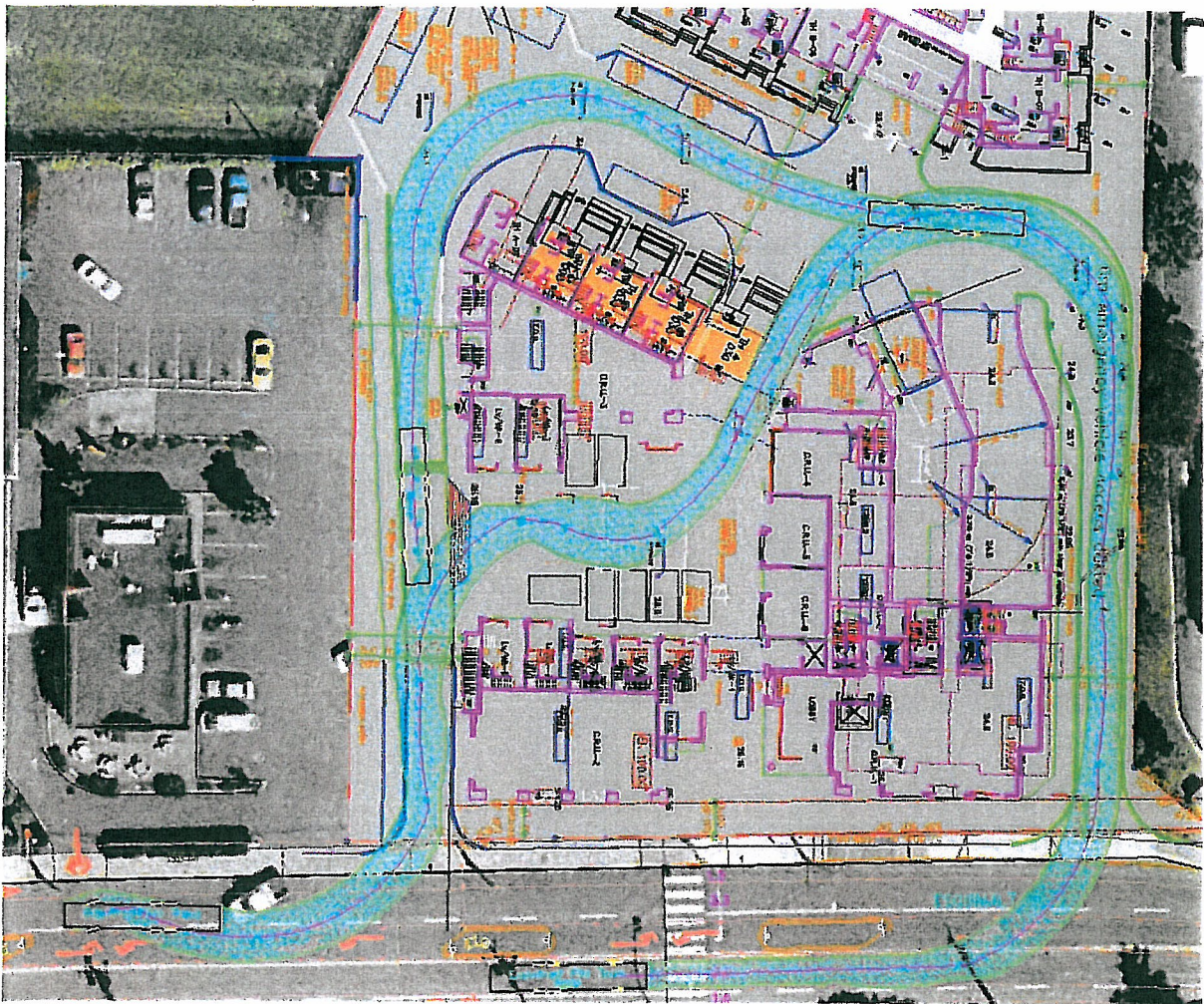
Figure 6 – WB-15 Design Vehicle Entering / Exiting To / From West



Emergency (Fire) Trucks:

The following Figure 7 shows a 45' fire truck design vehicle turning template entering / exiting the site from the west as that is the direction of travel to / from the Esquimalt Fire Station.

**Figure 7 – 45' Fire Truck Design Vehicle Entering / Exiting To / From West**





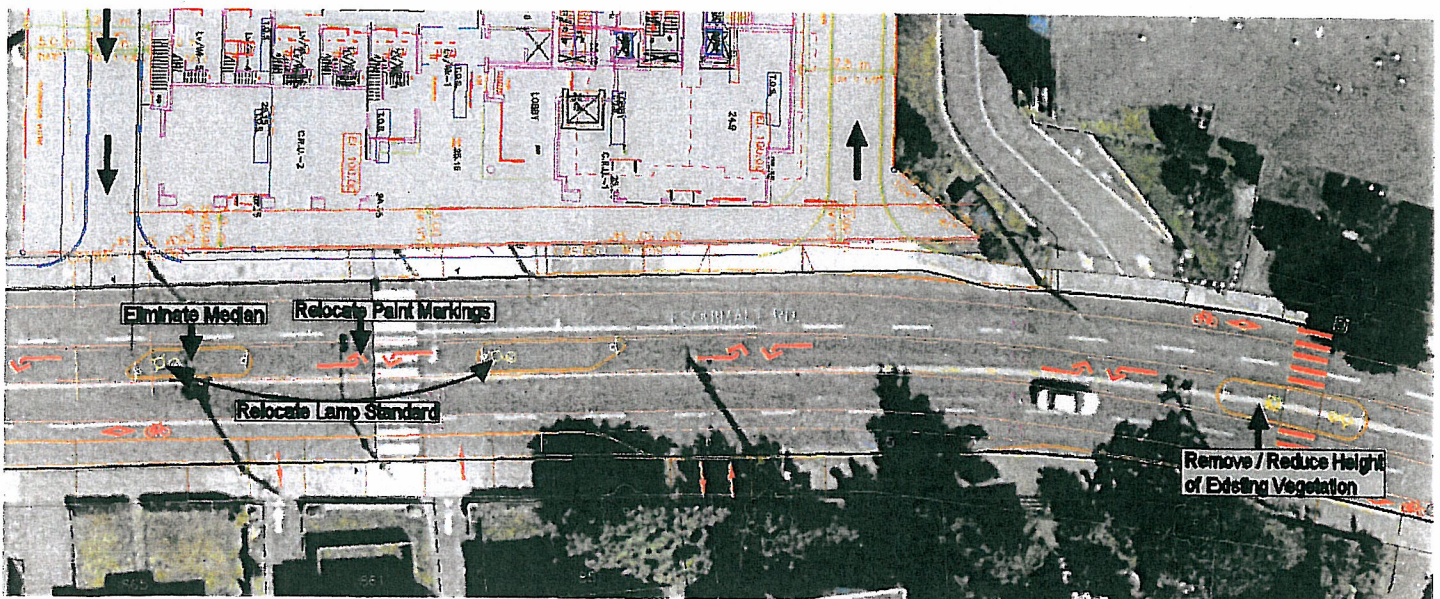
## Summary

The technical findings regarding off-site traffic impact for the proposed development contained within our June 28 report remain unchanged with the proposed new access configuration. In fact, there will be less vehicle delay at the access points as the accesses will no longer service the neighbouring A&W site traffic.

As per the June 28 report, it is recommended to eliminate the eastern centre median island along the Esquimalt Road site frontage. With the proposed new access configuration, there is no opportunity to provide additional planted medians on Esquimalt Road; however the existing lamp standard in the eastern median could be relocated to the median island along the midpoint of the site frontage.

Additionally, when assessing the proposed driveway access at the eastern site boundary, it was observed that the vegetation within the median / pedestrian refuge island, east of the site on Esquimalt Road interferes with sight distance for left turns from Esquimalt Road at this location. The issue is compounded for left turning traffic into the site driveway for the neighbouring 848 Esquimalt Road. Although this condition has not been identified as an issue, in order to maximize sight distance and pedestrian visibility in the crossing, the plantings could be replaced with low-lying vegetation (grass or groundcover) or eliminated. The following **Figure 8** graphically describes the recommended off-site works related to the development proposal.

**Figure 8 – Recommended Off-site Works**



852/856/ 858 Esquimalt Road  
Addendum #1 to Transportation Review Final Report  
October 5, 2011



\* \* \* \* \*

I trust this will be of assistance to you. Please do not hesitate to contact me should you have any questions about our study findings.

Yours truly,  
**Bunt & Associates**

A handwritten signature in black ink, appearing to read "W. Gibson", with a long horizontal flourish extending to the right.

Wayne Gibson, CTech  
Senior Transportation Analyst



## **CORPORATION OF THE TOWNSHIP OF ESQUIMALT**

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Telephone (250) 414-7100 Fax (250) 414-7111

**Council Meeting: February 20, 2012**

### **STAFF REPORT**

**DATE:** February 10<sup>th</sup>, 2012 Report No. DEV-12-014  
**TO:** Laurie Hurst, Chief Administrative Officer  
**FROM:** Barbara Snyder, Director of Development Services  
**SUBJECT: COMPREHENSIVE ECONOMIC DEVELOPMENT PLANNING**

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#### **RECOMMENDATION:**

1. That the issue of tax exemptions [incentives] be considered in the context of a comprehensive economic development plan developed in consultation with the business community.

#### **BACKGROUND:**

Tax incentives as a means of encouraging businesses to remain in Esquimalt or to relocate here have been introduced to Council in past strategic planning sessions. Finance and Development Services staff have been investigating how these tax incentives might be implemented, whether changes to the tax rates for commercial and industrial properties should also be examined and whether grants to businesses for beautification should be considered. Staff met with policy analysts at the Local Government Finance Division of the Ministry of Community, Sport and Cultural Development to see how other municipalities in BC have used tax exemptions to encourage revitalization in their commercial cores.

In reviewing the policies of other municipalities it became evident that tax incentives alone may not create the desired economic growth and that a more comprehensive approach should be considered. At the Committee of the Whole meeting of February 13<sup>th</sup>, at which business diversification was discussed, the Mayor also mentioned the need to consider the whole range of methods that could be used to foster economic development.

#### **ISSUE:**

Tax Incentives may be exactly the thing that will turn Esquimalt's economy around but, they are only one tool. Some municipalities have developed economic development strategies or master plans to look at the bigger picture. For example, the Township of Langley has recently adopted a Downtown Master Plan for it's commercial core. The City of Prince George introduced tax exemptions but they have also created a Downtown Partnership "Changing the Face of Downtown" which includes the City, First Nations, the RCMP, the Chamber of Commerce and Northern Health.

Following the meeting between staff and the Ministry of Community, Sport and Cultural Development, the Policies of numerous municipalities were reviewed including:

- Mission
- Prince George
- Quesnel
- Kelowna
- Chilliwack
- Sooke
- Maple Ridge
- Kamloops
- Langley

To date, Esquimalt business owners and the Chamber of Commerce have not been consulted to see what issues prevent new businesses from locating in Esquimalt or why existing businesses may choose to leave. We know that Esquimalt has a higher tax rate for commercial and industrial uses than neighbouring municipalities, but that may not be the only reason affecting decisions to do business in here. Some companies prefer to locate near similar establishments or where complementary services are available while others require larger commercial properties than are available in Esquimalt.

### 1. Tax Incentives

Council could establish a revitalization program with defined reasons and objectives and then enter into agreements with property owners and exempt their properties from taxation as long as specified conditions of the program were met. Exemptions may apply to the value of the land or improvements, or both. Council can specify, within their revitalization program, the amount and extent of exemptions available.

Tax exemptions are limited to municipal taxes [not school or other property taxes] and may be granted for up to 10 years. The authority to provide a revitalization tax exemption is not subject to section 25 of the Community Charter [prohibition against assistance to business].

A revitalization program might apply to a geographic area, a particular activity, a class of property, or the entire municipality. Some specific types of revitalization are: environmental, economic, social, heritage conservation, and façade improvements.

#### Examples:

**Mission:** A bylaw provides for a revitalization tax exemption on the Downtown Business Improvement Area where the construction of new improvements with a value in excess of \$15,000 or an alteration with a value over \$15,000 qualifies for the exemptions as shown below. This encourages improvements to existing buildings.

- ▶ Years 1 – 5  
Payment of the Base Amount [i.e. municipal property taxes as if the improvements had not been made]
- ▶ Year 6  
Payment of the Base Amount plus 20% of the difference between the Base Amount and the Full Assessment [after improvements].
- ▶ Year 7  
Payment of the Base Amount plus 40% of the difference between the Base Amount and the Full Assessment
- ▶ Year 8  
Payment of the Base Amount plus 60% of the difference between the Base Amount and the Full Assessment

- ▶ Year 9  
Payment of the Base Amount plus 80% of the difference between the Base Amount and the Full Assessment
- ▶ Year 10  
Full Assessment [i.e. the amount of municipal property tax that would be payable in the 10<sup>th</sup> calendar year as if there had never been an exemption].

**Maple Ridge:** The Revitalization Tax Exemption Bylaw is for the purpose of stimulating residential development in the downtown and ensuring it is high quality, high density development. Instead of just meeting a minimum construction value, projects must be at least 5 storeys in height; have 75% of the floor area allocated to residential use; and be built by a certain date.

The tax exemption is equivalent to the change in property assessment value pre-construction and after construction. The exemption period is only 4 years:

- ▶ Year 1     100% exemption of municipal taxes
- ▶ Year 2     75% exemption from municipal taxes
- ▶ Year 3     50% exemption from municipal taxes
- ▶ Year 4     25% exemption from municipal taxes
- ▶ Year 5     Full taxes payable.

**Sooke:** The bylaw provides for a revitalization tax exemption, waiver of fees and charges and the creation of a capital improvement reserve to encourage commercial and higher residential development that has a low environmental impact. Eligible development is not-for-profit rental housing, affordable rental housing, and construction that is LEED certified. The maximum term of an exemption agreement is 3 years.

- ▶ Year 1     Payment of 0% of municipal taxes
- ▶ Year 2     Payment of 40% of municipal taxes
- ▶ Year 3     Payment of 70% of municipal taxes
- ▶ Year 4     Full Assessment

These examples illustrate how municipalities can craft the revitalization tax exemptions to achieve specific goals and each municipality can decide what their appropriate exemption rate and term will be.

In order to offer tax exemptions, Council must establish [by bylaw] a Tax Exemption Program detailing the following:

- a description of the reasons for, and the objectives of, the program;
- a description of how the program is intended to accomplish the objectives;
- a description of the kinds of property that, or activities or circumstances related to the property that create eligibility for exemptions;
- the extent of the exemptions available;
- the amounts of exemptions or formulas to determine the amounts;
- the maximum term of the exemption, which may not be longer than 10 years.

## 2. **Beautification**

### a) Grants

Rather than tax exemptions, these are actual grants given by the municipality for a specific purpose such as improvements to the exterior appearance of a building. Should Council

wish to pursue this, it would have budget implications. Although there would be a cost to this, the potential enhancement of the commercial core may make it worth considering.

b) Working with the Private Sector

Another suggestion was that the Township could work with building supply and paint companies to offer materials at reduced rates to stimulate improvements. This has been successful in some residential neighbourhoods in larger cities. However, this may be difficult to manage and may be seen as offering assistance to a particular business and at the present time we do not have any of these types of businesses in Esquimalt.

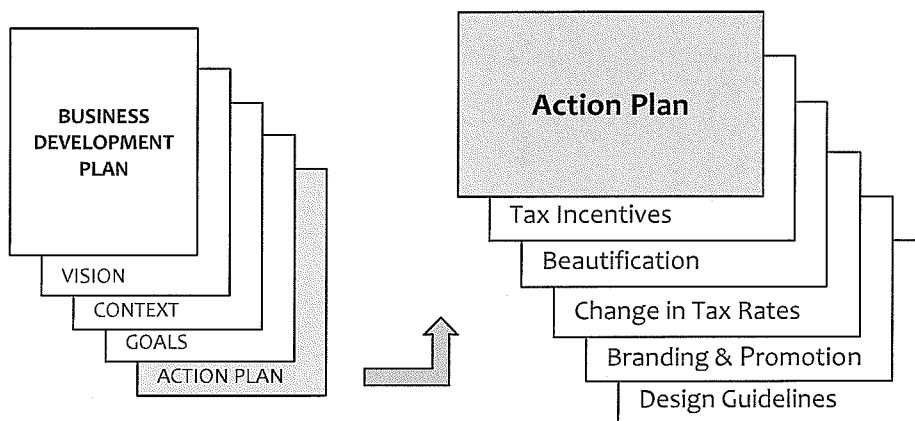
c) Municipal Works

In most municipalities where "beautification" has been undertaken, it has been the municipality putting the money into improvements to sidewalks, boulevards, street lighting, etc. in the hope of stimulating improvements in the private sector. Esquimalt has already made these types of improvements along two sections of Esquimalt Road, the 800 and 1200 blocks. Although a few new businesses have moved in, there has been little change to the appearance of older buildings.

**3. Complete Economic Development Master Plans**

Some municipalities have developed economic development plans or downtown master plans in addition to tax exemption programs. Typically these plans would address the vision for the commercial area, geographic area, history and current land uses, as well as establish goals and guiding principles, and create an action plan specific to the community. The City of Langley has gone through this process and, recognizing the constraints and opportunities created by surrounding commercial activities [a regional shopping centre, Costco, Walmart and Home Depot], is recreating its downtown as "The Place to Be" offering a unique merchandise mix and shopping experience. The downtown focus is on particular retail niches: arts and culture, destination specialty shops; food and convenience retail outlets; and service commercial establishments such as restaurants, video stores and hair salons.

A Business Development Plan might look something like this:



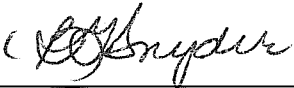
**ALTERNATIVES:**

1. That the issue of tax exemptions [incentives] be considered in the context of a comprehensive economic development plan developed in consultation with the business community.

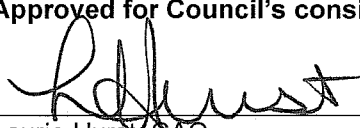
2. That a Revitalization Tax Exemption Program be established defining reasons and objectives; identifying which businesses would be eligible for exemptions [by area, type, value of improvements, etc.]; and setting the amount and term of exemptions [without an overall economic development plan].
3. Maintain the status quo and hope that businesses choose to locate in Esquimalt.

Alternative No. 1) is recommended.

Respectfully submitted,



Barbara Snyder  
Director of Development Services

<p><b>Approved for Council's consideration:</b></p>  Laurie Hurst, CAO
Dated: Feb 16/12



# COMMITTEE OF THE WHOLE REPORT

From: Meeting of February 13, 2012

To: Regular Meeting of Municipal Council – February 20, 2012

At its meeting held on Monday, February 13, 2012 the Committee of the Whole considered the following matters and resolved that the following recommendations be submitted to Council for approval:

**1. Posting of Agendas on Website, Staff Report No. ADM-12-012**

That staff continue with their current practice of posting complete Agenda packages for Council and Committee of the Whole meetings on the Township's website, severing personal information as appropriate in compliance with the *Freedom of Information and Protection of Privacy Act*.

In addition to posting the full Agenda packages online prior to meetings, Council directs staff to also provide options for the videotaping of full Council and Committee of the Whole meetings for the purpose of allowing for meetings to be viewed by the general public online.

**2. Fire Services Mutual Aid Agreement with DND, Staff Report No. FIRE-12-003**

That Council approve entering into a Memorandum of Understanding (MOU) between the Department of National Defence (as represented by Canadian Forces Base Esquimalt) and the Township of Esquimalt, and authorizes the execution of the MOU substantially in the form attached to Staff Report No. FIRE-11-009.

**3. Amendment to Subdivision and Development Control Bylaw No. 2175, Staff Report No. DEV-12-008**

a) That Bylaw 2175 cited as "Subdivision and Development Control Bylaw 1997" be amended by the addition of the following words and figures in Part 4 – Approvals:

*"7.04 Each application for subdivision shall include Civil Engineering drawings showing the proposed location of any required works and services and demonstrating that the servicing can be achieved in accordance with the Municipality's standards. This requirement for Civil Engineering drawings also applies to building permit applications where any new works and services are required."*

(b) That staff be directed to prepare the necessary amending bylaw, information brochure and policy document described on page 2 of Staff Report No. DEV-12-008.



4. **Development Permit, 521 - 529 Comerford Street [Lot 266, Suburban Lot 40, Esquimalt District, Plan 2854], [Lot 267, Suburban Lot 40, Esquimalt District, Plan 2854], Staff Report No. DEV-12-012**

That the application for a Development Permit limiting the form and character of development to that shown on architectural plans provided by Vic Davies Architect stamped "Received January 10, 2012", and sited as detailed on the survey plan prepared by Powell and Associates, BC Land Surveyors, stamped "Received December 2, 2011", and including the following relaxations to Zoning Bylaw, 1992, No. 2050 and Parking Bylaw, 1992, No. 2011, for the proposed development located at Lot 266, Suburban Lot 40, Esquimalt District, Plan 2854 and Lot 267, Suburban Lot 40, Esquimalt District, Plan 2854 [521-529 Comerford Street], be forwarded to Council with a recommendation of approval subject to appropriate notification being completed, a Variance Hearing being held, and a Development Permit being returned to Council for consideration.

Zoning Bylaw, 1992, No. 2050, Section 24 (1) – Visibility at Intersections – an exemption from the requirement that there shall be no obstruction to the line of vision by Buildings, Structures or vegetation between the heights of 1 metre and 3 metres above the established grade of streets within an area bounded by the centre lines of intersecting streets and a line joining a point on each of the centre lines 25 metres from their intersection;

Parking Bylaw, 1992, No. 2011, Section 11(1) – Visitor Parking – a reduction in the required number of dedicated visitor parking spaces from 1 of every 4 to 1 of every 8 [i.e. from a total of 12 visitor spaces to 6 visitor spaces]; and

Parking Bylaw, 1992, No. 2011, Section 13(1)(a)(v) – Number Of Off-Street Parking Spaces – a reduction in the required number of parking spaces from 1.3 spaces per dwelling unit to 0.64 spaces per dwelling unit [i.e. from a total of 45 spaces to 22 spaces].

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At its meeting held on Monday, February 13, 2012 the Committee of the Whole also considered the following matter and resolved that the following recommendation be submitted to Council for ratification:

5. **Limiting Certain Types of Commercial Businesses, Staff Report No. DEV-12-002**

That the recommendation set out in Staff Report No. DEV-12-002, as follows, **not be approved:**

*That Council direct staff to prepare the bylaws necessary to amend Zoning Bylaw No. 2050 to define "commercial use", "cheque cashing facility", and "financial institution" so as to prohibit additional cheque cashing businesses from locating in Esquimalt's commercial core.*



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY PLANNING COMMISSION  
MINUTES  
TUESDAY, DECEMBER 20, 2011  
7:00 P.M.  
ESQUIMALT COUNCIL CHAMBERS

**MEMBERS:** Christopher Smith, A/Chairperson  
Lorne Argyle  
Amy Higginbotham  
Wes Nelson  
Joy Palmeter

**REGRETS:** Pete Hartman  
Joanne Kimm

**COUNCIL LIAISON:** Meagan Brame

**STAFF LIAISON:** Trevor Parkes, Senior Planner

**SECRETARY:** Marie Letham

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There was one member of the public present.

**1. CALL TO ORDER**

The meeting was called to order at 7:00 p.m. by the A/Chairperson who welcomed the applicants and outlined the meeting procedures.

**II. LATE ITEMS**

No late items were presented.

**III. ADOPTION OF THE AGENDA**

Moved by Joy Palmeter, seconded by Wes Nelson that the agenda as distributed be approved.

The Motion **CARRIED UNANIMOUSLY.**

**IV. ADOPTION OF MINUTES**

**Minutes – Regular Meeting November 15, 2011**

Moved by Lorne Argyle, seconded by Joy Palmeter that the minutes be approved as distributed.

The Motion **CARRIED UNANIMOUSLY.**

**V. BUSINESS FROM MINUTES**

There was no business from the Minutes.

**VI. STAFF REPORTS**

**(1) Development Permit  
Sophie Investments Inc. Co. (owner/applicant)  
880-D Esquimalt Road**

Mr. Doug Symonds, Graphvette Design & Drafting, was present along with the owner, Francois Denux to present the application for tenant improvements.

Doug Symonds outlined the history of the building. This proposal is for a modest expansion to the existing commercial space, by enclosing the existing upper deck in order to accommodate a new tenant, the Victoria Bridge Club.

Doug Symonds outlined the plans for the Commission members. He commented on the landscaping for the site indicating that it is established and that there is little opportunity for additional plantings. The owner indicated that he is willing to install hanging flower baskets on both the ground and upper levels in keeping with the mall owners existing beautification policy. The owner is concentrating on improvements to the structure and new signage.

**APC Questions**

Wes Nelson asked if the other tenants had been consulted.

Doug Symonds advised that the landlord had worked with the tenant in the space below.

Lorne Argyle commented that he had no problems with the proposal.

Joy Palmeter also commented that she had no problems with the proposal.

Christopher Smith commented that this area is not the most attractive, but the proposal would be visibly more pleasing.

Doug Symonds commented that because of the scale of these alterations they do not quite lead into an overall appearance, will not make a big impact.

Christopher Smith inquired about the type of materials being used if they will weather over time.

Doug Symonds responded that they will oxide over time and will match the existing. The anticipated construction time is eight to ten weeks.

**Public Input**

No members of the public spoke to this application.

**RECOMMENDATION**

Moved by Wes Nelson, seconded by Lorne Argyle that the Esquimalt Advisory Planning Commission [APC] resolved that your application for a Development Permit, limiting the form and character of development to that shown on architectural plans provided by Graphvette Design and Drafting, stamped "Received December 5, 2011", for the proposed tenant improvements and signage located at Lot 2, Section 11, Esquimalt District, Plan 47946 [880-D Esquimalt Road], be forwarded to Council with a **recommendation of approval.**

The Motion **CARRIED UNANIMOUSLY**

**VII. PLANNER'S STATUS REPORT**

Trevor Parkes presented the following status report on two applications:

**616 Lampson Street:** [Rezoning and Development Permit] first and second readings of the amending bylaw scheduled for January 16<sup>th</sup>, 2012 Council meeting.

**521 Comerford Street:** [Development Permit with Variances] this application will come back to the APC in January with a modified proposal.

**VIII. COUNCIL LIAISON**

Councillor Brame reported that the Cambie application will come to Council in January for first and second readings of the amending bylaws.

Councillor Brame informed the Commission that it is the intention of Council to appoint two members of the previous Access Awareness Committee to the APC. This will entail an amendment to the APC bylaw and the Corporate Officer is reviewing the Community Charter and the logistics of the proposed change.

Councillor Brame informed the Commission members that the Corporate Strategy Planning meetings are scheduled for 12<sup>th</sup> and 13<sup>th</sup> of January, 2012.

**IX. NEW BUSINESS**

There was no new business presented.

**X. NEXT REGULAR MEETING**

Tuesday, January 17<sup>th</sup>, 2012

**XI. ADJOURNMENT**

On motion the meeting adjourned at 7:30 p.m.

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Certified Correct- A/Chairperson



CORPORATION OF THE TOWNSHIP OF ESQUIMALT  
**MINUTES**  
**ACCESS AWARENESS ADVISORY COMMITTEE**

Wednesday, January 11, 2012  
4:00 P.M.  
Council Chambers

**PRESENT:** Eleanor Calder, Chair  
Councillor Bob McKie  
Heidi Bada  
Emmy Labonté  
Paul Newcombe  
**GUEST:** Mayor Barbara Desjardins  
**STAFF:** Jeff Miller – Director of Engineering & Public Works (Staff Liaison)  
Deborah Liske – Recording Secretary  
**REGRETS:** Councillor Lynda Hundleby  
Peter Ryan  
Andy Katschor – Parks Manager (Staff Liaison)

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**1. CALL TO ORDER**

Chair Calder called the meeting to order at 4:04 p.m.

**2. LATE ITEMS**

There were no late items.

**3. APPROVAL OF THE AGENDA**

Moved by Paul Newcombe, seconded by Emmy Labonté that the agenda of the Access Awareness Advisory Committee meeting of January 11, 2012 be approved as presented.  
The motion **CARRIED**.

**4. APPROVAL OF MINUTES**

Moved by Emmy Labonté, seconded by Heidi Bada that the minutes of the Access Awareness Advisory Committee meeting of November 10, 2011 be approved as presented.  
The motion **CARRIED**.

**5. NEW BUSINESS**

(1) Update from Mayor Desjardins

Mayor Desjardins attended the meeting to provide committee members with an explanation for dissolving the Access Awareness Advisory Committee and how committee members can continue to provide input on accessibility in the community.

Mayor Desjardins noted she will be recommending to Council that the Terms of Reference of the Parks and Recreation Advisory Committee be revised so that one of the seven

community representatives appointed by Council be for the purpose of providing an accessibility focus. This appointment would be a full-voting member of the Parks and Recreation Advisory Committee.

Mayor Desjardins further noted she will also be recommending to Council that the membership of the Advisory Planning Commission be revised to include three additional non-voting members. Of the three non-voting members, two would be appointed by Council for the purpose of providing an accessibility focus and one for the purpose of providing an environmental focus. These non-voting appointments will be for a trial basis for the 2012 year and re-evaluated by Council at the end of 2012. At that time Council will review and determine if the Advisory Planning Commission Bylaw should be formally amended to revise the commission membership. These changes will allow the opportunity to ensure accessibility is part of the focus in both development and recreation.

Mayor Desjardins thanked committee members for their work and dedication to the committee and the community.

A roundtable discussion took place with Mayor Desjardins responding to questions and comments provided by committee members. Committee members noted the absence of voting rights on the advisory committees and commission prevents individuals from participating in decision making processes and devalues their commitment, participation and input. Although committee members are encouraged to see a focus being given to accessibility in development and recreation, are disappointed in the cancelling of the Access Awareness Advisory Committee. Accessibility is much broader than development and recreation and needs a larger focus for the community. Education of the community and committee members will not happen without an Access Awareness Advisory Committee with a primary focus on accessibility. It was noted that the development of the Esquimalt Village Plan will provide for the opportunity to incorporate increased accessibility into the development.

Mayor Desjardins responded to questions from committee members; they included the following:

- Two of the non-voting appointments to the Advisory Planning Commission (APC) will be for providing an accessibility viewpoint and input that may otherwise not be provided or considered from those members who are not aware of or educated in the broader picture of accessibility
- The accessibility focused appointees will provide valued feedback, input and concepts for the APC membership to consider
- In consultation with members of Council and the Chairs of the Advisory Committees, it was determined a change in the focus and structure of committees was needed in order to achieve more effective results
- It is hopeful that initiatives such as the Gold Star Program are not lost and taken over by an outside organization or another committee.
- Encourage members of the Access Awareness Advisory Committee to consider participating on other Council appointed Advisory Committees, Commission or Board and in particular on the Parks and Recreation Advisory Committee and the Advisory Planning Commission in the accessibility roles as they are the individuals that have the accessibility knowledge and education and can play a vital role in developing the new roles as time moves on.

Councillor McKie noted that he found his time on the committee as the Parks and Recreation Advisory Committee representative to be very interesting, rewarding and

educational. Councillor McKie further noted his appointment provided the Parks and Recreation Advisory Committee with the opportunity to provide input into accessibility. Councillor McKie expressed his appreciation to committee members for their dedication, knowledge and effort given to the committee.

Jeff Miller, Staff Liaison, noted that the changes will allow for the accessibility focus to be considered by committees / commission not previously influenced to seriously consider accessibility.

Mayor Desjardins thanks committee members for their service to the community through their dedication and effort on the Access Awareness Advisory Committee.

## 6. WORK PLAN ITEMS

### (1) Measuring-up Gold Star Program

Committee members discussed the Measuring-up Gold Star program noting that it is a very valuable program and would not like to see it end.

It was suggested the Esquimalt Chamber of Commerce be approached to see if they would be interested in taking over the program. Chair Calder will arrange an opportunity to meet with the Chamber executive to discuss taking over the program. (Chair Calder will also invite Peter Ryan to accompany her). Mayor Desjardins and Jeff Miller, Staff Liaison will assist where needed. Other options for the program may be for another advisory committee or outside organization to take the program on.

### (2) Access Awareness Day

Committee members discussed Access Awareness Day. It was recommended a motion be passed requesting Council to proclaim Access Awareness Day each year.

Moved by Paul Newcombe, seconded by Emmy Labonté that the Access Awareness Advisory Committee recommends that Council proclaim, on a yearly basis, the first Saturday in June, as Access Awareness Day in the Township of Esquimalt.  
The motion **CARRIED**.

### (3) Environmental Sensitivities

Jeff Miller, Staff Liaison noted Council referred the memorandum from the committee to staff for comment. Mr. Miller did not know the status of the referral.

### (4) Centennial Celebrations Participation (a) Centennial Display at Buccaneer Days

Moved by Paul Newcombe, seconded by Emmy Labonté, that the committee no longer make any preparations for the centennial display at Buccaneer Days for the centennial celebrations.  
The motion **CARRIED**.

## 7. NEXT MEETING

Mayor Desjardins noted Council will be reviewing the terms of reference of committees at the next meeting of Committee of the Whole. Mayor Desjardins recommended that those

committee members whose appointments were not due to expire until the end of 2012, consider whether they are interested in sitting on the Advisory Planning Commission and Parks and Recreation Advisory Committee in the accessibility role capacity prior to the advertising for Advisory Committee, Commission and Board vacancies.

Committee members agreed they had discussed any outstanding items and did not need to meet in February.

8. **ADJOURNMENT**

Chair Calder thanked committee members for their dedication and hard work.

The meeting adjourned at 5:04 p.m.

---

, Chair

This day of ,





## CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1  
Website: [www.esquimalt.ca](http://www.esquimalt.ca) Email: [info@esquimalt.ca](mailto:info@esquimalt.ca)

Voice: (250) 414-7100  
Fax: (250) 414-7111

### MEMORANDUM

**DATE:** February 6, 2012  
**TO:** Mayor and Council  
**FROM:** Eleanor Calder, Chair, Access Awareness Advisory Committee  
**SUBJECT: REQUEST TO PROCLAIM ACCESS AWARENESS DAY**

---

At the January 11, 2012 meeting of the Access Awareness Advisory Committee, the committee discussed the significance of Access Awareness Day and the need to continue to acknowledge the day in the absence of the Access Awareness Advisory Committee. Following discussion by committee members, the following motion was passed:

That the Access Awareness Advisory Committee recommends that Council proclaim, on a yearly basis, the first Saturday in June, as Access Awareness Day in the Township of Esquimalt.

Respectfully submitted,

Eleanor Calder  
Chair  
Access Awareness Advisory Committee

EC/dl

Attachment



**CORPORATION OF THE TOWNSHIP OF ESQUIMALT**

**MINUTES**

**ENVIRONMENTAL ADVISORY COMMITTEE**

Thursday, January 26, 2012  
7:00 p.m.  
Council Chambers, Municipal Hall

**PRESENT:** Michael Hill, Chair  
Mark Salter, Vice Chair  
Councillor Lynda Hundleby  
Councillor Tim Morrison  
Chris Zegger-Murphy  
Donald Kramer  
Blair Irwin

**STAFF:** Marlene Lagoa, Sustainability Coordinator (Staff Liaison)  
Louise Payne, Recording Secretary

**REGRETS:** Carole Witter  
Larry Dill  
Annie Do

**GUEST:** Erin Bayus

**1. CALL TO ORDER**

Chair Hill called the meeting to order at 7:00 p.m. and welcomed Councillor Hundleby and Councillor Morrison to the Committee.

**2. LATE ITEMS:**

The following late items were introduced:

1. Add to 5. New Business – Year End Report (2011)

**3. APPROVAL OF THE AGENDA**

Moved by Mark Salter, seconded by Chris Zegger-Murphy that the agenda for the Environmental Advisory Committee meeting of January 26, 2012 be approved as amended with the inclusion of the late agenda item.

**CARRIED.**

**4. MINUTES**

- (1) Minutes of the Environmental Advisory Committee meeting, November 24, 2011

Moved by Don Kramer, seconded by Mark Salter that the minutes of the Environmental Advisory Committee meeting of November 24, 2011 be approved as presented

**CARRIED.**

**5. NEW BUSINESS**

- (1) Climate Action Revenue Incentive Plan (CARIP) Public Report for 2011

The Sustainability Coordinator reviewed the background to the Climate Action Revenue Incentive Plan (CARIP) Public Report for 2011, which was presented for the Committee's information.

Discussion ensued on how the municipality communicates infrastructure improvements to residents. The upgrading of bus shelters along Lampson Street was given as one example. There was no communication that this work was to be done. Suggestions included placing a notice at the bus stop and on the website.

Committee members requested that copies of the Green Building Checklist be included in the next Agenda package.

(2) Year End Report (2011)

The Sustainability Coordinator advised that the Committee's Terms of Reference require the preparation of a year end report outlining the activities for the year, and past practice has been that a committee member volunteers to review the Agendas and Minutes in order to put together this report.

Moved by Mark Salter, seconded by Councillor Hundleby that Michael Hill, Chair of the Environmental Advisory Committee, prepare the draft 2011 year end report for the Committee's review.

**CARRIED.**

**6. OLD BUSINESS**

(1) Rockheights Middle School Green Space Program – Follow-up by Vice Chair Salter

Vice Chair Mark Salter noted that the contact from Rockheights Middle School has not followed up with him. The item will be dropped from future Agendas until more information is available.

(2) Esquimalt Shines Sub-Committee – Report from Vice Chair Salter

Vice Chair Mark Salter reported on meetings of the Esquimalt Shines Sub-Committee, noting that an outline of the program has identified two categories – 1) Residential; and 2) Multi-family/Commercial/Industrial, with the following categories in each:

- a) Landscape improvement and restoration (e.g. ecosystem), sustainable design, and landscape beautification);
- b) Sustainable design (e.g. water wise); and
- c) Beautification.

Discussion around a "Garbage Day" to clean up around properties, with volunteers to help those who can no longer clean up their yards. Suggestion that some high school students could do this volunteer work for "community credits", or "Canada World Youth" students.

Discussion of a "beautification of the rail trail" noted issues around signage, liability and safety at the (5) crossings.

**7. WORK PLAN ITEMS**

(1) Centennial Celebrations Project – Centennial Trees

Vice Chair Mark Salter reported that the idea of “Centennial Trees” will be left for the Centennial Celebrations Select Committee to decide upon.

(2) Zero Waste Event Planning

The Sustainability Coordinator provided an update on “Zero Waste Event Planning” for the benefit of the new Council members, and noted she hoped to have a draft outline establishing standards for zero waste event planning for the February 23 meeting.

Committee discussion ensued on zero waste event planning, and the following comments were shared:

- Need to talk to vendors during the planning stage of events about “zero waste”;
- Inclusion of “zero waste” requirements for community events funding and facility rental permits;
- Examine opportunity for CRD to work with food vendors on a regional scale; and
- Study what neighbouring municipalities are doing around greening events (e.g. City of Victoria).

**8. REPORT FROM STAFF LIAISON**

(1) 2012 Royal Roads University Student Projects Update

- (a) Memorandum from Marlene Lagoa, Sustainability Coordinator, dated January 20, 2012, Re: Feedback – Royal Roads University Major Projects

The Sustainability Coordinator outlined two new projects for 2012 with Royal Roads University students:

- i) Marine & Shoreline; and
- ii) Phase II – Community Engagement and Climate Action Framework

She noted that the student teams are preparing the project's Terms of Reference which include project goals and objectives, deliverables, timelines and budget. It was noted that the Terms of Reference for the Marine & Shoreline project could include a public education component and the Phase II project are examining climate action initiatives that may be implemented this year.

Discussion ensued on the absence of a client feedback component to the project partnership and the following points were raised:

- Feedback can be provided in a free form letter that addresses:
  - The value of the project to the client;
  - Nature of any issues that came up during the process and how they were resolved (if any); and
  - Suggestions for improving future projects.

- Feedback may best occur immediately following the submission of the final report and presentation, thereby allowing sufficient time for the client to review and discuss the project.
- Feedback may be beneficial for the students and in many cases might be a useful addition to the students' CV.

The Sustainability Coordinator noted she will share the feedback with Royal Roads University representatives.

(2) 2012 Advisory Committee Appointment Process - Update

The Sustainability Coordinator noted that membership on all committees had been extended to the end of February 2012, and the terms of the following members are up for renewal at that time: Blair Irwin, Mark Salter and Chris Zegger-Murphy.

Members with an interest in the new Environmental Advisory Committee appointment to the Advisory Planning Commission were advised to submit an application expressing their interest before the deadline.

## 9. COMMUNICATIONS

- (1) Memorandum for Anja Nurvo, Manager of Corporate Services, dated December 20, 2011, Re: Referral from Council – Email from Canadian Cancer Society Re: Letter of Support for Provincial Pesticide Legislation

A member of the Committee pointed out that the deadline for public input was December 16, 2011; however Council's referral requests a report back to them.

Moved by Councillor Hundleby, seconded by Don Kramer that the Environmental Advisory Committee:

- 1) Supports Esquimalt's Pesticide Use Reduction Bylaw and is in favour of provincial legislation that would be equally or more stringent in banning cosmetic (non-essential) pesticide use in British Columbia; and
- 2) Is opposed to any provincial legislation that would weaken municipal powers to regulate cosmetic (non-essential) pesticide use.

**CARRIED.**

- (2) Memorandum for Anja Nurvo, Manager of Corporate Services, dated December 20, 2011, Re: Request to Carryover Remaining Funds in 2011 Committee Budget

The Chairman reviewed the memorandum regarding Council's response to the Committee's request to carryover remaining funds in 2011 budget. He also noted that they were requesting \$3,000 in the 2012 Budget.

## 10. COMMITTEE MEMBER ANNOUNCEMENTS

Vice Chair Salter reported on the Community Gardens Society aid to the Rainbow Kitchen in helping them move their garden and composting to Esquimalt United Church.

## 11. NEXT MEETING

The next meeting of the Environmental Advisory Committee will be **February 23, 2012.**

12. ADJOURNMENT

Moved by Councillor Hundleby, seconded by Mark Salter that the meeting of the Environmental Advisory Committee adjourn at 9:18 p.m.

**CARRIED.**

---

Michael Hill, Chair  
This 23<sup>rd</sup> day of February, 2012



# B.C. Government Retired Employees Association

Victoria Branch

INCORPORATION OF THE TOWNSHIP OF ESQUIMALT

For Information: Legislative Buildings V8V 1X4

CAO  Mayor/Council

RECEIVED: FEB 09 2012

Referred:

For Action  For Response  COTW

For Report  Council Agenda  IC

February 6, 2012

Her Worship Barbara Desjardins  
Mayor of the Township of Esquimalt  
1229 Esquimalt Road  
Esquimalt, B.C. V9A 3P1

The British Columbia Government Retired Employees Association, at its Annual General Meeting in Tsawwassen on October 19, 2012, passed a resolution asking the government of our province to remove MSP premiums from seniors and all citizens of British Columbia.

Our Association has 26 branches throughout the province and each branch was asked to contact their local Mayors and Council. As you know, the City of Vancouver passed the following Resolution last year,

**WHEREAS:**

1. British Columbia is the only province in Canada where seniors must pay Medical Services Plan (MSP) premiums;
2. Many seniors in British Columbia are struggling to pay their bills for daily needs;
3. Many seniors are paying hundreds of dollars in MSP premiums; and
4. Many retirees of the Municipal Pension Plan are former employees of local and regional governments.

THEREFORE BE IT RESOLVED THAT the City of Vancouver call on the Province of British Columbia to eliminate the MSP premiums for seniors to conform with all other provinces;

BE IT FURTHER RESOLVED that the City of Vancouver call on the Province of British Columbia that, upon the elimination of MSP premiums, they contribute the present percentage of employers' contributions previously used for MSP premiums to assist in the payment of Group Health Benefits; and

BE IT FURTHER RESOLVED THAT this motion be sent to the Union of British Columbia Municipalities and the Lower Mainland Local Government Association for their endorsement.

At the September 2012 Union of British Columbia Municipalities' Convention, this motion was endorsed. Our Association also wrote to Councillor Barbara Steele, then President of UBCM and it was endorsed as well.

The purpose of this letter from the Victoria Branch of the BCGREA is asking the local municipalities in the CRD to support the position and to individually pass a resolution requesting similar action by the provincial government.

Yours truly,

Sarjit K. Manhas  
Chair, Victoria Branch 1200  
& President, Provincial Body.

**Kim Maddin**

**From:** L Wallace <wallacelily@shaw.ca>  
**Sent:** February 14, 2012 12:57 AM  
**To:** Council  
**Subject:** For Mayor and Council

**Importance:** High

Creative Peace Mural Society  
2350 Nottingham Road  
Victoria, B.C. V8R 6C1

<b>CORPORATION OF THE TOWNSHIP OF ESQUIMALT</b>		
For Information:		
<input type="checkbox"/> CAO	<input type="checkbox"/> Mayor/Council	
<input type="checkbox"/>		
RECEIVED: FEB 14 2012		
Referred:		
<input type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input checked="" type="checkbox"/> Council Agenda	<input type="checkbox"/> IC

February 11, 2012

Dear Mayor Desjardins and Councillors,

It is with great delight that the Creative Peace Mural Society wishes to inform you that the ten murals made by the Society have been chosen for exhibition in Westminster Hall, Houses of Parliament, London, Great Britain. This is part of the events for the 2012 Olympics/Paralympics and the Arts in Parliament Programme. The eleventh mural **Hands Around the World**, awarded the Truce Inspire Mark by the Cultural Olympics, will be made this March in Ballymena, Northern Ireland, as part of the cultural events of this Olympiad and a key mural in the exhibition. This mural along with 10 other murals representing countries around the world will be part of the exhibition at Westminster Hall.

The exhibition will take place in London from June 14<sup>th</sup> 2012, to July 3<sup>rd</sup> 2012. You will be receiving official invitations to the private viewing on June 14<sup>th</sup> which will be hosted at Westminster Hall, Houses of Parliament and should you be in London later there are public viewings for the dates of the exhibition.

We extend our deepest thanks to Council for their support over the last number of years for the Creative Peace Mural Society's projects particularly with the Coast Salish mural. We have been proud to be ambassadors for Victoria.

Once again, many thanks for your belief in what the Society does and hope that you can join us at the celebration of nations in London.

Sincerely yours,

Lily Wallace,

President, Creative Peace Mural Society  
[www.creativepeacemurals.org](http://www.creativepeacemurals.org)  
[wallacelily@shaw.ca](mailto:wallacelily@shaw.ca)  
250 598 8991 / 250 812 9972



41

**From:** John Rowlandson <[velovillage2012@gmail.com](mailto:velovillage2012@gmail.com)>  
**Date:** 15 February, 2012 14:35:23 PST  
**To:** "info@esquimalt.ca" <[info@esquimalt.ca](mailto:info@esquimalt.ca)>, Barb Desjardins <[barb.desjardins@esquimaltcouncil.ca](mailto:barb.desjardins@esquimaltcouncil.ca)>  
**Subject:** Provincial Investment in rural cycling infrastructure

CORPORATION OF THE TOWNSHIP OF ESQUIMALT		
For Information:		
<input type="checkbox"/> CAO	<input type="checkbox"/> Mayor/Council	
<input type="checkbox"/> _____		
RECEIVED: FEB 15 2012		
Referred: _____		
<input type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input checked="" type="checkbox"/> Council Agenda	<input type="checkbox"/> IC

Dear Mayor Desjardins.

As you may know, Island Pathways is pulling out all the stops to make Salt Spring *bicycle-heaven-on-earth* between June 21st and 23rd.

Velo Village shines a light on rural cycling: its benefits, challenges and requirements. Specifically, we're setting aside a day to focus on cycling as a ***Rural Mobility Solution***.

The conference will bring together about 200 delegates from all over BC to build stronger links between rural and urban cycling networks. Registration opens February 29th.

In advance of the event we're asking all British Columbia municipalities and regional districts to support rural cycling by passing the attached resolution call for investment in rural cycling infrastructure. We're asking that Esquimalt support this motion.

I'm happy to chat, should you have comments or questions. Please forward a scanned signed copy of the resolution to: [velovillage2012@gmail.com](mailto:velovillage2012@gmail.com)

Very best,

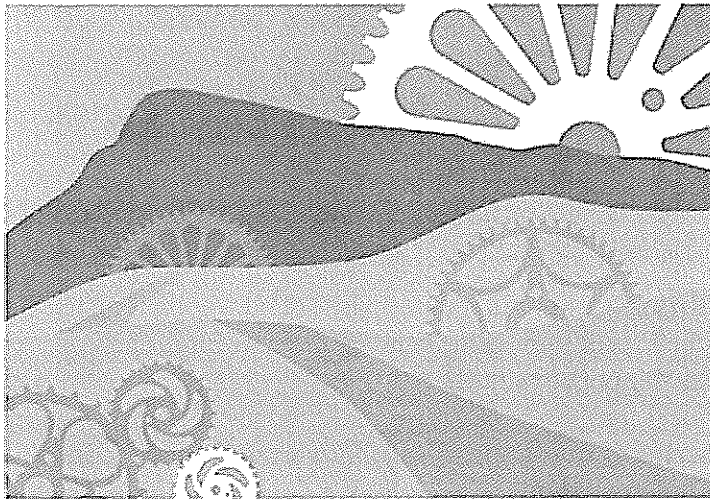
John Rowlandson, Velo Village Team Lead  
 Island Pathways, Salt Spring Island, British Columbia, Canada

Phone: 250 653 4049, Web: <http://www.velovillage.ca>

# VELO VILLAGE

## SALT SPRING ISLAND

### BICYCLE-HEAVEN-ON-EARTH



JUNE 21-23 • 2012

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[www.velovillage.ca](http://www.velovillage.ca)

## **PROVINCIAL FUNDING FOR CYCLING INFRASTRUCTURE**

WHEREAS the Union of British Columbia Municipalities has consistently endorsed resolutions calling for development, improvement and augmentation of cycling infrastructure, including but not limited to:

- frequent sweeping of bike lanes (2011-B19);
- increased width and refurbished road shoulders to accommodate cycling (2010-B16, 2007-B14, 2007-B99);
- a BC Cycling Development Program (2010-B17);
- revenue sharing for cycling infrastructure intersecting provincial highways (2009-B83);
- safer cycling conditions to encourage ridership (2008-B108);
- bicycle lane funding (2007-B100, 2006-B140); and
- infrastructure for non-greenhouse gas emitting transportation (2006-B110);

AND WHEREAS rural cycling infrastructure strengthens communities by:

- increasing the safety of cycling on rural roads;
- supporting the growth of cycle tourism;
- addressing local climate change challenges;
- providing transportation and recreation alternatives;
- establishing links with existing urban and regional cycling networks; and
- enabling small business access to new commercial corridors and markets;

THEREFORE BE IT RESOLVED that [My Local Government] urges the Province of British Columbia to invest in cycling infrastructure in rural communities, in order to accelerate the availability and broaden the range of cycling opportunities for commuter, recreational and competitive cyclists living in and visiting rural and urban areas.

### **Reference Documents:**

Salish Sea Statements on Cycling & Rural Mobility

[http://www.velovillage.ca/wp-content/uploads/SSSOCandRM\\_English.pdf](http://www.velovillage.ca/wp-content/uploads/SSSOCandRM_English.pdf)

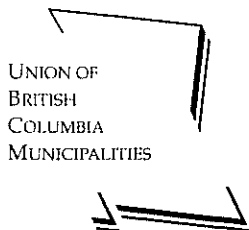
Salish Sea Statements on Cycling & Rural Mobility – Body of Knowledge

[http://www.velovillage.ca/wp-content/uploads/SSSOCandR\\_BOK.pdf](http://www.velovillage.ca/wp-content/uploads/SSSOCandR_BOK.pdf)

Please forward a scanned signed copy of this resolution to:  
[velovillage2012@gmail.com](mailto:velovillage2012@gmail.com)

# Local Government Program Services

...programs to address provincial-local government shared priorities



UNION OF  
BRITISH  
COLUMBIA  
MUNICIPALITIES

Administration provided  
by UBCM

Funding provided by  
Province of B.C.



The Best Place on Earth

**For program  
information, visit the  
Funding Programs  
section at:**

[www.ubcm.ca](http://www.ubcm.ca)

LGPS Secretariat

Local Government House  
525 Government Street  
Victoria, BC, V8V 0A8

E-mail: [lgps@ubcm.ca](mailto:lgps@ubcm.ca)  
Phone: (250) 356-5134  
Fax: (250) 356-5119

February 3, 2012

Mayor Desjardins and Council  
Township of Esquimalt  
1229 Esquimalt Road  
Esquimalt, BC, V9A 3P1

## Re: 2012 Age-friendly Community Projects & Planning Grant - Approval and Terms & Conditions

Dear Mayor and Council,

Thank you for submitting an application for the 2012 Age-friendly Community Projects & Planning grant program funded through the Seniors' Housing & Support Initiative. We received more than 80 applications from communities across the province and for a range of projects.

I am pleased to inform you that the Evaluation Committee has approved funding for your project, *Seniors' Outdoor Park and Fitness Programs*, in the amount of \$20,000.00.

A cheque in the amount of \$14,000.00 will follow shortly under separate cover. This amount represents 70 percent of the total approved grant. The remaining 30 percent will be available after a satisfactory final report and financial summary has been submitted to UBCM.

The Ministry of Health has provided funding for this program.

The general Terms & Conditions for this grant are attached. In addition, in order to satisfy the terms of the contribution agreement, we have the following requirements:

- (1) The funding is to be used solely for the purpose of the above named project and for the expenses itemized in the budget that was approved as part of your application;
- (2) All project activities must be completed within 12 months and no later than January 31, 2013;
- (3) The Final Report Form is required to be submitted to UBCM within 30 days of project end date and no later than February 28, 2013.
- (4) Any unused funds must be returned to UBCM within 30 days following the project end date.

<b>CORPORATION OF THE TOWNSHIP OF ESQUIMALT</b>		
For Information:		
<input type="checkbox"/> CAO	<input type="checkbox"/> Mayor/Council	
<input type="checkbox"/>		
RECEIVED: FEB 16 2012		
Referred: <u>Mary Scott</u>		
<input type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input checked="" type="checkbox"/> Council Agenda <i>(letter)</i>	<input type="checkbox"/> IC

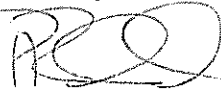
Please note that descriptive information regarding successful applicants under the 2012 Age-friendly Community Projects & Planning grant program will be posted on UBCM's website and all progress and final report materials will be made available to the Ministry of Health.

We would also like to encourage all grant recipients to utilize the Age-Friendly guides as part of their projects. *Becoming an Age-friendly Community: Local Government Guide*, the *Global Age-Friendly Cities Guide* and *Age-Friendly Rural and Remote Guide* are on the UBCM website and at [www.SeniorsBC.ca/agefriendly](http://www.SeniorsBC.ca/agefriendly).

On behalf of the Evaluation Committee, I would like to congratulate you for responding to this opportunity to develop planning tools, documents and community projects that support age-friendly communities and increase opportunities for seniors to age in place and wish you success in your project.

If you have any questions, please feel free to contact Local Government Program Services at (250) 356-5134 or by email at [lgps@ubcm.ca](mailto:lgps@ubcm.ca).

Sincerely,



Peter Ronald  
Programs Officer

cc: Gillian Rowan, 50+ Recreation Programmer, Township of Esquimalt

Enclosure



## Local Government Program Services

# General Funding Terms & Conditions

*The purpose of these Terms and Conditions is to provide basic information on the administration of Local Government Program Services (LGPS) grants. For specific information regarding the terms and conditions of each funding program, please refer to the Program & Application Guide.*

### 1. Definitions

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- **Approved Applicant** - In general, LGPS grants are awarded to local governments (regional districts and municipalities). However, under some programs, other organizations, such as First Nations and aboriginal organizations or boards of education, can be the approved applicant. The approved applicant is the primary contact for UBCM and is responsible for overall grant management.
- **Approved Partner(s)** - Are organizations that contribute directly to the approved project, are identified in the application and are approved by UBCM. Possible partners include, but are not limited to, boards of education, health authorities, First Nations or aboriginal organizations, non-profit organizations and local governments (other than the applicant).
- **Approved Project** - Is the activity or activities described in the application and approved by UBCM.
- **Cash Expenditures** - Are direct costs properly and reasonably incurred and paid for with money by the approved applicant or approved project partners for the development or implementation of the approved project. For example, catering and consultant fees can be cash expenditures.
- **In-Kind Expenditures** - Are the use of resources of the approved applicant or approved project partner for the development or implementation of the approved project. For example, the use of meeting rooms owned by the applicant or approved partner can be an in-kind expenditure.
- **Program & Application Guides** - Are the application and program materials prepared by UBCM to describe the program and assist applicants in completing and submitting an application. All Program & Application Guides are available at [www.ubcm.ca](http://www.ubcm.ca).

### 2. Eligible & Ineligible Costs

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Eligible costs, including cash and in-kind expenditures, are direct costs properly and reasonably incurred by the approved applicant or approved partners in the development or implementation of the approved project. To be eligible, these costs must be outlined in the detailed budget submitted by the approved applicant as part of the application process and be approved by UBCM. Requests to change the budget must be made to UBCM, in writing, by the approved applicant (see below). Please see the Program & Application Guide for specific notes regarding eligible and ineligible costs.

### 3. Post-Approval Terms

---

#### Notice of Approval

UBCM will inform approved applicants by letter and a specified percentage of the approved grant amount will be forwarded upon approval. The balance will be paid on satisfactory completion of the project and receipt of all final reporting requirements.

#### Applicant Responsibilities

LGPS grants are awarded to approved applicants. When collaborative projects are undertaken, the approved applicant remains the primary organization responsible for the grant. Due to this, the approved applicant is the primary contact for UBCM and is responsible for:

- Ensuring that approved activities are undertaken as outlined in the approved application and within the required timeline,
- Providing proper fiscal management of the grant and approved project (see below), and

- Submitting progress and/or final reports, using UBCM forms where available, as required by the Program & Application Guide (see below).

### **Accounting Records**

Acceptable accounting records must be kept that clearly disclose the nature and amounts of cash and in-kind expenditures incurred during the development or implementation of the approved project. Financial summaries are required to be submitted as part of the final report and must be signed by a representative of the approved applicant (or as required in the Program & Application Guide). In all cases, the final project expenditure must be net of any rebates (such as HST) that the approved applicant or approved partner is eligible to receive.

### **Changes to or Cancellation of Approved Project**

Approved applicants need to advise UBCM, in writing, of any significant variation from the approved project as described in the approved application, including any major changes to:

- Start or end dates
- Cash and in-kind expenditures or matching funds (when required)
- Project purpose, goals, outcomes or milestones
- Project partners

UBCM's approval may be required in advance for such changes. If an approved project is cancelled, the approved applicant is responsible for ensuring any grant monies that have been advanced are returned to UBCM within 30 days, or as outlined in the Program & Application Guide.

## **4. Reporting Requirements**

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### **Submission of Reports**

Approved applicants are required to submit progress and final reports as outlined in the Program & Application Guide. When UBCM forms are available, they are required to be used. Please note the following when submitting a report:

- When completing a UBCM report form please ensure that each question is answered and that all attachments are complete. Follow any sample templates that UBCM provides.
- When a report form is not required, please ensure that each required component, as outlined in the Program & Application Guide, is addressed in your report and that all attachments are complete.
- Unless specifically requested, please do not bind reports or submit in binders or folders.
- When submitting electronically, submit all documents as Word or PDF files.
- All digital photos or images should be submitted, by e-mail or on CD, as JPEG files.
- When you are ready to submit your report, please e-mail it directly to [lgps@ubcm.ca](mailto:lgps@ubcm.ca) or mail/fax it to Local Government House: 525 Government Street, Victoria, BC, V8V 0A8 or Fax: (250) 356-5119

### **Extensions and Outstanding Reports**

In order for an approved project to continue past the approved end date – or for a final report to be submitted after the established deadline – approved applicants must contact LGPS and request *and be granted* permission for an extension.

Approved applicants that do not request extensions and have outstanding reports may forfeit the final payment of their grant and may not be eligible to apply to future LGPS programs until reports are received.

## **5. Recognition of Funding and Funders**

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Approved applicants should contact UBCM for more information on recognizing funding and for information on the appropriate use of logos. Please contact Paul Taylor, Relationships & Communications Advisor, at (250) 356-2938 or [ptaylor@ubcm.ca](mailto:ptaylor@ubcm.ca).



Maritime Forces Pacific  
PO Box 17000 Station Forces  
Victoria BC V9A 7N2

0097-1110-0 (BComd/RDIMS 200160)

13 February 2012

Mayor Barbara Desjardins  
Township of Esquimalt Municipal Hall  
1229 Esquimalt Road  
Esquimalt, BC V9A 3P1

REQUEST FOR FREEDOM OF THE CITY –  
TOWNSHIP OF ESQUIMALT CENTENNIAL 2012

Your Worship,

It is a tremendous pleasure, on behalf of Rear-Admiral Nigel Greenwood, Commander Maritime Forces Pacific, that I accept your invitation for members of the Canadian Forces in Esquimalt to exercise our right to Freedom of the Township on June 7th, 2012.

The histories of the Township of Esquimalt and the Canadian Forces Base that bears the same name have been inexorably linked since the inception of both. It will be an honour to celebrate publicly that long and close relationship in an auspicious year marking both your township's centennial and the 40th anniversary of the first granting of the right of Freedom of the Township to the local military forces.

The Freedom of the Township will be a way of recognizing our shared history, equally it will allow us to re-emphasize the excellent rapport that defines our neighbouring communities as we look to the future with optimism.

C.A. Baines  
Captain (Navy)  
Base Commander

<b>CORPORATION OF THE TOWNSHIP OF ESQUIMALT</b>		
For Information:		
<input type="checkbox"/> CAO	<input type="checkbox"/> Mayor/Council	
<input type="checkbox"/>		
RECEIVED: FEB 16 2012		
Referred: <i>Centennial</i>		
<input type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input checked="" type="checkbox"/> Council Agenda	<input type="checkbox"/> IC



cc:

Mr. Bob McKie  
Co-Chair  
Buccaneer Days Committee  
PO Box 36030-1153 Esquimalt Road  
Esquimalt BC V9A 3N7

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## RISE AND REPORT

From: *In Camera* Meeting of February 13, 2012

To: Meeting of Municipal Council – February 20, 2012

Item:

(a) Esquimalt Policing and Law Enforcement Advisory Panel

At the Special *In Camera* meeting of Council held on February 13, 2012, Council passed the following resolution:

That Council direct the Esquimalt Policing and Law Enforcement Advisory Panel to add a public input component to their meeting agenda and further direct that the public notification process followed for committees of Council also be followed for all future Panel meetings.

That Council issue a media advisory outlining the updated timeline for 2012 and advising of the changes to the Esquimalt Policing and Law Enforcement Advisory Panel meeting agendas and public notification process.