



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

File 0550-06

February 2, 2012

NOTICE

**A REGULAR MEETING OF COUNCIL WILL BE HELD ON
MONDAY, FEBRUARY 6, 2012 AT 7:00 PM, IN THE
COUNCIL CHAMBERS, ESQUIMALT MUNICIPAL HALL,
1229 ESQUIMALT ROAD.**

**ANJA NURVO
CORPORATE OFFICER**



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

A G E N D A
REGULAR MEETING OF COUNCIL

Monday, February 6, 2012
7:00 p.m.
Esquimalt Council Chambers

1. **CALL TO ORDER**

2. **LATE ITEMS**

3. **APPROVAL OF THE AGENDA**

4. **MINUTES**

- | | |
|-----------------------------------------------------------------|-------------|
| (1) Minutes of the Special Meeting of Council, January 16, 2012 | Pg. 1 – 3 |
| (2) Minutes of the Regular Meeting of Council, January 16, 2012 | Pg. 4 – 12 |
| (3) Minutes of the Regular Meeting of Council, January 23, 2012 | Pg. 13 – 17 |
| (4) Minutes of the Special Meeting of Council, January 25, 2012 | Pg. 18 – 19 |

5. **PRESENTATION**

- (1) Werner Hofstaatter, Wood First on the South Island, Re: Wood First Commitment

6. **PUBLIC INPUT (On items listed on the Agenda)**

Excluding items which are or have been the subject of a Public Hearing.

7. **PUBLIC HEARING**

The Public Hearing is to afford all persons who deem their interest in property affected by the Bylaw an opportunity to be heard or to present written submissions before the Municipal Council on matters contained in the Bylaw.

(1) PUBLIC HEARING – REZONING APPLICATION AND DEVELOPMENT PERMIT [616 LAMPSON STREET]

- | | |
|----------------------------------------------------------------------|--------|
| i) Notice of Hearing | Pg. 20 |
| ii) Background Information – <i>Available for Viewing Separately</i> | |
| • Staff Report No. DEV-11-102 | |
| • Staff Report No. DEV-12-006 | |

PUBLIC INPUT

ADJOURNMENT OF HEARING

8. PUBLIC HEARING STAFF REPORT

- (1) Rezoning Application and Development Permit, 616 Lampson Street, [Lot 5, Section 11, Esquimalt District, Plan 4618], Staff Report No. DEV-12-010 Pg. 21 – 96

RECOMMENDATION:

1. That Bylaw No. 2785, to amend Zoning Bylaw, 1992, No. 2050 by changing the zoning designation of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street] shown cross-hatched on Schedule 'A', attached hereto, from RD-3 [Two Family /Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81], be given **third reading and adoption**; and
2. That Development Permit No. 16/2011, limiting the form and character of the proposed development to that shown on architectural plans provided by Keay and Associate, Architecture Ltd., stamped "Received October 25, 2011", the landscape plan prepared by LADR Landscape Architects, stamped "Received October 25, 2011 and including improvements to the existing home as detailed in the letter provided by Van-Isle Project Management Ltd. stamped "Received October 25, 2011", and sited as detailed on the survey plan prepared by Brad Cunnin Land Surveying, stamped "Received November 15, 2011", be **approved, issued and registered** on the title of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street].

9. STAFF REPORTS

Administration

- (1) CRD Inter-Municipal Climate Action Steering Committee, Staff Report No. ADM-12-009 Pg. 97 – 102

RECOMMENDATION:

That Council appoint an elected official from the municipality to participate on the CRD Inter-Municipal Climate Action Steering Committee.

- (2) UBCM Membership Dues, Staff Report No. ADM-12-010 Pg. 103 – 108

RECOMMENDATION:

That Council consider the Motion made at the Regular meeting held on January 23, 2012, which was tabled to the Regular meeting on February 6, 2012.

Engineering and Public Works

- (3) Lockley Road Traffic Order 1193, Staff Report No. EPW-12-003 Pg. 109 – 111

RECOMMENDATION:

That Council approve the following Traffic Order (TO):

- TO # 1193 – that a “No Left Turn” sign be installed in the boulevard on the north east corner of the Lockley Road and Admirals Road intersection.

- (4) Funding for Proposed Traffic Calming Measures Along Old Esquimalt Road, Staff Report No. EPW-12-004 Pg. 112 – 115

RECOMMENDATION:

That Council designate the project relating to traffic calming measures along Old Esquimalt Road as a resident driven initiative for the development as a Local Area Service as per the requirements of the Community Charter.

10. BYLAWS

For Adoption

- (1) Revenue Anticipation Borrowing Bylaw, 2012, No. 2786 Pg. 116 – 117

11. MAYOR’S AND COUNCILLORS’ REPORTS

- (1) Report from Councillor Meagan Brame, Re: Association of Vancouver Island Coastal Communities (AVICC) Pg. 118

12. REPORTS FROM COMMITTEES

- (1) Adopted minutes from the Centennial Celebrations Select Committee meeting, December 21, 2011 Pg. 119 – 124
- (2) Draft minutes from the Advisory Planning Commission meeting, January 17, 2012 Pg. 125 – 130

13. COMMUNICATIONS

- (1) Letter from Eric Pattison, Heritage BC, dated January 16, 2012, Re: Heritage Week 2012 Pg. 131
- (2) Letter from Dan Boot and Dan Melville, Small Modern Living and EcoTec Homes, dated January 16, 2012, Re: Small Affordable Housing Units Pg. 132 – 133
- (3) Email from the Federation of Canadian Municipalities, dated January 19, 2012, Re: Registration for FCM’s 75th Annual Conference and Trade Show Pg. 134 – 143
- (4) Email from the Association of Vancouver Island Coastal Communities, dated January 23, 2012, Re: 2012 AVICC AGM and Convention Program Brochure and Registration Pg. 144 – 151

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- (5) Letter from the Esquimalt Ministerial Association, dated January 2012, Re: Letter of Congratulations to Council in Recent Election Pg. 152 – 153
- (6) Email from the Association of Vancouver Island Coastal Communities, dated January 24, 2012, Re: Draft Meeting Minutes of November 22, 2011 Consultation on Aquaculture Meeting Pg. 154 – 163
- (7) Letter from Minister Shirley Bond, Solicitor General and Attorney General, dated January 24, 2012, Re: Policing Services in the Township of Esquimalt Pg. 164
- (8) Letter from Barry O'Neill, CUPE BC Division, dated January 24, 2012, Re: Request for Consideration of Resolutions on Public Private Partnerships and Proposed Canada European Union Trade Agreements (CETA) Pg. 165 – 168
- (9) Email from Association of Vancouver Island Coastal Communities, dated January 30, 2012, Re: Invitation to Participate in a Healthy Families BC Communities Consultation Session Pg. 169 – 174
- 14. RISE AND REPORT**
- (1) Report from the *In Camera* Meeting of Council, January 25, 2012, Re: Director of Development Services Position Pg. 175
- 15. PUBLIC QUESTION AND COMMENT PERIOD**
*Excluding items which are or have been the subject of a Public Hearing.
Limit of two minutes per speaker.*
- 16. ADJOURNMENT**



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

**MINUTES
SPECIAL MEETING
OF MUNICIPAL COUNCIL
MONDAY, JANUARY 16th, 2012**

**5:45 P.M.
COUNCIL CHAMBERS**

PRESENT:

Mayor Barbara Desjardins
Councillor Meagan Brame
Councillor Dave Hodgins
Councillor Lynda Hundleby
Councillor Robert McKie
Councillor Tim Morrison
Councillor David Schinbein

STAFF:

Laurie Hurst, Chief Administrative Officer
Anja Nurvo, Manager of Corporate Services
[Recording Secretary]

1. **CALL TO ORDER**

Mayor Desjardins called the Special Meeting of Council to order at 5:45 p.m.

2. **LATE ITEMS**

A new item was added to the *In Camera* agenda pertaining to a labour relations issue.

3. **APPROVAL OF THE AGENDA**

MOTION: Moved by Councillor Brame/Councillor Hundleby:
That the Agenda be approved as amended.

CARRIED UNANIMOUSLY.

4. **MOTION TO GO *IN CAMERA***

MOTION: Moved by Councillor Brame/Councillor McKie:
That Council convene *In Camera* pursuant to Section 90 of the *Community Charter* to discuss:

- Personal information about an identifiable individual who is being considered for a municipal award or honour, or who has offered to provide a gift to the municipality on condition of anonymity; and
- The receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose; and
- Negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public; and
- The consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party; and
- Labour relations and other employee relations

in accordance with Section 90 (1) (b), (c), (i), (k) and 90 (2) (b) of the *Community Charter*, and that the general public be excluded.

CARRIED UNANIMOUSLY.

5. **ADJOURNMENT**

MOTION: Moved by Councillor Brame/Councillor McKie:
That the Special Meeting of Council be adjourned at 5:46 p.m.
CARRIED UNANIMOUSLY.

MAYOR OF THE CORPORATION OF THE
TOWNSHIP OF ESQUIMALT
THIS DAY OF FEBRUARY, 2012

CERTIFIED CORRECT:

ANJA NURVO
CORPORATE OFFICER



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

MINUTES
REGULAR MEETING
OF MUNICIPAL COUNCIL
MONDAY, JANUARY 16, 2012

7:02 P.M.
COUNCIL CHAMBERS

PRESENT:

Mayor Barbara Desjardins
Councillor Meagan Brame
Councillor Dave Hodgins
Councillor Lynda Hundleby
Councillor Robert McKie
Councillor Tim Morrison
Councillor David Schinbein

STAFF:

Laurie Hurst, Chief Administrative Officer
Barbara Snyder, Director of Development Services
Jeff Miller, Director of Engineering & Public Works
David Ward, Fire Chief
Anja Nurvo, Manager of Corporate Services
Mary Turner, Deputy Director of Finance & IT
Louise Payne, Recording Secretary

1. **CALL TO ORDER**

Mayor Desjardins called the meeting to order at 7:02 p.m.

2. **LATE ITEMS**

MOTION: Moved by Councillor McKie/Councillor Morrison:

The following items be added to the Agenda:

1. As Item 8. (4): Council Strategic Priorities Chart, Staff Report No. ADM-12-004;
2. As new Item 13. (and renumber balance of Agenda): Rise and Report from Special *In Camera* meeting held January 16, 2012

CARRIED UNANIMOUSLY.

3. **APPROVAL OF THE AGENDA**

MOTION: Moved by Councillor McKie/Councillor Morrison:

That the Agenda be approved as amended.

CARRIED UNANIMOUSLY.

4. **MINUTES**

MOTION: Moved by Councillor Brame/Councillor Hundleby:

That the Minutes of the following meetings be approved as circulated:

- (1) Minutes of the Special Meeting of Council, December 12, 2011
- (2) Minutes of the Special Meeting of Council, December 19, 2011
- (3) Minutes of the Special Meeting of Council, January 9, 2012

CARRIED UNANIMOUSLY.

5. **PRESENTATIONS**

Mayor Desjardins asked for a Moment of Silence for Mr. Joe Wilson, the last survivor of the sinking of the H.M.C.S. Esquimalt on April 16, 1945, who died on Sunday, January 1, 2012 at 100 Mile House, BC.

- (1) Karel Roessingh, Chair, Greg Bunyan, Vice Chair, Maureen Sawa, CEO and Donna Philips, Finance Manager/Treasurer, Greater Victoria Public Library Board (2012) Budget

Mr. Karel Roessingh and Ms. Maureen Sawa presented a PowerPoint presentation on the Greater Victoria Public Library Board's 2012 Budget, with a requested increase of 2.85%, and answered questions from Council.

Council comments/questions (*Responses in italics*):

- Has the Board considered a 0% increase? *Would need to cut \$575,000 across the Board;*
- What about Sunday services? *Brought back limited Sunday service last year and is a priority of the Board to continue Sunday openings;*
- Partnerships Library is developing are huge support to youth; however want to see outreach to seniors; *Board is looking for alternative funding for Library programs.*

- (2) Chief Jamie Graham and Scott Seivewright, Controller, Victoria Police Department (2012) Budget

Chief Jamie Graham and Mr. Scott Seivewright presented a PowerPoint presentation on the Victoria Police Department 2012 Budget, with a requested 3.3% increase to the overall budget, and answered questions from Council.

Council comments/questions (*Response in italics*):

- Budget presents a solid case for regional policing; *Victoria PD has developed a Strategic Plan for next 20 years, and the cornerstone of this Plan is regional policing;*
- Concern expressed with Canada Day policing costs; *Police are involved in extensive planning process for this event;*
- Suggestion to charge more for "renting jails"; *Agreement in place for these rates that do not reflect updates to jails; issue went to UBCM to get more cost recovery from the Provincial Gov't for the operation of jails;*
- Does Victoria PD track the number of prisoners from Esquimalt? (Yes); Can provide these statistics to Esquimalt Council? (Yes).

6. **PUBLIC INPUT**

Rod Lavergne, resident, expressed his appreciation for the posting of the Council Agenda package online.

7. **DELEGATION**

- (1) Tony Cond, Robert Youds and Joe Rozon, Old Esquimalt Road Safety Committee, Request for Traffic Calming Measures

Mr. Tony Cond outlined concerns of the neighbourhood regarding safety and speeding along Old Esquimalt Road, particularly between Dominion Street and Park Terrace, and requested that Council consider a speed reduction program (traffic calming measures) as a new Capital funding expenditure for 2012 at a cost of approximately \$70,000.00 to implement the final phase of speed control measures on Old Esquimalt Road.

8. **STAFF REPORTS**

Engineering and Public Works

- (1) Traffic Order No. 1192 – Park Place, Staff Report No. EPW-12-001

MOTION: Moved by Councillor Hodgins/Councillor McKie:
That Council repeal Traffic Order No. 153; and
That Traffic Order No. 1192 be adopted.

CARRIED UNANIMOUSLY.

Fire Rescue

- (2) False Alarm Bylaw, Staff Report No. FIRE-12-001

The Fire Chief reviewed Staff Report No. FIRE-12-001 and answered questions from Council. He agreed to notify media and provide a hand out when responding to a false alarm, and to provide security companies with this information.

MOTION: Moved by Councillor Brame/Councillor Hundleby:
That False Alarm Bylaw, 2012, No. 2784 be read a 1st, 2nd and 3rd time.

CARRIED (Councillor Hodgins opposed).

Development Services

(3) Rezoning Application and Development Permit, 616 Lampson Street, [Lot 5, Section 11, Esquimalt District, Plan 4618], Staff Report No. DEV-12-006

The Director of Development Services reviewed Staff Report No. DEV-12-006 and answered questions from Council.

MOTION: Moved by Councillor Hundleby/Councillor Schinbein:
That the proponents be invited to speak to Council regarding the rezoning and Development Permit applications for 616 Lampson Street.

CARRIED UNANIMOUSLY.

Mr. Ron Warrington, project manager, was present to answer questions from Council.

Council comments (*Response in italics*):

- Owners of 612 Lampson Street have issues regarding the driveway; *Letter of proposal response received this afternoon;*
- Would like to go forward with Public Hearing with outstanding issues resolved; *Ongoing negotiation is between two property owners.*

MOTION: Moved by Councillor Brame/Councillor McKie:
That Bylaw No. 2785, to amend Zoning Bylaw, 1992, No. 2050 by changing the zoning designation of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street] shown cross-hatched on Schedule 'A', attached hereto, from RD-3 [Two Family /Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81], **be given 1st and 2nd reading**; and
That a Public Hearing be scheduled; and
That prior to a Public Hearing, a draft Development Permit limiting the form and character of the proposed development to that shown on architectural plans provided by Keay and Associate, Architecture Ltd., stamped "Received October 25, 2011", the landscape plan prepared by LADR Landscape Architects, stamped "Received October 25, 2011", and sited as detailed on the survey plan prepared by Brad Cunnin Land Surveying, stamped "Received November 15, 2011", be returned to Council for consideration.

CARRIED (Councillor Hundleby opposed).

Mayor Desjardins recessed the meeting at 9:03 pm., and the meeting reconvened at 9:09 pm with all members of Council present.

Administration

(4) Council Strategic Priorities Chart, Staff Report No. ADM-12-004

Mayor Desjardins advised that an in-depth report will be coming forward to Council requesting public input.

MOTION: Moved by Councillor Brame/Councillor Hodgins:
That Council approve the Strategic Priorities Chart; and
That Council direct staff to prepare a media release and post the Strategic Priorities Chart on the Township website; and
That Council direct that a draft comprehensive report be prepared from Council's Strategic Planning session for Council's review.

CARRIED UNANIMOUSLY.

9. **BYLAWS**

For Adoption

(1) Fire Protection and Control Bylaw, 2011, No. 2783

MOTION: Moved by Councillor McKie/Councillor Brame:
That Fire Protection and Control Bylaw, 2011, No. 2783 be **adopted**.
CARRIED (Councillor Hodgins opposed).

10. **MAYOR'S AND COUNCILLORS REPORTS**

There were no reports.

11. **REPORTS FROM COMMITTEES**

(1) Committee of the Whole Report, January 9, 2012

MOTION: Moved by Councillor Brame/Councillor Schinbein:
That Council approve the following recommendations from the Committee of the Whole meeting of January 9, 2012:

1. Voting on Motions, Staff Report No. ADM-12-001

That Council continue to vote on motions in the manner set out in the Council Procedure Bylaw No. 2715, 2009.

2. Report on Development Permits Issued by the Director, Staff Report No. DEV-12-001

That the Director of Development Services continue to review and issue Development Permits for projects that fall within the scope of the work authorized by Bylaw No. 2751.

3. Esquimalt Village Plan (EVP) Update, Staff Report No. DEV-12-003

That Staff Report No. DEV-12-003 regarding the Esquimalt Village Plan (EVP) Update be received for information;

That discussion take place around whether the site should be retained by the Township, sold outright, or developed in partnership with one or more developers;
That a public meeting be held prior to the official Public Hearing to convey factual information and hear concerns; and
That a Public Hearing be scheduled.

4. Development Permit, 880-D Esquimalt Road, [Lot 2, Section 11, Esquimalt District, Plan 47946], Staff Report No. DEV-12-004

That the application for a Development Permit limiting the form and character of development to that shown on architectural plans provided by Graphvette Design and Drafting, stamped "Received December 5, 2011", for the proposed tenant improvements and signage located at Lot 2, Section 11, Esquimalt District, Plan 47946 [880-D Esquimalt Road], be forwarded to Council with a **recommendation of approval.**

CARRIED UNANIMOUSLY.

- (2) Special Committee of the Whole Report, January 16, 2012

MOTION: Moved by Councillor Brame/Councillor Hundleby:
That Council approve the following recommendation from the Special Committee of the Whole meeting of January 16, 2012:

1. Report from Mayor Barbara Desjardins, Re: Committees – 2012 Structure and Terms of Reference
 - a. That with the revisions set out below, Council confirms the existing Committee structure and the following Committee Terms of Reference:
 - ADMIN-47 Environmental Advisory Committee
 - ADMIN-48 Arts, Culture and Special Events Advisory Committee
 - ADMIN-50 Heritage Advisory Committee
 - ADMIN-51 Parks and Recreation Advisory Committee
 - ADMIN-63 Centennial Celebrations Select Committee
 - b. Access Awareness Advisory Committee: that the Access Awareness Advisory Committee be dissolved and Council Policy No. ADMIN-49 Terms of Reference for the Access Awareness Advisory Committee be repealed.
 - c. Parks and Recreation Advisory Committee: that Council Policy No. ADMIN-51 Terms of Reference for the Parks and Recreation Advisory Committee be revised so that one of the community representatives (being a Full Voting Member) is to be appointed by Council for the purpose of providing an accessibility focus to the Committee.
 - d. Environmental Advisory Committee (EAC): that Council Policy No. ADMIN-47 Terms of Reference for the EAC be

revised so that one of the community representatives (being a Full Voting Member) is to be appointed by Council to also participate in the Advisory Planning Commission as a non-voting member for the purpose of providing an environmental focus to the Committee.

- e. Advisory Planning Commission (APC): that the membership of the APC is to be revised, on a trial basis, to include three additional non-voting members: two members to be appointed by Council from the community for the purpose of providing an accessibility focus to the APC, and one member to be appointed by Council from the membership of the EAC for the purpose of providing an environmental focus to the APC. These changes to the APC will remain in effect during 2012, and at the end of the year will be re-evaluated by Council. If Council is of the opinion that the new members and cross-appointment is working well and that such revisions should be permanent, then the Bylaw establishing the APC will need to be formally amended.
- f. That Council conduct interviews for Committee memberships and make appointments to Committees.

CARRIED (Councillor Hodgins opposed).

12.

COMMUNICATIONS

MOTION: Moved by Councillor Brame/Councillor Hundleby:

That the following communications be received:

- (2) Letter from Marg Misk-Evans, Capital Regional District, dated December 13, 2011, Re: Correspondence of October 25, 2011 Regarding Wildlife Control and Management;
- (3) Letter from Gary MacIsaac, Chair, Gas Tax Management Committee, Union of British Columbia Municipalities, dated December 13, 2011, Re: Gas Tax General Strategic Priorities Fund and Innovations Fund Applications; and
- (5) Letter from David McArthur, Chief of Staff, Office of the Minister of Aboriginal Affairs and Northern Development, dated January 3, 2012, Re: E & N Rail Funding and Water Lot Leases.

CARRIED UNANIMOUSLY.

- (1) Letter from Mayor John Ranns, District of Metchosin, dated December 2, 2011, Re: Victoria Rapid Transit

MOTION: Moved by Councillor Hundleby/Councillor Schinbein:

That a letter be sent to the Capital Regional District Board of Directors in support of Mayor Ranns' letter regarding Victoria Rapid Transit.

CARRIED UNANIMOUSLY.

- (4) Letter from Glenn Harris, Capital Regional District, dated December 29, 2011, Re: Inter-Municipal Climate Action Steering Committee

MOTION: Moved by Councillor Hundleby/Councillor Brame:
That further consideration of the letter dated December 29, 2011 from the Capital Regional District be **tabled until the February 6, 2012 Regular Meeting of Council**; and that staff be directed to obtain further information regarding the Inter-Municipal Climate Action Steering Committee.

CARRIED UNANIMOUSLY.

- (6) Letter from Sandra Dixon, received January 9, 2012, Re: Money Markets

MOTION: Moved by Councillor McKie/Councillor Brame:
That the letter from Sandra Dixon regarding Money Markets be received; and
That staff be directed to determine the level of interest, and their needs, of the Toronto Dominion Bank locating a branch in Esquimalt.

CARRIED UNANIMOUSLY.

13. RISE AND REPORT

- (a) Policing Services – Release of Information

At the Special *In Camera* meeting held on January 16, 2012, Council passed the following resolution:

That Council direct the Esquimalt Policing and Law Enforcement Advisory Panel to disclose information contained in the proposals submitted under RFP ESQ No. 01-011 and the final report as submitted to the Solicitor General and Director of Police Services as part of their Communication Strategy only where the information has been the subject of consultation with and agreement by either the proponents or the Solicitor General's office and where the disclosure is appropriate under the confidentiality requirements of the RFP process and applicable legislation.

14. NOTICE OF MOTION

Mayor Desjardins advised that because the motion adopted at the Special *In Camera* meeting held on January 16, 2012 is contrary to the motion included in the Agenda, Council would not vote on Councillor Hodgins' motion.

Councillor Hodgins commented that he hoped, through the resolution adopted at the Special *In Camera* meeting held on January 16, 2012, to provide information to the public that is contained in the final report submitted to the Solicitor General and Director of Police Services by the Esquimalt Policing and Law Enforcement Advisory Panel.

15. PUBLIC QUESTION AND COMMENT PERIOD

Muriel Dunn, resident, inquired about the process and decision not to vote of the Notice of Motion by Councillor Hodgins.

Mayor Desjardins advised that Council made the decision on the release of information regarding policing services at the Special *In Camera* meeting held earlier on January 16, 2012, which is contrary to Councillor Hodgins' motion. Copies of the resolution in the Rise and Report document would be made available to the public.

Theodora Teska, resident, inquired about the soup kitchen adjacent to her property and why the public was not part of the decision to locate the soup kitchen. She expressed concern for an "attitude of despair" that results from supporting soup kitchens in a community.

Mayor Desjardins advised that Council will be receiving a presentation by the Rainbow Kitchen Society in the near future.

16.

ADJOURNMENT

MOTION: Moved by Councillor Hundleby/Councillor Schinbein:
That the Regular Meeting of Council be adjourned at 9:30 p.m.

CARRIED UNANIMOUSLY.

MAYOR OF THE CORPORATION OF THE
TOWNSHIP OF ESQUIMALT
THIS DAY OF FEBRUARY, 2012

CERTIFIED CORRECT:

ANJA NURVO
CORPORATE OFFICER



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

MINUTES
REGULAR MEETING
OF MUNICIPAL COUNCIL
MONDAY, JANUARY 23, 2012

7:00 P.M.
COUNCIL CHAMBERS

PRESENT: Acting Mayor Lynda Hundleby
Councillor Meagan Brame
Councillor Dave Hodgins
Councillor Robert McKie
Councillor Tim Morrison
Councillor David Schinbein

STAFF: Laurie Hurst, Chief Administrative Officer
Barbara Snyder, Director of Development Services
David Ward, Fire Chief, Fire and Rescue
Ritchie Morrison, Communications Coordinator
Anja Nurvo, Manager of Corporate Services
Louise Payne, Recording Secretary

1. **CALL TO ORDER**

Acting Mayor Hundleby called the Regular Meeting of Council to order at 7:00 p.m.

2. **LATE ITEMS**

There were no late items.

3. **APPROVAL OF THE AGENDA**

MOTION: Moved by Councillor Brame/Councillor Morrison:
That the Agenda be approved as circulated.

CARRIED UNANIMOUSLY.

4. **PRESENTATION**

(1) Sandra Richardson, CEO, Victoria Foundation

Sandra Richardson, CEO of the Victoria Foundation made a presentation to Council on the activities of the Foundation, and answered questions from Council.

5. **PUBLIC INPUT**

There was no public input.

6. **STAFF REPORTS**

Administration

(1) Centennial Budget – Early Budget Approval, Staff Report No. ADM-12-007

The Communications Coordinator made a presentation to Council, outlining the activities and budget of the Centennial Celebrations Select Committee, and answered questions from Council.

Council comments (*Response in italics*):

- Any consideration for Donation Box at Centennial events? *People will have to pay for food, but want events to be open to everyone;*
- Concern expressed regarding parking at events; *Planning to discourage driving to events with a "Centennial Bus Token";*
- Applaud years of volunteer time planning this project;
- Concerned about \$180,730 request for Budget funds, as want to be accountable to all residents of Esquimalt; *This is a special community event that want to see move forward to celebrate Centennial Year (2012);*
- Any monies available from gaming? *Most of these funds are already committed.*

MOTION: Moved by Councillor Hodgins/Councillor Schinbein:
That Council approves the early 2012 Budget request by the

Centennial Celebrations Select Committee, as presented in Staff Report No. ADM-12-007.

CARRIED (Councillor Hundleby opposed).

Finance

- (2) Revenue Anticipation Borrowing Bylaw, Staff Report No. FIN-12-002

The CAO/Acting Director of Financial Services advised that the Borrowing Bylaw was a requirement of our financial institution.

MOTION: Moved by Councillor Brame/Councillor McKie:
That the Revenue Anticipation Borrowing Bylaw, 2012, No. 2786, for the year 2012, in the amount of \$2,500,000, be given **1st, 2nd and 3rd reading.**

CARRIED UNANIMOUSLY.

Development Services

- (3) Development Permit, 880-D Esquimalt Road, [Lot 2, Section 11, Esquimalt District, Plan 47946], Staff Report No. DEV-12-007

MOTION: Moved by Councillor Morrison/Councillor Brame:
That Development Permit No. 18/2011, limiting the form and character of development to that shown on architectural plans provided by Graphvette Design and Drafting, stamped "Received December 5, 2011", for the proposed tenant improvements and signage, be **approved, issued and registered** on the title of Lot 2, Section 11, Esquimalt District, Plan 47946 [880-D Esquimalt Road].

CARRIED UNANIMOUSLY.

7. BYLAW

For Adoption

- (1) False Alarm Bylaw, 2012, No. 2784

MOTION: Moved by Councillor Brame/Councillor McKie:
That False Alarm Bylaw, 2012, No. 2784 be **adopted.**

CARRIED (Councillor Hodgins opposed).

8. MAYOR'S AND COUNCILLORS' REPORTS

There were no Mayor or Councillors reports.

9. COMMUNICATIONS

- (1) Letter from Andrew Thomson, Fisheries and Oceans Canada, dated January 3, 2012, Re: BC Aquaculture Regulatory Program

MOTION: Moved by Councillor Brame/Councillor Hodgins:
That the letter from Fisheries and Oceans Canada dated January 3, 2012 regarding BC Aquaculture Regulatory Program be received;
And that a copy of the letter be sent to the Angler's Association.

CARRIED UNANIMOUSLY.

- (2) Letter from Ted Willmer, Union of British Columbia Municipalities dated January 5, 2012, Re: 2012 UBCM Membership Dues

Council expressed concern with a 5% increase in UBCM membership dues for 2012.

MOTION: Moved by Councillor Hodgins/Councillor Brame:
That the letter from Union of British Columbia Municipalities (UBCM) dated January 5, 2012 regarding 2012 UBCM membership dues be received; and
That a letter be sent to UBCM questioning the rationale for a 5% increase in membership fees, with a copy of this letter sent to all municipalities in British Columbia who are members of UBCM.

MOTION: Moved by Councillor McKie/Councillor Hodgins:
That the motion be **tabled** until the February 6, 2012 Regular Meeting of Council; and that staff be directed to investigate the rationale for the 5% increase to UBCM membership fees and report back to Council.

CARRIED UNANIMOUSLY.

- (3) Letter from David Black, Canadian Office and Professional Employees Union Local 378, dated January 12, 2012, Re: Smart Meter Initiative

MOTION: Moved by Councillor Hodgins/Councillor Schinbein:
That the letter from the Canadian Office and Professional Employees Union Local 378 dated January 12, 2012 regarding the Smart Meter Initiative be received for information.

CARRIED UNANIMOUSLY.

10.

PUBLIC QUESTION AND COMMENT PERIOD

Sherry Robinson, resident, expressed her belated appreciation to the Council of 1999 that set aside a piece of land for the Town Square, and suggested that this Council could add to this property, as a legacy project for the Centennial. She also questioned why the art project on the side of the municipal hall was not lit up at night. She also expressed concern that the Welcoming Sign on the south side of Craigflower Road was not in Esquimalt.

Valerie Elliot, resident, wished Council "Happy Chinese New Year", and expressed concern regarding processes in place for development within the municipality.

Muriel Dunn, resident, expressed her appreciation on the Centennial Budget presentation but expressed concern regarding parking for visitors to the events. She also agreed with the previous speaker's concern that the art work on the side of the municipal hall needs to be lit up at night.

11. **MOTION TO GO *IN CAMERA***

MOTION: Moved by Councillor Brame/Councillor McKie:
That Council convene *In Camera* pursuant to Section 90 of the *Community Charter* to discuss:

- Labour relations or other employee relations; and
- The security of the property of the municipality; and
- Litigation or potential litigation affecting the municipality

in accordance with Section 90 (1) (c), (d), and (g) of the *Community Charter*, and that the general public be excluded.

CARRIED UNANIMOUSLY.

12. **ADJOURNMENT**

MOTION: Moved by Councillor Brame/Councillor McKie:
That the Regular Meeting of Council be adjourned at 8:43 p.m.

CARRIED UNANIMOUSLY.

ACTING MAYOR OF THE CORPORATION OF
THE TOWNSHIP OF ESQUIMALT
THIS DAY OF FEBRUARY, 2012

CERTIFIED CORRECT:

ANJA NURVO
CORPORATE OFFICER



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

MINUTES
SPECIAL MEETING
OF MUNICIPAL COUNCIL
WEDNESDAY, JANUARY 25TH, 2012

6:01 P.M.
COUNCIL CHAMBERS

PRESENT: Acting Mayor Lynda Hundleby
Councillor Meagan Brame
Councillor Dave Hodgins
Councillor Robert McKie
Councillor Tim Morrison
Councillor David Schinbein

STAFF: Laurie Hurst, Chief Administrative Officer
Anja Nurvo, Manager of Corporate Services
[Recording Secretary]

1. **CALL TO ORDER**

Acting Mayor Hundleby called the Special Meeting of Council to order at 6:01 p.m.

2. **LATE ITEMS**

There were no late items.

3. **APPROVAL OF THE AGENDA**

MOTION: Moved by Councillor McKie/Councillor Brame:
That the Agenda be approved as circulated.

CARRIED UNANIMOUSLY.

4. **MOTION TO GO *IN CAMERA***

MOTION: Moved by Councillor Schinbein/Councillor Brame:
That Council convene *In Camera* pursuant to Section 90 of the *Community Charter* to discuss:

- Labour relations and other employee relations; and
- The receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose

in accordance with Section 90 (1) (c), and (i) of the *Community Charter*, and that the general public be excluded.

CARRIED UNANIMOUSLY.

5. **ADJOURNMENT**

MOTION: Moved by Councillor Brame/Councillor McKie:
That the Special Meeting of Council be adjourned at 6:02 p.m.

CARRIED UNANIMOUSLY.

ACTING MAYOR OF THE CORPORATION OF
THE TOWNSHIP OF ESQUIMALT
THIS DAY OF FEBRUARY, 2012

CERTIFIED CORRECT:

ANJA NURVO
CORPORATE OFFICER



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Website: www.esquimalt.ca Email: info@esquimalt.ca

Voice: (250) 414-7100
Fax: (250) 414-7111

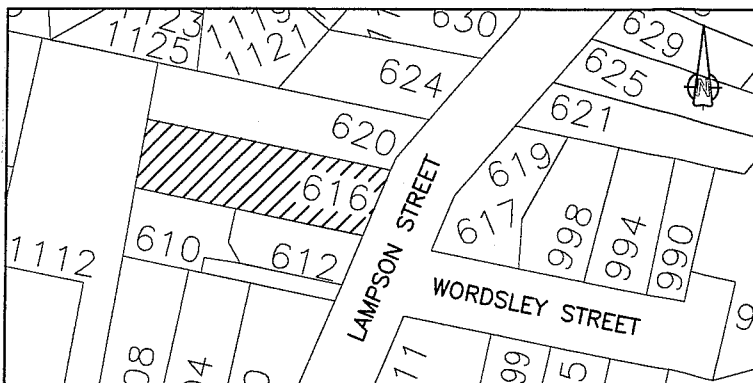
January 20, 2012

NOTICE OF PUBLIC HEARING

An application for a change in zoning and a development permit has been received from Ron Warrington on behalf of Van-Isle Project Management Ltd., the registered owner of 616 Lampson Street. The applicant intends to retain and renovate the existing home, subdivide the property, and construct one [1] new Single Family Residence.

Purpose of the Application:

Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 206], 2012, No. 2785 provides for a change in the zoning designation of 616 Lampson Street [Lot 5, Section 11, Esquimalt District, Plan 4618] shown hatched on the map below from RD-3 [Two Family/ Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81].



Site Location: Lot 5, Section 11, Esquimalt District, Plan 4618
[616 Lampson Street]

The general purpose of this change in zoning is to allow a total of two [2] Single Family Residences on this site. The existing residence would be retained and upgraded and one [1] new Single Family Residence would be constructed on the eastern portion of the site.

The subject property is part of Development Permit Area No. 5 [Enhanced Design Control Residential]. A development permit controlling the form and character of development, including the landscaping, would be registered on the property title.

The Municipal Council will consider this application at 7:00 p.m., **Monday, February 6, 2012 in the Council Chambers, Esquimalt Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C.** Affected persons may make representations to Council at that time or submit a written submission prior to that date.

Information related to this application may be inspected at Development Services, Municipal Hall, 1229 Esquimalt Road, from 8:30 a.m. until 4:30 p.m. [excluding Saturdays, Sundays and Statutory Holidays] until February 6, 2012.

BARBARA SNYDER
DIRECTOR OF DEVELOPMENT SERVICES



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

Council Meeting: February 6, 2012

STAFF REPORT

DATE: February 1, 2012 Report No. DEV-12-010
TO: Scott Hartman, Acting Chief Administrative Officer
FROM: Trevor Parkes, Senior Planner
Barbara Snyder, Director, Development Services
SUBJECT: **REZONING APPLICATION and DEVELOPMENT PERMIT**
616 Lampson Street
[Lot 5, Section 11, Esquimalt District, Plan 4618]

RECOMMENDATION:

1. That Bylaw No. 2785, to amend Zoning Bylaw, 1992, No. 2050 by changing the zoning designation of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street] shown cross-hatched on Schedule 'A', attached hereto, from RD-3 [Two Family /Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81], be given **third reading and adoption**; and
2. That Development Permit No. 16/2011, limiting the form and character of the proposed development to that shown on architectural plans provided by Key and Associate, Architecture Ltd., stamped "Received October 25, 2011", the landscape plan prepared by LADR Landscape Architects, stamped "Received October 25, 2011", and including improvements to the existing home as detailed in the letter provided by Van-Isle Project Management Ltd. stamped "Received October 25, 2011", and sited as detailed on the survey plan prepared by Brad Cunnin Land Surveying, stamped "Received November 15, 2011", be **approved, issued and registered** on the title of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street].

BACKGROUND:

Advisory Planning Commission [APC]: This application was considered at the regular meeting of APC held on November 15, 2011. Members were complimentary of the proposed design and supported the panhandle concept as it is consistent with development on the property to the south. Two neighbouring property owners presented their concerns to the Commission at the meeting. [attached] The loss of the neighbours' view was discussed by the members and it was noted that the heavy vegetation on the site currently obstructs views for the greater part of the year. There was also a concern about the strength of an existing retaining wall. The applicant indicated he would work with the neighbouring property owners to address their concerns. The application was forwarded to Council with a **recommendation of approval**.

Committee of the Whole [COTW]: The application was presented at the regular meeting of

the Committee of the Whole on December 12, 2011. COTW accepted the staff recommendation that the application for rezoning be forwarded to Council with a **recommendation of approval** subject to the preparation of an amending bylaw, completion of appropriate notification, and a Public Hearing being held.

Council: The report from the COTW was received at the special meeting of Council on December 12, 2011. Staff were directed to prepare the necessary amending bylaw to change the zoning designation of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street] from RD-3 [Two Family /Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81] and forward it to Council for consideration. Staff presented the amending bylaw [attached] to Council on January 16, 2012, and the amending bylaw received first and second reading. Council directed staff to prepare Development Permit No. 16/2011, schedule a Public Hearing and send notification to surrounding property owners and occupiers detailing the requested amendments and indicating the date, time and location the application would be considered by Council

Council requested that staff include “Built Green” program information provided by the applicant, stamped “Received December 14, 2011” for Council review. This information is attached and the applicant has indicated that he intends to construct the new home to a “Built Green - Gold” standard.

ISSUES:

Zoning Considerations

Density, Lot Coverage, Siting and Setbacks:

The following chart compares the setbacks, lot coverage and floor area ratio of this proposal with the requirements of the RD-3 Two Family/ Single Family Residential Zone:

	RD-3 (Two Family)	Proposed CD Zone	
		Lot A [Existing]	Lot B [New]
Minimum Parcel Size	668 m ²	562 m ²	482m ²
Floor Area Ratio	0.35 (SFD) 0.35 (TFD >800m ²)	0.26	0.34
Lot Coverage	30%	23%	16%
Setbacks			
• Front	7.5 m	6.4 m	9.4 m
• Rear	7.5 m	13.7 m	11.5 m
• Interior Side	3.0 m/1.5 m	6.7 m/1.8 m	3.0 m/1.5
Building Height	7.3 m	7.3 m	7.3 m
Off Street Parking	2 spaces (1 per unit)	2 spaces	2 spaces

The combined F.A.R of the proposal is 0.27 which is substantially less than the 0.35 maximum allowable for duplexes in the RD-3 zone on properties exceeding 800m² in area. The combined Lot Coverage is 17% which is significantly less than the 30% maximum permitted in the Two Family/ Single Family Residential zone.

Neighbour Concerns

Consistent with the commitment made at the APC meeting, the applicant has met with the

owners of the adjacent parcels to both the north and south of the subject property regarding their concerns associated with the proposed development. Staff have also been in contact with these property owners.

Staff met with Howard East, the owner of 616 Lampson Street, regarding the impact the proposed home would have on his southerly view. Staff explained that the proposed siting was consistent with the existing streetscape, capitalized on the view offered on the subject property, minimised overlook from the existing home located on 616 Lampson Street and created two distinct amenity areas, one passive located adjacent to Lampson Street and one active, separated from Lampson Street by the proposed dwelling. Mr. East indicated that he would appreciate the applicant either removing, or substantially trimming the Elm [#0266] and Crabapple [#0265] trees located adjacent to the northern property line. This would improve the amount of light reaching his home and open a view corridor to the southwest. Staff addressed this issue with the applicant and he indicated he was happy to accommodate the request.


There has been an ongoing discussion regarding removal of the existing retaining wall located on 612 Lampson Street and the installation of fencing and privacy hedging. Copies of letters and email messages between the applicant and the owner of 612 Lampson Street are attached. At the time this report was prepared, the two parties had not come to an agreement with respect to the retaining wall and fencing.


Public Notification

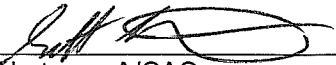
As this is a rezoning application, notices were mailed to tenants and owners of properties within 100 m (328 ft) of the subject property on January 20, 2012 advising them that Council will be considering the requested rezoning on Monday, February 6, 2012. Notice of the Public Hearing was printed in the January 25th and February 1st editions of the Victoria News and the sign indicating that the property is under consideration for a change in zoning, that has been in place on the Lampson Street frontage since November 2011, was updated to show the date, time and location of the Public Hearing.

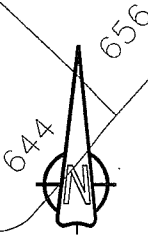
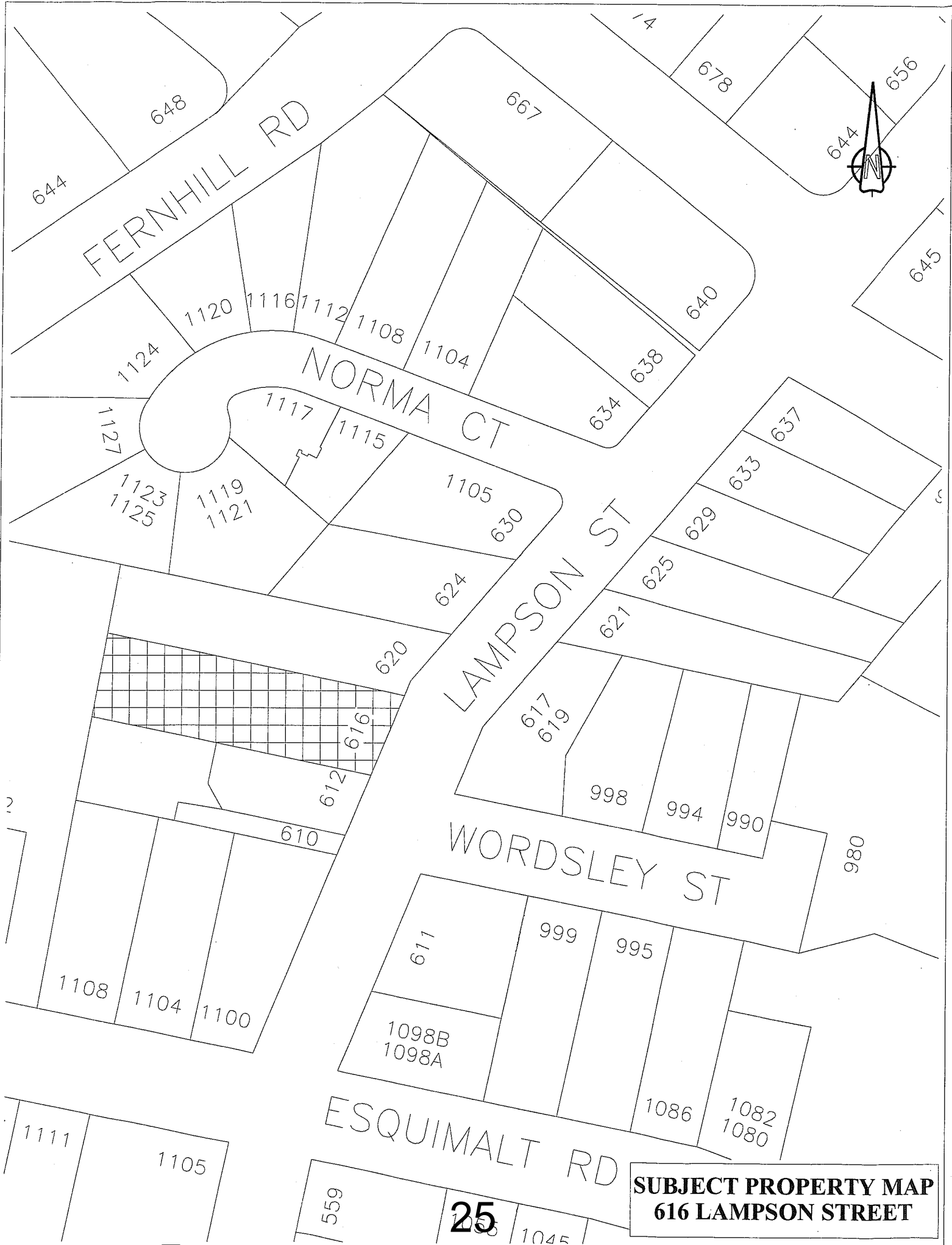
ALTERNATIVES:

1. Give third reading and adoption to Amending Bylaw [No. 206], 2011, No. 2785 and approve Development Permit No. 16/2011.
2. Give third reading to Amending Bylaw [No.206], 2011, No. 2785 and, prior to returning Amendment Bylaw [No. 206], 2011, No. 2785 and Development Permit No. 16/ 2011 to Council, the applicant be required to resolve outstanding issues associated with the existing retaining wall located at 612 Lampson Street. [If Council wishes to receive new information from the public, including the applicant or the owner of 612 Lampson Street, after the closure of the Public Hearing, it would require third reading of Amending Bylaw [No. 206], 2011, No. 2785 be rescinded and a second Public Hearing be held. All costs associated with the second Public Hearing would be borne by the applicant. Council could receive confirmation from staff that an agreement has been reached without triggering a second Public Hearing].
3. Deny the application for Rezoning and Development Permit.


Trevor Parkes
Senior Planner


Barbara Snyder
Director of Development Services

Approved for Council's consideration:

Scott Hartman, A/CAO
Dated: Feb 2, 2012



SUBJECT PROPERTY MAP
616 LAMPSON STREET

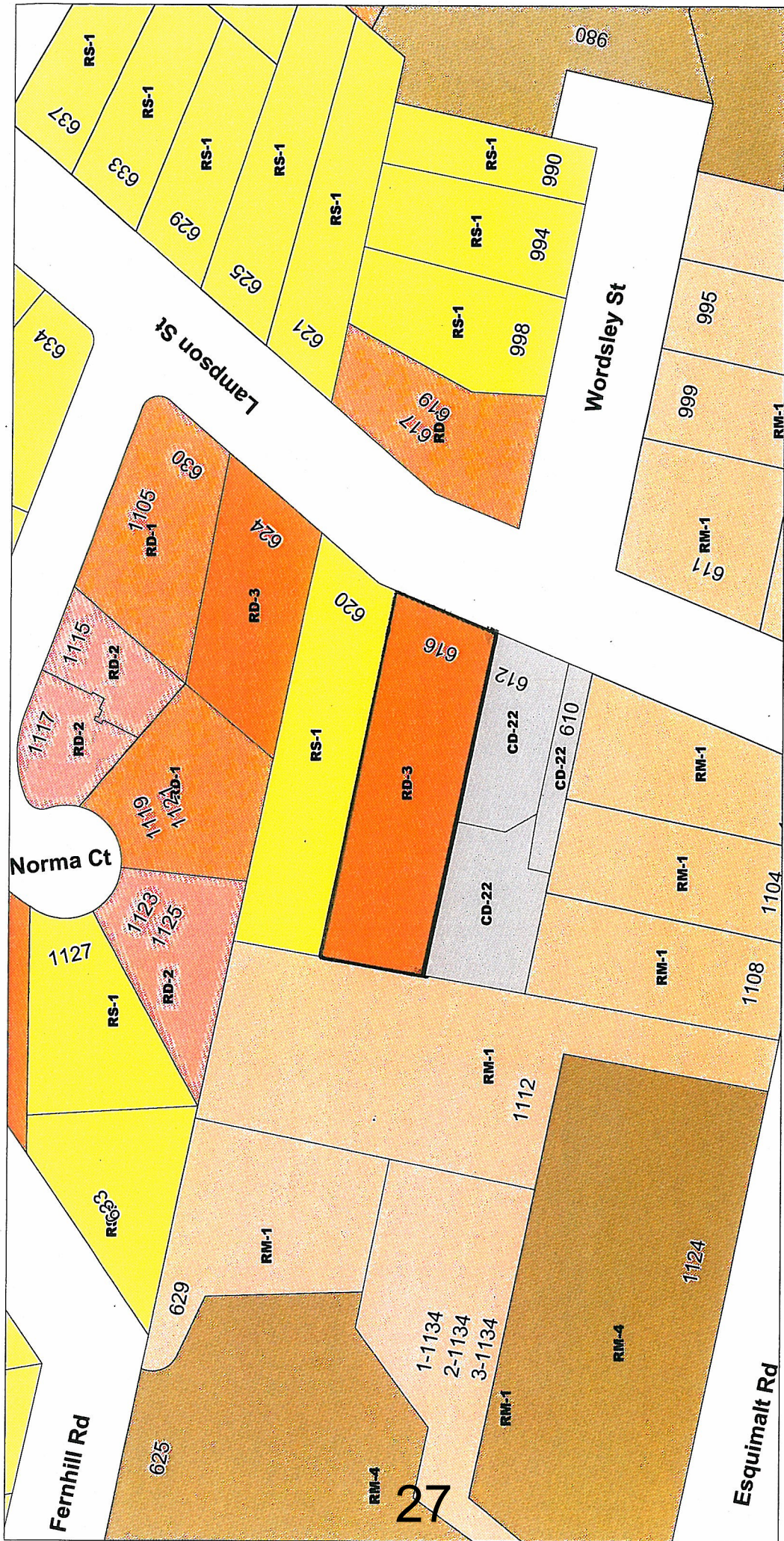
25

616 Lampson Street



Subject Property Boundary: 

616 Lampson Street





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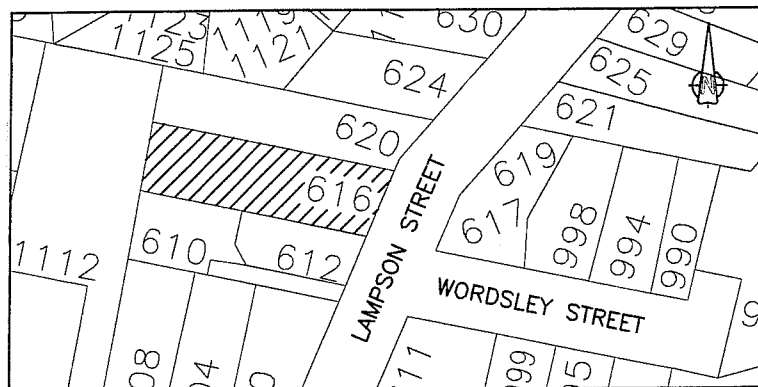
January 20, 2012

NOTICE OF PUBLIC HEARING

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Purpose of the Application:

Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 206], 2012, No. 2785 provides for a change in the zoning designation of 616 Lampson Street [Lot 5, Section 11, Esquimalt District, Plan 4618] shown hatched on the map below from RD-3 [Two Family/ Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81].



Site Location: Lot 5, Section 11, Esquimalt District, Plan 4618
[616 Lampson Street]

The general purpose of this change in zoning is to allow a total of two [2] Single Family Residences on this site. The existing residence would be retained and upgraded and one [1] new Single Family Residence would be constructed on the eastern portion of the site.

The subject property is part of Development Permit Area No. 5 [Enhanced Design Control Residential]. A development permit controlling the form and character of development, including the landscaping, would be registered on the property title.

The Municipal Council will consider this application at **7:00 p.m., Monday, February 6, 2012 in the Council Chambers, Esquimalt Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C.** Affected persons may make representations to Council at that time or submit a written submission prior to that date.

Information related to this application may be inspected at Development Services, Municipal Hall, 1229 Esquimalt Road, from 8:30 a.m. until 4:30 p.m. [excluding Saturdays, Sundays and Statutory Holidays] until February 6, 2012.

BARBARA SNYDER
DIRECTOR OF DEVELOPMENT SERVICES



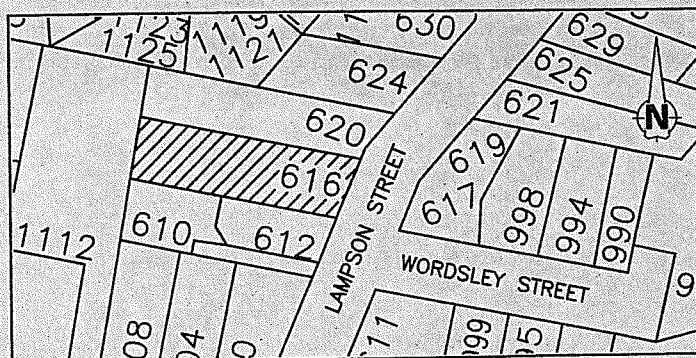
CORPORATION OF THE TOWNSHIP OF ESQUIMALT

NOTICE OF PUBLIC HEARING

TAKE NOTICE THAT A PUBLIC HEARING will be held on Monday, February 6, 2012 at 7:00 p.m. in the Council Chambers, Esquimalt Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C., to allow the public to make representations to the Municipal Council respecting matters contained in the following amending bylaw:

**Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No.206],
2012, No. 2785**

Zoning Bylaw, 1992, No. 2050, Amendment Bylaw [No. 206], 2012, No. 2785 provides for changes in the zoning designation of 616 Lampson Street [Lot 5, Section 11, Esquimalt District, Plan 4618] shown hatched on the map below from RD-3 [Two Family/ Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81].



Site Location: Lot 5, Section 11, Esquimalt District, Plan 4618
[616 Lampson Street]

The general purpose of this change in zoning is to allow a total of two [2] Single Family Residences on this site. The existing residence would be retained and upgraded and one [1] new Single Family Residence would be constructed on the eastern portion of the site.

The subject property is part of Development Permit Area No. 5 [Enhanced Design Control Residential]. Should this amendment be approved, a development permit controlling the form and character of development, including the landscaping, would be registered on the property title.

AND FURTHERMORE TAKE NOTICE that copies of the proposed bylaw and relevant background documents may be inspected at the offices of Development Services, Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C., anytime between the hours of 8:30 a.m. and 4:30 p.m. [excluding Saturdays, Sundays and Statutory Holidays] until February 6, 2012.

BARBARA SNYDER
DIRECTOR OF DEVELOPMENT SERVICES

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

BYLAW NO. 2785

A Bylaw to amend Bylaw No. 2050, cited as the
"Zoning Bylaw, 1992, No. 2050"

THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF
ESQUIMALT, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the "ZONING BYLAW, 1992, NO. 2050, AMENDMENT BYLAW [NO. 206], 2012, NO. 2785".
2. That Bylaw No. 2050, cited as the "Zoning Bylaw, 1992, No. 2050" be amended as follows:
 - (1) by adding the following words and figures after 'Comprehensive Development District No. 80' in Section 31 – Zone Designations of PART 5 - Zoning Districts:

"Comprehensive Development District No. 81"

- (2) by adding the following text as Section 67.68:

67.68 COMPREHENSIVE DEVELOPMENT DISTRICT NO. 81 [CD NO. 81]

In that Zone designated as CD No. 81 [Comprehensive Development District No. 81] no Building or Structure or part thereof shall be erected, constructed, placed, maintained or used and no land shall be used except in accordance with and subject to the regulations contained in or incorporated by reference into this Part.

- (1) **Permitted Uses**

The following Uses and no others shall be permitted:

- (a) Single Family Residential
 - (b) Home Occupation

- (2) **Parcel Size**

The minimum Parcel Size created by subdivision shall be 482 square metres.

- (3) **Density**

The number of Dwelling Units permitted on Lot 5, Section 11, Esquimalt District, Plan 4618 shall be limited to two [2] for a density of one [1] unit per 579 square metres.

(4) **Building Height**

No Principal Building shall exceed a Height of 7.3 metres.

(5) **Lot Coverage**

All Principal Buildings and Structures combined shall not cover more than 17% of the Area of Lot 5, Section 11, Esquimalt District, Plan 4618.

(6) **Floor Area Ratio**

The combined Floor Area Ratio of all Principal Buildings on Lot 5, Section 11, Esquimalt District, Plan 4618 shall not exceed 0.27.

(7) **Siting Requirements**

(a) **Principal Buildings:**

- (i) The easternmost Principal Building shall not be located within 9.4 metres of the Front Lot Line.
- (ii) The westernmost Principal Building shall be located within 6.4 metres of the Front Lot Line
- (iii) The easternmost Principal Building shall not be located within 3.0 metres of the northern Interior Side Lot Line with the total setback of all Side Yards not to be less than 4.5 metres.
- (iv) The westernmost Principal Building shall not be located within 1.8 metres of the northern Interior Side Lot Line with the total setback of all Side Yards not to be less than 8.5 metres.
- (v) The easternmost Principal Building shall not be located within 11.5 metres of the Rear Lot Line.
- (vi) The westernmost Principal Building shall not be located within 13.7 metres of the Rear Lot Line

(b) **Accessory Buildings:**

- (i) No Accessory Buildings shall be permitted.

(8) **Fencing**

- (a) No fence shall exceed a Height of 1.2 metres in front of the front face of the easternmost Principal Building and 1.8 metres behind the front face of the easternmost Principal Building within Comprehensive Development District No. 81 [CD No. 81].
- (b) Notwithstanding Zoning Bylaw, 1992, No. 2050, Section 22(1), a fence located on top of a retaining wall shall not exceed 1.2 metres in front of the front face of the easternmost Principal

Building and 1.8 metres behind the front face of the easternmost Principal Building within Comprehensive Development District No. 81 [CD No. 81].

(9) **Landscaping and Open Space**

Landscaping and Open Space shall be as shown on the landscape plan approved as part of the active Development Permit.

(10) **Off-Street Parking**

The number of off street parking stalls shall be provided in the ratio of two [2] stalls for each Dwelling Unit.

(3) by changing the zoning designation of Lot 5, Section 11, Esquimalt District, Plan 4618 [616 Lampson Street] shown cross-hatched on Schedule "A" attached hereto from RD-3 [Two Family/ Single Family Residential] to CD No. 81 [Comprehensive Development District No. 81].

(4) by changing Schedule 'A' Zoning Map, attached to and forming part of "Zoning Bylaw, 1992, No. 2050" to show the changes in zoning classification effected by this bylaw.

READ a first time by the Municipal Council on the 16th day of January, 2012.

READ a second time by the Municipal Council on the 16th day of January, 2012.

A Public Hearing was held pursuant to Sections 890 and 892 of the *Local Government Act* on the ---- day of -----, 2012.

READ a third time by the Municipal Council on the ---- day of ----, 2012.

ADOPTED by the Municipal Council on the ---- day of ----, 2012.

BARBARA DESJARDINS
MAYOR

ANJA NURVO
CORPORATE OFFICER



SCHEDULE 'A'
BYLAW NO. 2785

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. 16/2011

Owners: Van-Isle Project Management Ltd., Inc. No. BC0653345
3280 Woodburn Avenue
Victoria, BC V8P 5B9

Lands: Lot 5, Section 11, Esquimalt District, Plan 4618

Address: 616 Lampson Street

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit.
2. Approval of this Development Permit is issued in accordance with architectural plans provided by Keay and Associate, Architecture Ltd., stamped "Received October 25, 2011", and sited as detailed on the survey plan prepared by Brad Cunnin Land Surveying, stamped "Received November 15, 2011", all of which are attached hereto as Schedule 'A'.
3. Approval of this Development Permit is issued in accordance with the landscape plan prepared by LADR Landscape Architects, stamped "Received October 25, 2011" and attached hereto as Schedule 'B'. A letter of credit representing 125% of the value of this landscaping installation including materials, fencing, irrigation and all plantings, as detailed in a written estimate signed by a landscape professional, must be deposited before a building permit can be issued.
4. Approval of this Development Permit is issued subject to compliance with itemized list of improvements proposed for the existing home identified in the letter provided by Van-Isle Project Management Ltd. stamped "Received October 25, 2011" attached hereto as Schedule 'C'.
5. Approval of this Development Permit is issued subject to compliance with recommendations contained within the arborist report prepared by Talbot Mackenzie & Associates stamped "Received October 25, 2011" attached hereto as Schedule 'D'.
6. The lands shall be developed in accordance with the terms and conditions and provisions of this Permit, provided that minor variations which do not

affect the overall building design may be permitted by the Director of Development Services.

- 7. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.
- 8. This Development Permit is not a Building Permit.
- 9. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
- 10. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

ISSUED BY MUNICIPAL COUNCIL RESOLUTION ON THE ---- DAY OF -----, 2012

SIGNED THIS _____ DAY OF _____, 2012

Director
Development Services

Corporate Officer
Corporation of the Township
of Esquimalt

**PLANNING SUBMISSION CHECKLIST,
EXISTING RESIDENCE (A)**

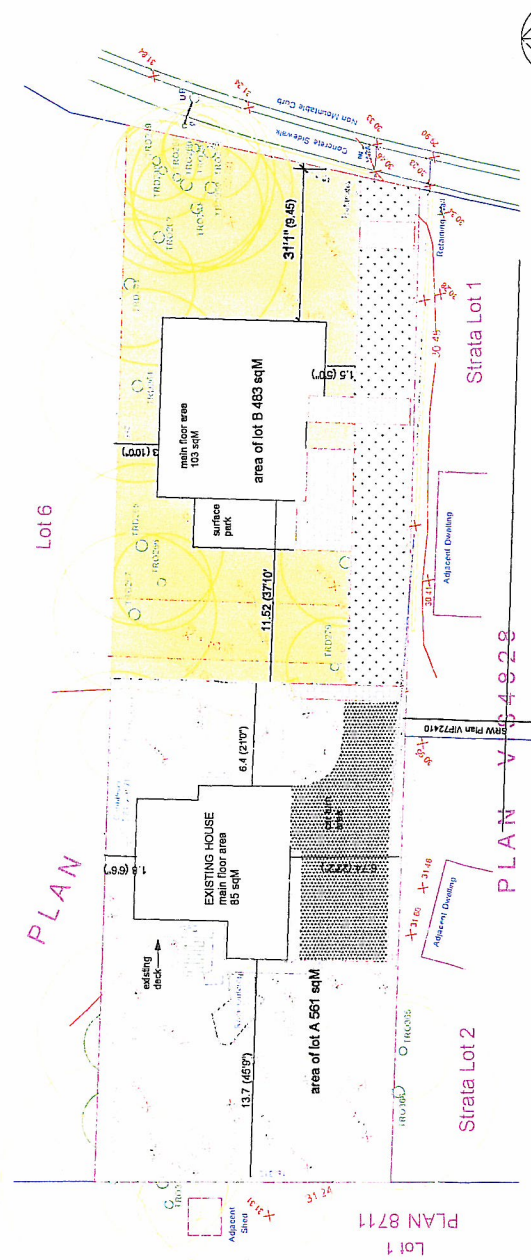
1. VAN ISLE PROJECTS
2. LOT 5, SECTION, ESQUIMALT DISTRICT, PLAN 4618
3. 616 LAMPSON STREET
4. JOHN KEAY, KEAY & ASSOC, ARCHITECTURE LTD.
382 3823 FAX 382 0413 john@keayarchitecture.com
5. ZONING: NEW SITE SPECIFIC ZONE
6. SITE AREA: 6 041 SQ. FT. (561.2 SQ.M)
7. SITE COVERAGE: 15.4%
8. TOTAL FLOOR AREA: 1836 SQ.FT. 170.5 SQM
9. FLOOR SPACE RATIO: 0.33
10. HEIGHT: PER EXISTING
11. NUMBER OF STOREYS: TWO
12. SETBACKS:
FRONT (EASTY): 6.4 (21'0")
SOUTH: 6.74 (22'2") PER EXISTING
NORTH: 1.8 (6'0") PER EXISTING
REAR YARD: 13.7 (45'9")
14. OPEN SPACE: 69%
15. FLOOR PLANS: PROVIDED
16. SITE PLAN: PROVIDED
17. ELEVATIONS: FRONT & SIDE PROVIDED
18. EXTERIOR FINISHES: EXISTING
19. LANDSCAPE PLAN: PROVIDED
20. SECTIONS: N/A
21. PARKING: PROVIDED
22. ROOF PLAN: N/A
23. OFF SITE INFORMATION: N/A
24. STREET ELEVATIONS: PER EXISTING

**PLANNING SUBMISSION CHECKLIST,
NEW RESIDENCE (B)**

1. VAN ISLE PROJECTS
2. LOT 5, SECTION, ESQUIMALT DISTRICT, PLAN 4618
3. 616 LAMPSON STREET
4. JOHN KEAY, KEAY & ASSOC, ARCHITECTURE LTD.
382 3823 FAX 382 0413 john@keayarchitecture.com
5. ZONING: NEW SITE SPECIFIC ZONE
6. SITE AREA: 5 198 SQ. FT. (482.91 SQ.M)
7. SITE COVERAGE: 21.8%
8. TOTAL FLOOR AREA: 1780.6 SQ.FT. 165 SQM
9. FLOOR SPACE RATIO: 0.34
10. GRADE: PER EXISTING
11. HEIGHT: PER EXISTING
12. NUMBER OF STOREYS: TWO
13. SETBACKS:
FRONT (WESTY LAMPSON STREET): 9.45 (31'1")
SOUTH: 15 (50')
NORTH: 3 (10')
14. OPEN SPACE: 64%
15. FLOOR PLANS: PROVIDED
16. SITE PLAN: PROVIDED
17. ELEVATIONS: PROVIDED
18. EXTERIOR FINISHES: PROVIDED
19. LANDSCAPE PLAN: PROVIDED
20. SECTIONS: PROVIDED
21. PARKING: PROVIDED
22. ROOF PLAN: PROVIDED
23. OFF SITE INFORMATION: N/A
24. STREET ELEVATIONS: DRAWING PROVIDED



CONTEXT PHOTO

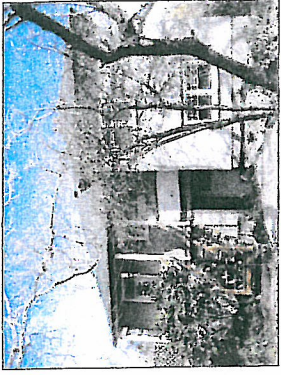


SITE PLAN
PROPOSED RESIDENCE, 616 LAMPSON STREET, ESQUIMALT
SCALE: 1/4" = 1'0" UNO DATE: OCTOBER 24, 2011 REZONING RECEIVED OCT 25 2011
KEAY & ASSOCIATE ARCHITECTURE LTD. 1124 FOOTHILL STREET VICTORIA, B.C. V8M 3K8 FAX: 250.382.0413 email: john@keayarchitecture.com
A-01 PLOT OCT 24, 2011

**THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT NC.16/2011**

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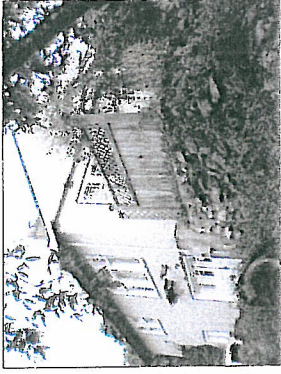
LEGAL ADDRESS:
616 LAMPSON STREET
LEGAL DESCRIPTION:
LOT 5, SECTION 11, ESQUIMALT DISTRICT, PLAN 4618



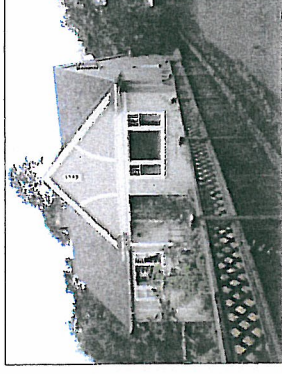
Rear (West) of Existing House (616 Lampson)



Neighbouring House - 620 Lampson



Side (South) of Existing House (616 Lampson)



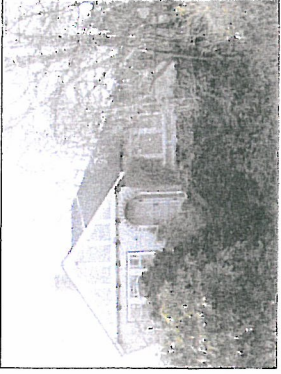
Neighbouring House - 612 Lampson



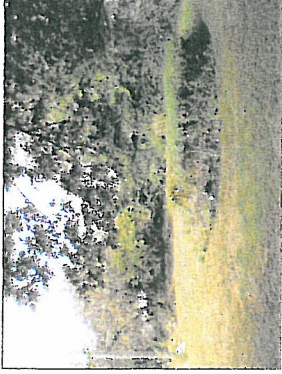
Front (East) of Existing House (616 Lampson)



Proposed location for New Residence



Front (East) of Existing House (616 Lampson)



Proposed location for New Residence

CONTEXT PHOTOS & ELEVATION

PROPOSED RESIDENCE
616 LAMPSON STREET,
ESQUIMALT

SCALE: 1/8" = 1'-0" UNO
DATE: OCTOBER 24, 2011; REZONING

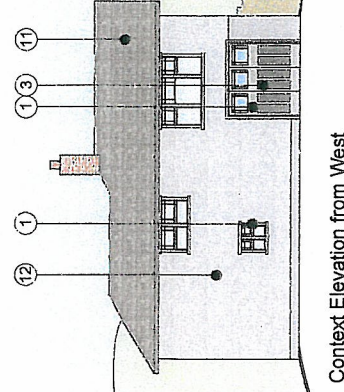
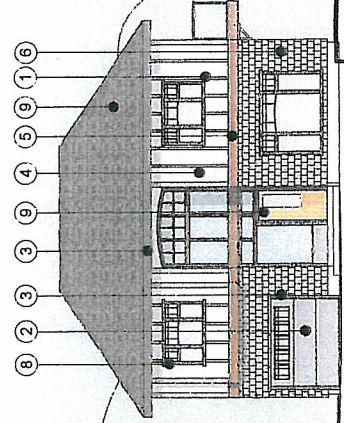
KEY & ASSOCIATE, ARCHITECTURE LTD
2107 485 3RD STREET, VICTORIA, B.C. V8W 3K8
P.A.# 259 382 0413
email: jkeay@keyandassociates.com

FLOT OCT 24, 2011

A-02

LEGEND

1	TRIM (COPLEY GREY, HC-104)	7	CEMENT SHINGLES (COPLEY GREY, H-104)
2	GARAGE DOOR (COPLEY GREY, HC-104)	8	WINDOW TRIM (HOT APPLE SPICE 2006-20)
3	TRIM & RISERS (MINK, C-112-10)	9	FIBRE-GLASS SHINGLES
4	HARDY PANEL (COLLINGWOOD, CC-28)	10	FRONT DOOR (K.D. FIR, CETOL FINISH)
5	WATER TABLE (HOT APPLE SPICE 2006-20)	11	EXISTING SHINGLES
6	CEMENT SHINGLES (COPLEY GREY, H-104)	12	EXISTING SHEL STUCCO




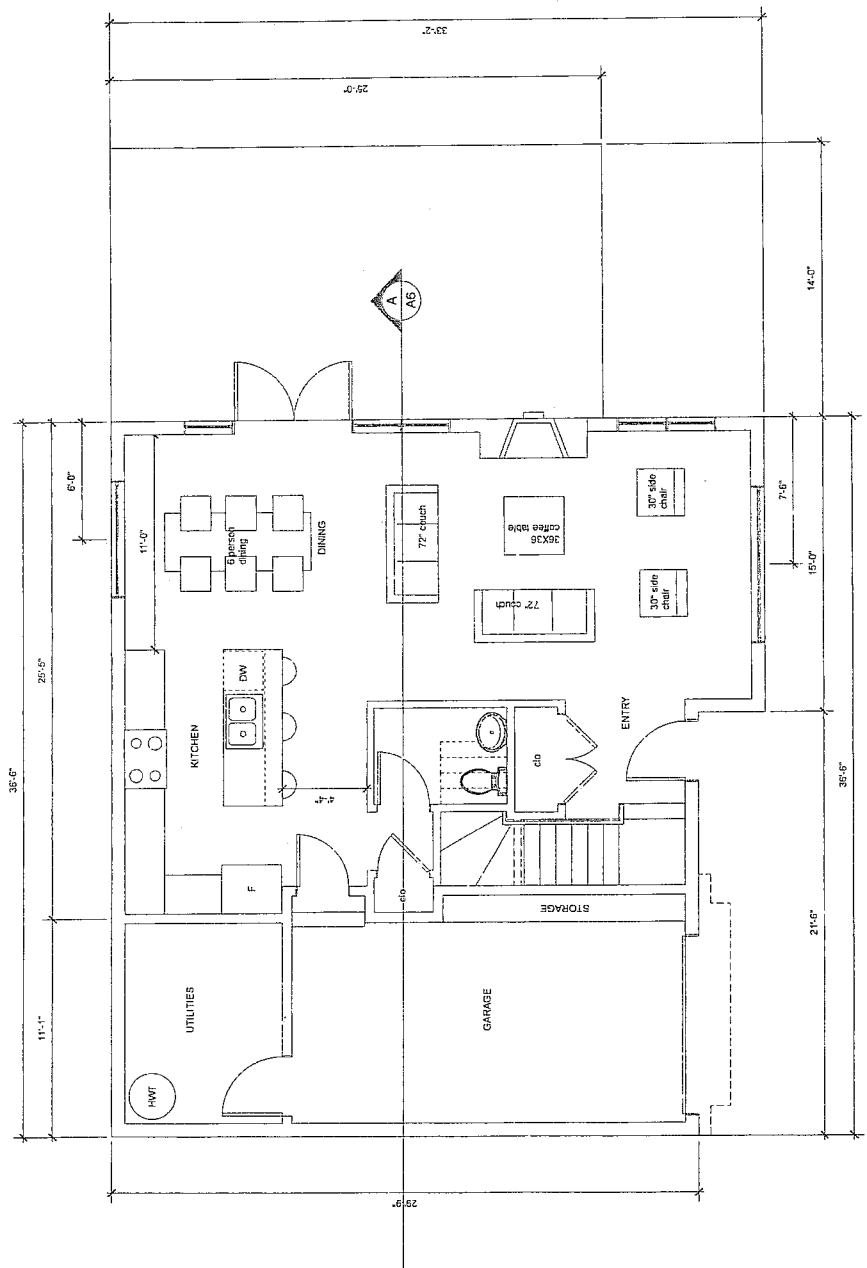
Context Elevation from West

THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT NO.16/2011

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<p>MAIN FLOOR PLAN</p> <p>PROPOSED RESIDENCE 616 LAMPSON STREET, ESQUIMALT</p> 	<p>SCALE: 1/4" = 1'-0" UNO DATE: OCTOBER 24, 2011: REZONING</p>	<p>KEY & ASSOCIATE ARCHITECTURE LTD. 1184 FORT STREET, VICTORIA, BC V8K 3K6 TEL: 250.382.0413 FAX: 250.382.0413 email: jkhr@keyandarchitecture.com</p>	<p>A-03</p> <p>PLOT OCT 24, 2011</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------



MAIN FLOOR
Scale: 1/4" = 1'-0"

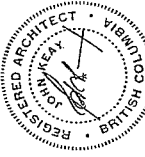
THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT NO 19/2011

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UPPER FLOOR PLANS

PROPOSED RESIDENCE
616 LAMPSON STREET,
ESQUIMALT



SCALE: 1/4" = 1'-0" UNO
DATE: OCTOBER 24, 2011 - REZONING

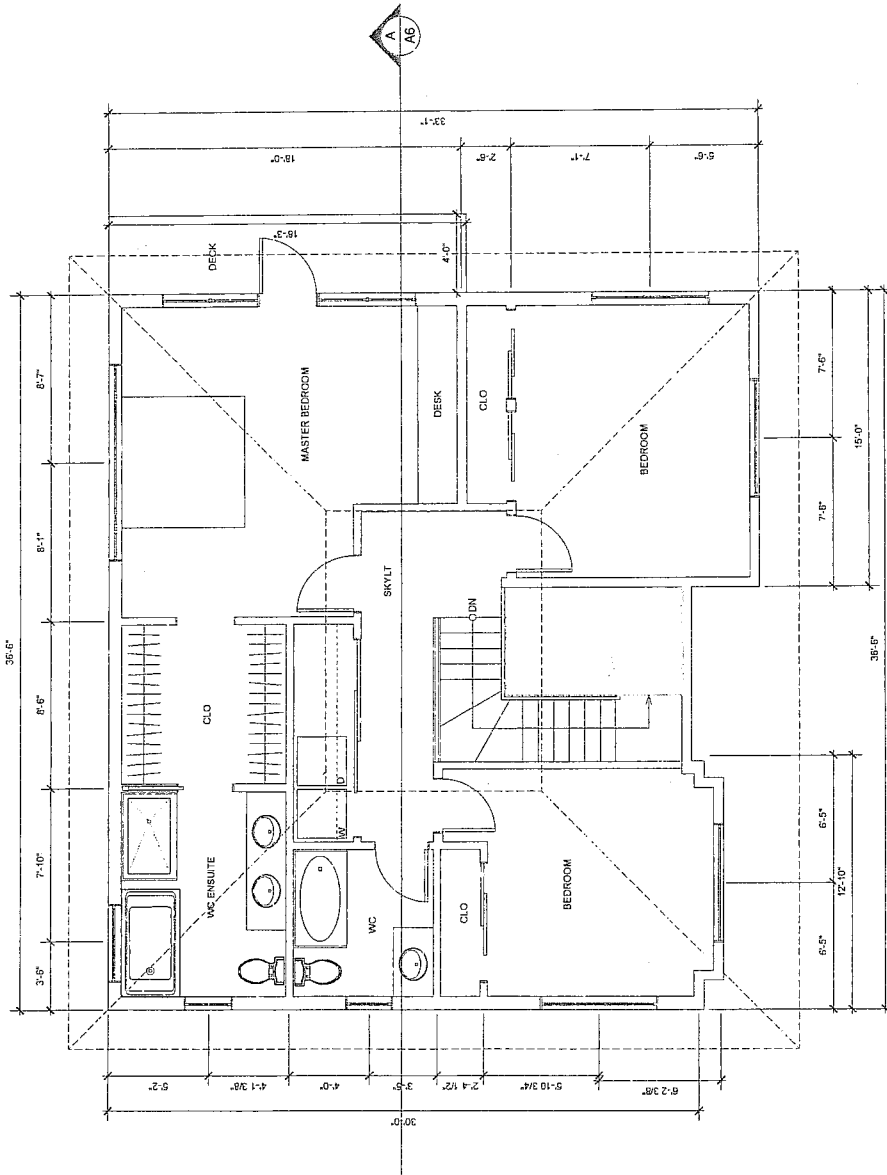
KEAY & ASSOCIATE, ARCHITECTURE LTD
1124 FORT STREET, VICTORIA, B.C. V8W 3K8
FAX: 250 382 0413
email: john@keayarchitecture.com

A-04

PLOT OCT 24, 2011

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DEVELOPMENT PERMIT NO 16/2011

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UPPER FLOOR
Scale: 1/4" = 1'-0"

RECEIVED
 JUL 25 2011
 TO: CORP. OF TOWNSHIP OF ESQUIMAULT
 FROM: KEAY & ASSOCIATE ARCHITECTURE LTD.

LEGEND

1	TRIM (COPILEY GREY: HC-104)
2	GARAGE DOOR (COPILEY GREY: HC-104)
3	TRIM & FASCIA (MINK (2112-10))
4	HARDY PANEL (COLLINGWOOD: CC-3)
5	WATER TABLE (HOT APPLE BRICE: 2005-20)
6	CEMENT SHINGLES (COPILEY GREY: R-104)
7	CEMENT SHINGLES (COPILEY GREY: R-104)
8	WOODEN TRIM (HOT APPLE BRICE: 2005-20)
9	FIBRE-GLASS SHINGLES
10	FRONT DOOR (K.O. FIRE CEROL FINISH)
11	EXISTING SHINGLES
12	EXISTING SHELL STUCCO

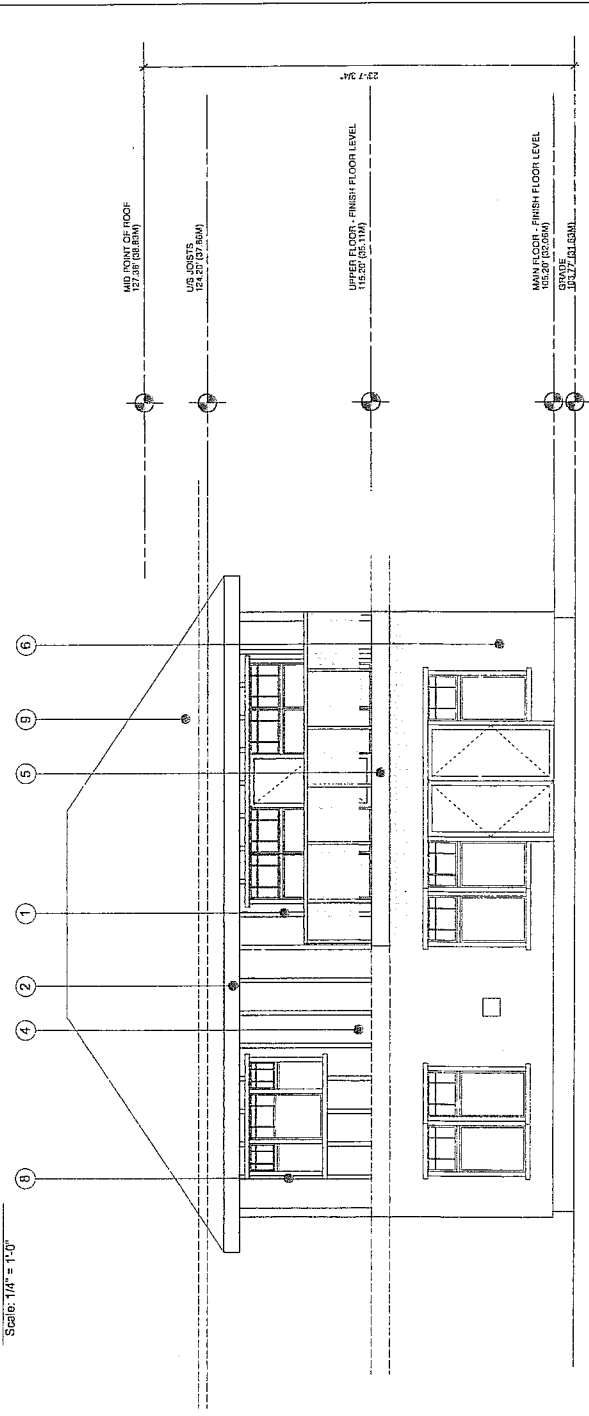
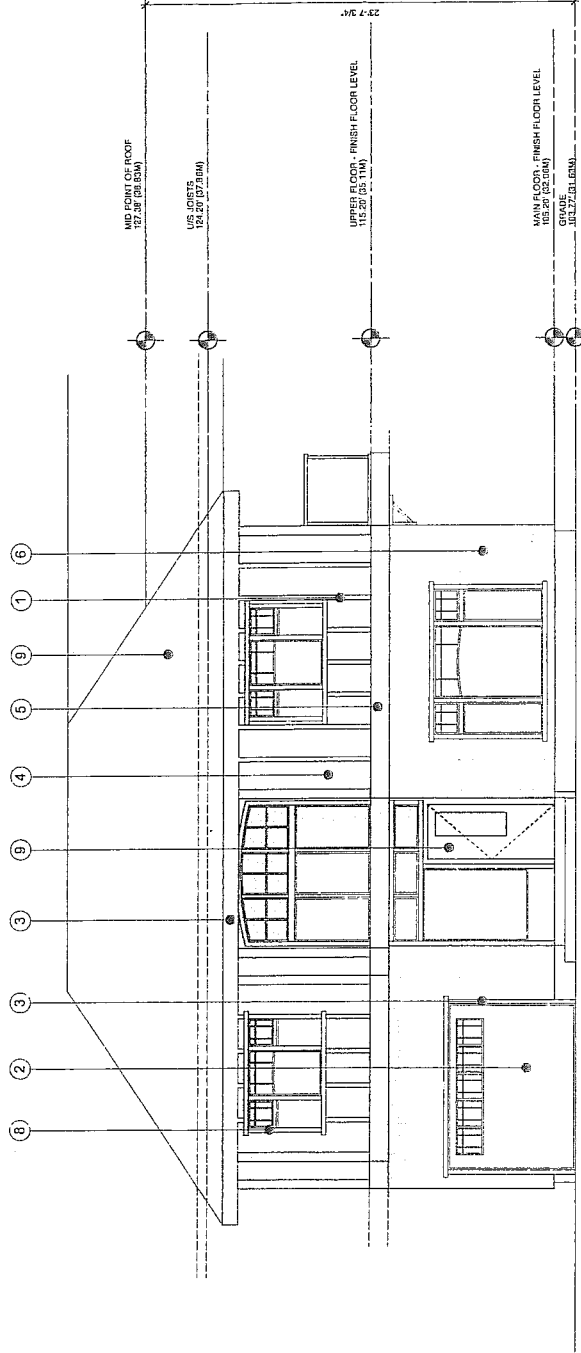
ELEVATIONS

PROPOSED RESIDENCE
 616 LAMPSON STREET,
 ESQUIMAULT

SCALE: 1/4" = 1'-0" AND
 DATE: OCTOBER 17, 2011; REVISION

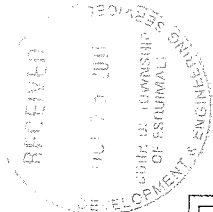
KEAY & ASSOCIATE ARCHITECTURE LTD
 1100 WEST 10TH STREET, VICTORIA, B.C. V8W 3K0
 TEL: 250.382.3823
 FAX: 250.382.0413
 email: plan@keayarchitecture.com

A-05
 PLOT OCT 24, 2011



**THIS IS SCHEDULE 'A' OF
 DEVELOPMENT PERMIT NO. 16/2011**

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LEGEND

1	TRIM (COPLEY GREY, HC-104)
2	GARAGE DOOR (COPLEY GREY, HC-104)
3	TRIM & CASCA MINI (F112-10)
4	HARDY PANEL (COLLINGWOOD, DC-28)
5	WATER TABLE (HOT APPLE SPICE, 2005-20)
6	CEMENT SHINGLES (COPLEY GREY, H-104)
7	CEMENT SHINGLES (COPLEY GREY, H-104)
8	WINDOW FRAME: 2005-20 (HOT APPLE SPICE: 2005-20)
9	FIBRE-GLASS SHINGLES
10	FRONT DOOR (KID FIR, CEROL FINISH)
11	EXISTING SHINGLES
12	EXISTING SIELL STUCCO

ELEVATIONS

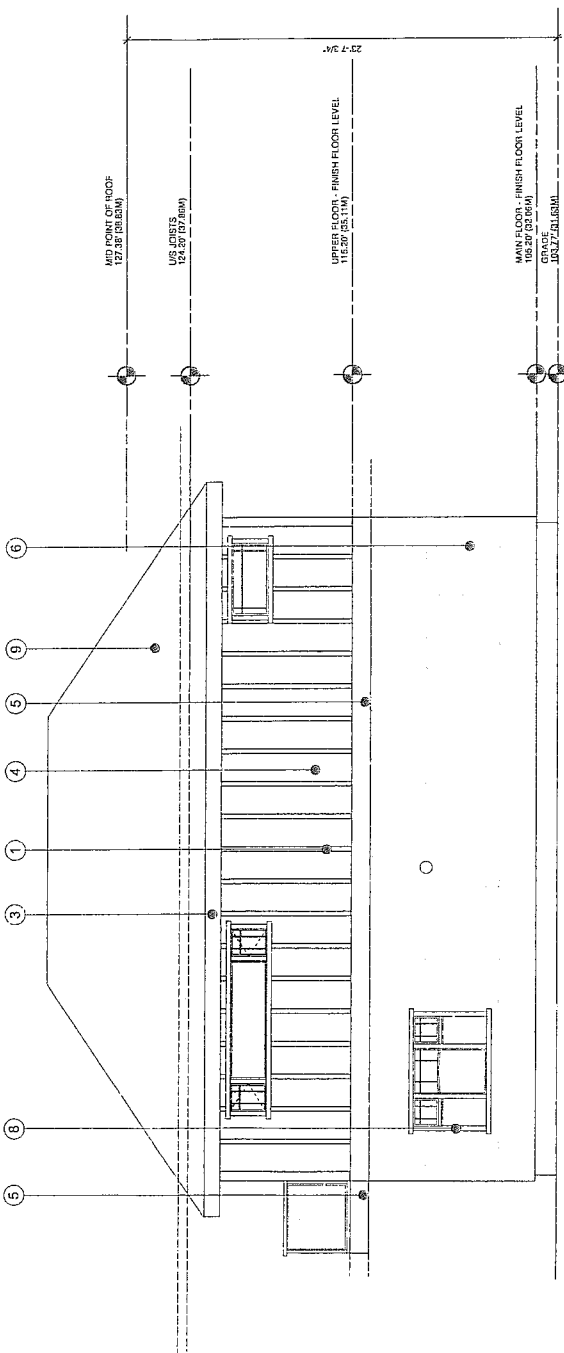
**PROPOSED RESIDENCE
616 LAMPSON STREET,
ESQUIMALT**

SCALE: 1/4" = 1'-0" JMD
DATE: OCTOBER 24, 2011: REZONING

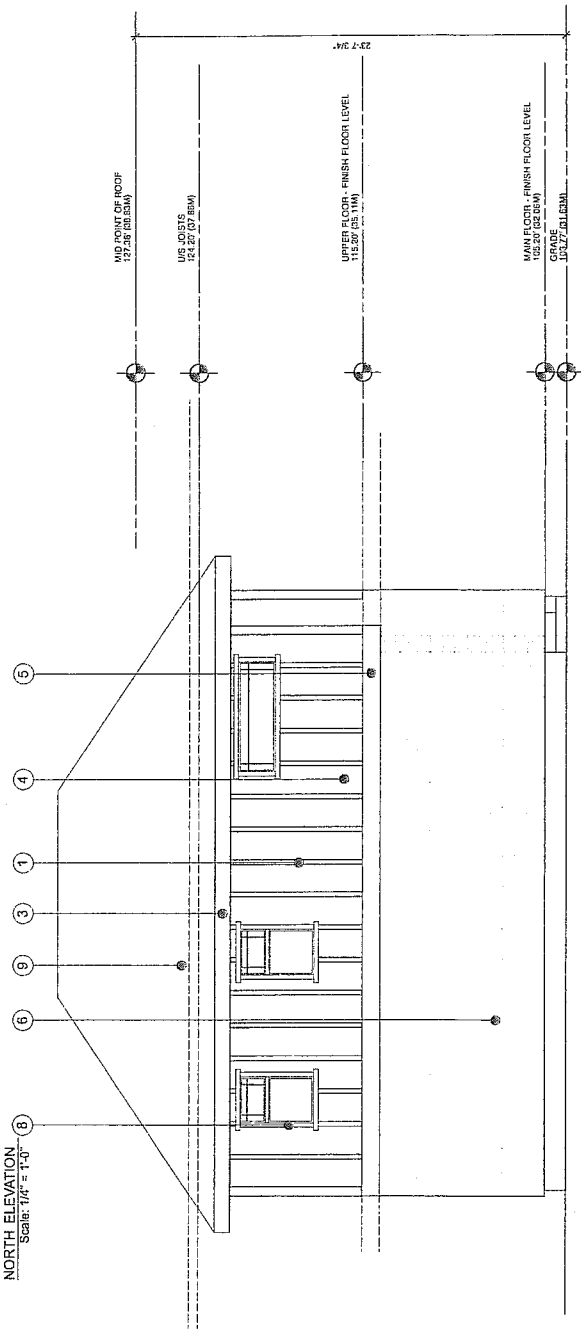
KEAY & ASSOCIATE, ARCHITECTURE LTD
1140 CANTON STREET, VICTORIA, V8W 3K8
250.382.3825
FAX: 250.382.0413
email: john@keayarchitecture.com

A-06

PLOT OCT 24, 2011



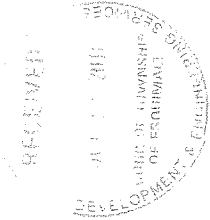
NORTH ELEVATION
Scale: 1/4" = 1'-0"



WEST ELEVATION
Scale: 1/4" = 1'-0"

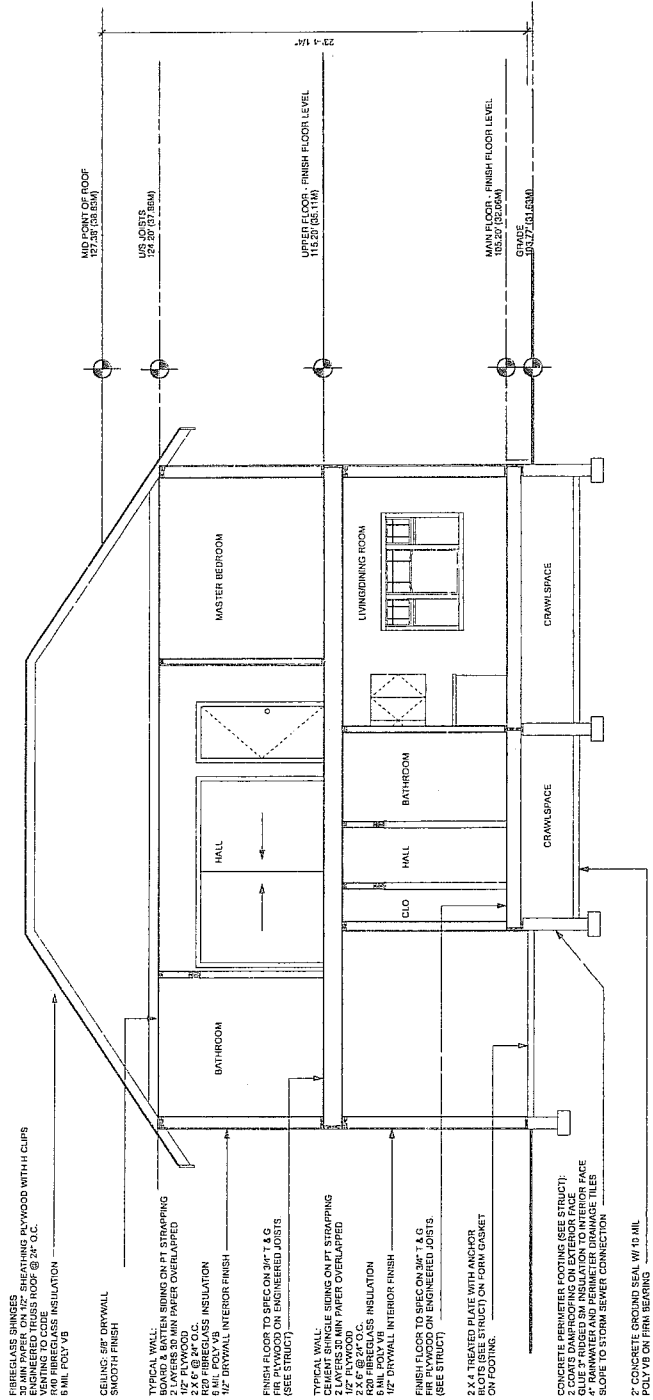
**THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT NO. 16/2011**

CORPORATE OFFICER



SECTION
PROPOSED RESIDENCE 616 LAMPSON STREET, ESQUIMALT
KEAY TOM KEAY ARCHITECTS DATE: OCTOBER 24, 2011: REZONING
KEAY & ASSOCIATE ARCHITECTURE LTD 1500 LAMPSON STREET, VICTORIA, V8W 3K6 250 382 3953 FAX 250 392 0413 Email: john@keayarchitects.com
A-07
PLOT OCT 24, 2011

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 DEVELOPMENT PERMIT NO 116/2011
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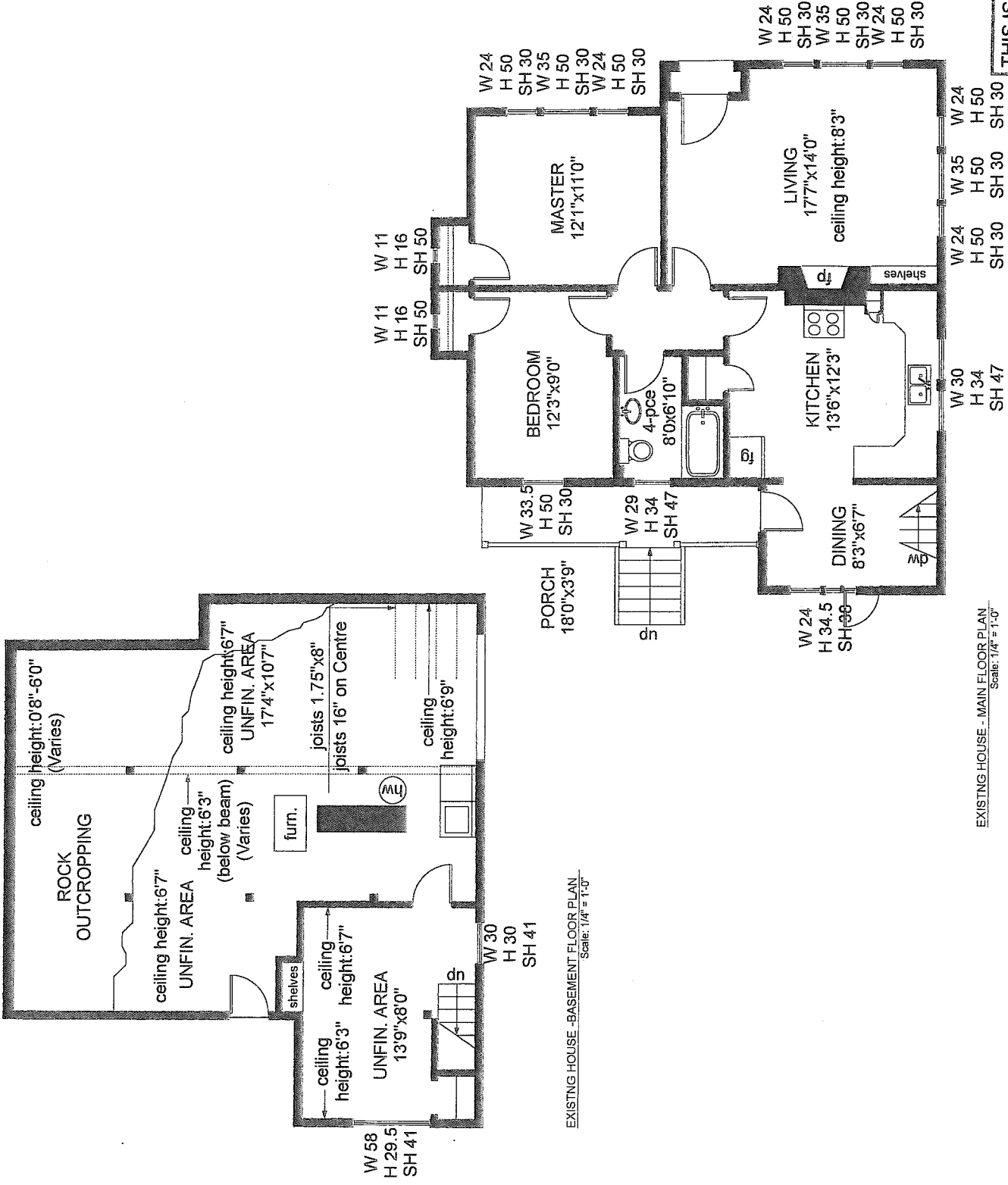
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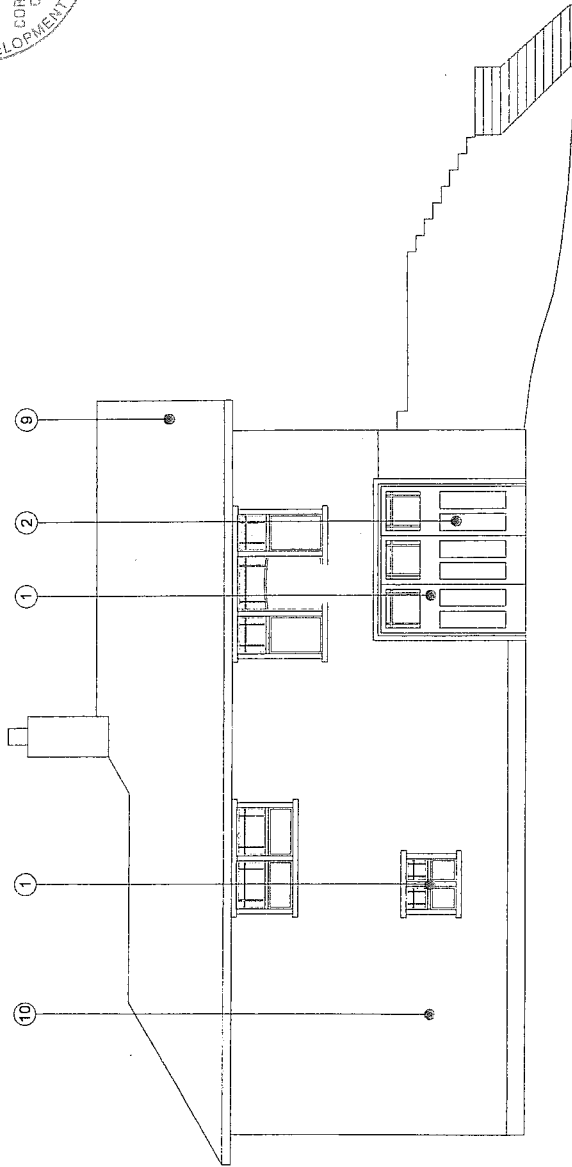


EXISTING HOUSE MAIN & UPPER FLOOR PLANS		BCMA Lic. #174185 DATE: OCTOBER 24, 2011: REZONING	KEY & ASSOCIATE ARCHITECTURE LTD 2563 382 STREET, VICTORIA, BC V8M 3J6 TEL: 250.395.0413 email: joan@keyarchitecture.com	A-08
PROPOSED RESIDENCE 616 LAMPSON STREET, ESQUIMALT		FLOUT OCT 24, 2011		

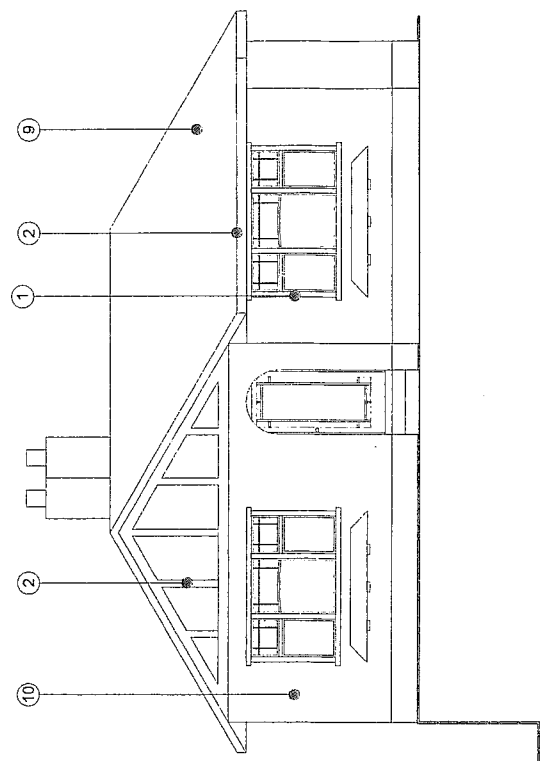
THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT NO 16/2011

CORPORATE OFFICER





EXISTING HOUSE - NORTH ELEVATION
Scale: 1/4" = 1'-0"



EXISTING HOUSE - WEST ELEVATION
Scale: 1/4" = 1'-0"

LEGEND

①	TIM (COPLEY GREY: HC-104)
②	GARAGE DOOR (COPLEY GREY: HC-104)
③	TRIM & FASCIA (MINK (312-10))
④	HARDY PANEL (COLLINGWOOD: OC-28)
⑤	WATER TABLE (HOT APPLE SPICE: 2005-20)
⑥	CEMENT SHINGLES (COPLEY GREY: H-104)
⑦	CEMENT SHINGLES (COPLEY GREY: H-104)
⑧	WINDOW TRIM (HOT APPLE SPICE: 2005-20)
⑨	FIBRE-GLASS SHINGLES
⑩	FRONT DOOR (K.D. FR: DETOL FINISH)
⑪	EXISTING SHINGLES
⑫	EXISTING SHELL STUCCO

EXISTING HOUSE ELEVATIONS

**PROPOSED RESIDENCE
616 LAMPSON STREET,
ESQUIMALT**

SCALE: 1/4" = 1'-0" UNO
DATE: OCTOBER 24, 2011: REZONING

KEY & ASSOCIATE ARCHITECTURE LTD
1124 FORT STREET, VICTORIA, V8V 3K6
PHONE: 250.382.0413
FAX: 250.382.0413
email: jkay@keyarchitecture.com

PLOT OCT 24, 2011

A-09

THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT NO.15/2011

CORPORATE OFFICER _____

B. C. LAND SURVEYOR'S PLAN OF:

LOT 5, SECTION 11, ESQUIMALT DISTRICT, PLAN 4618

SCALE = 1 : 200



LEGEND

All distances are in metres AND decimals thereof.

Elevations are geodetic based on The District of Esquimalt Integrated Survey Monument 8440209 (Elev. = 116.637)
 Contours are descriptive, and only accurate to +/- 1/2 interval.
 Grade shot are taken at the point marked "g"
 grade shots at a curb line are in gutter.

MUNICIPALITY ZONING RD-3
 Esquimalt

SITE AREA 1158.8 m²
 12473.5 s. f.

PID No. 005-988-446

Tree bases and canopies approximately to scale.
 Where tree location is critical, tree species and canopy should be confirmed by qualified arborist.

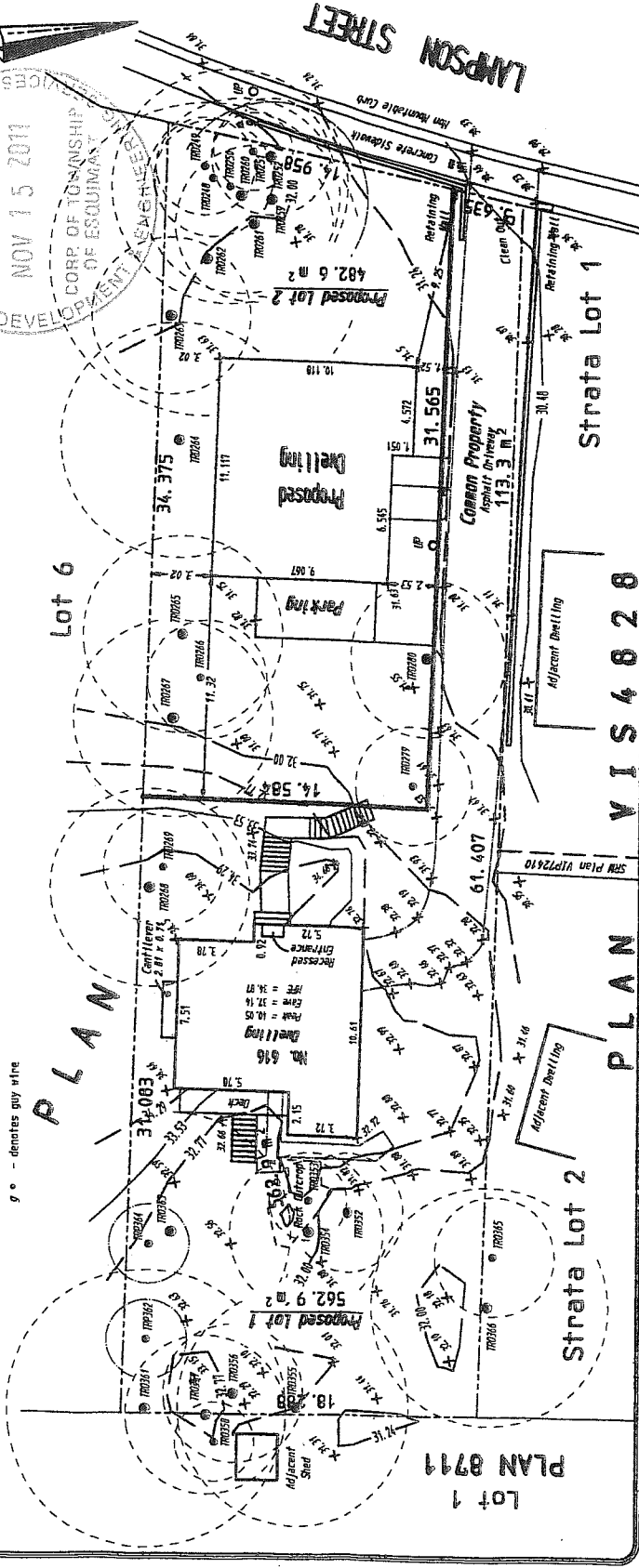
UP O - denotes Utility Pole
 AM H - denotes Water Meter
 g o - denotes guy wire

CERTIFIED CORRECT

Benjamin

Benjamin K. Gault, B.C.S.
 Field Survey - 31 March 2011

This document is intended for use as a subdivision application Plan. It is based on land title office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey.
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THIS IS SCHEDULE 'A' OF
 DEVELOPMENT PERMIT NO 16/2011

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Oct 24, 2011 Issued for Development Permit

25455 Bayview Rd., Victoria, B.C. V8Z 1B9
Phone: (250) 403-0105 Fax: (250) 403-0106

PROJECT: 616 Lampson Street
Subdivision

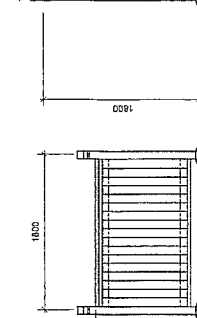
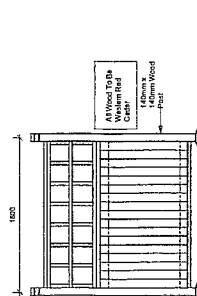
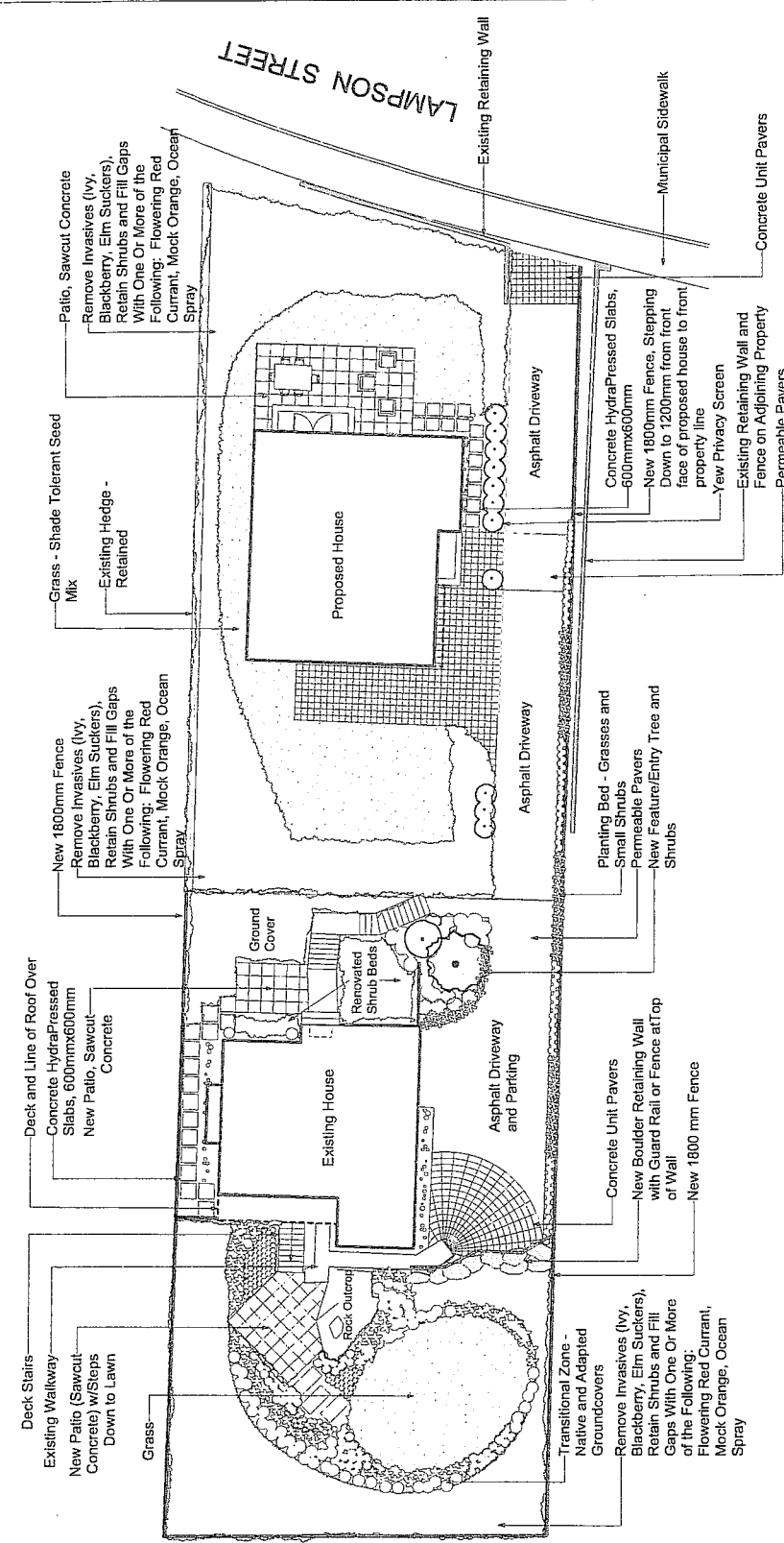
TITLE: Landscape Layout

SCALE: 1:100

PROJECT No.: 1134

DATE: Oct. 24, 2011

SHEET: 1 of 2



Item	Common Name	Size	Quantity
Parasiticide, Animals and Fams	Botanical Fleas	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot

Item	Common Name	Size	Quantity
Parasiticide, Animals and Fams	Botanical Fleas	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot

Item	Common Name	Size	Quantity
Parasiticide, Animals and Fams	Botanical Fleas	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot

Item	Common Name	Size	Quantity
Parasiticide, Animals and Fams	Botanical Fleas	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
Parasiticide, Animals and Fams	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot
	Cher Flea	#1 pot	#1 pot

Notes:
1. All work to be completed to current BCCLA Landscape Standards.
2. To protect against the spread of Sudden Oak Death, all plants to be purchased from nurseries that have tested negative for Phytophthora ramorum. Testing to have been completed by the BCMA or the CIA within the last 12 months.

Recommended Nursery Stock

Item	Botanical Name	Quantity
Trees	Common Elder 'Wine Queen'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot
Large Shrubs	Philadelphus 'Belle Etoile'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot
Small Shrubs	Philadelphus 'Belle Etoile'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot
Groundcovers	Philadelphus 'Belle Etoile'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot
	Philadelphus 'Belle Etoile'	#1 pot

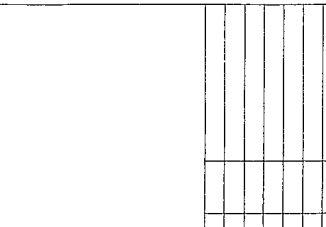
THIS IS SCHEDULE 'B' OF DEVELOPMENT PERMIT NO. 15/2011

CORPORATE OFFICER

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DATE	DESCRIPTION
08/24/2011	Issued for Development Permit

PROJECT	616 Lampson Street Subdivision
DATE	08/24/2011
SCALE	1:100
DRAWN BY	RC
CHECKED BY	BW
PROJECT NO.	1134
SHEET	2 of 2



Trees To Be Retained

Trees To Be Removed

Critical Root Zone

Protective Fencing

Tree #	DBH (cm)	TRCZ	CRZ	Species	Form	Health	Structure	Location	Remarks / Recommendations
0283	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0284	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0285	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0286	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0287	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0288	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0289	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0290	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0291	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0292	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0293	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0294	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0361	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0362	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0363	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0364	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0365	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0366	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0367	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0368	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0369	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0370	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0371	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0372	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0373	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0374	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0375	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0376	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0377	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0378	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0379	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0380	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0381	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0382	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0383	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0384	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0385	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0386	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0387	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0388	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0389	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0390	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0391	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0392	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0393	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0394	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0395	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0396	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0397	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0398	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0399	30	4.1	3.0	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.
0400	35	4.6	3.5	DM	Decid	Good	Good	10.0	By removal, site to be replanted with 2 trees.

NOTES:

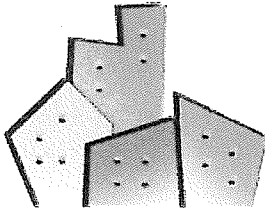
- Prior to any work on site, erect protective fencing around trees to be retained in locations shown on this plan. All protective fencing shall be at least 1.8m high and shall be constructed of sturdy wooden posts of at least 2" x 4" or plastic arrow fencing, which must be galvanized steel or stainless steel and have 2" x 4" wooden posts using 2x4s or 2x6s. All 2" x 4" wooden posts are to be safely driven into the ground and spaced no further apart than 2.4 meters.
- All work within protective fencing to be approved by Project Architect.
- There shall be no storage or dumping of materials of any kind within the Protected Root Zone or Critical Root Zone.
- There shall be no cutting of branches or roots of trees within the Protected or Critical Root Zone at any time without approval of Project Architect. All pruning to be undertaken by ISA. Excavation concerning Critical and Protected Root Zones to be supervised by Certified Arborist.
- Best Available Practice for activities of Critical and Protected Root Zones. Excavation occurring in Critical and Protected Root Zones to be supervised by Certified Arborist.

Prepared by:
 Wanda B. B. Architects
 485 G Street, NW
 Washington, DC 20001
 Tel: (202) 462-7700
 Fax: (202) 462-7702
 www.wandabba.com

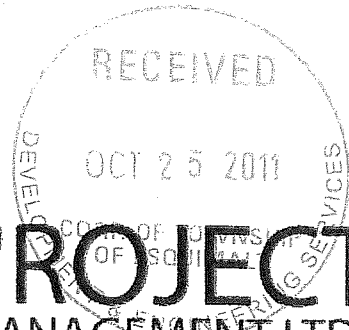
**THIS IS SCHEDULE 'B' OF
 DEVELOPMENT PERMIT NO. 16/2011**

CORPORATE OFFICER

VAN-ISLE



PROJECT MANAGEMENT LTD.



Township of Esquimalt
Planning Department

Attention: Trevor Parkes

Re: 616 Lampson

The subject property and existing house has had the following items recently upgraded

1. New Roof
2. New Hot Water Tank
3. New electrical 200 amp service
4. Recent new furnace
5. New kitchen countertops
6. New Bathtub surround
7. New bathroom flooring
8. New paint throughout

The following areas will be upgraded prior to selling the existing house.

1. Remove old carpeting to expose wood floors
2. New re - paint complete
3. New Kitchen cabinetry
9. New Gutters and downspouts
10. Repair existing wood windows to incorporate sealed units
11. Sealing the exposed rock in the basement.
12. Replace or repair facia.
13. Paint exterior as required
14. Upgrade roof insulation to R-40
15. Repair or replace flower boxes

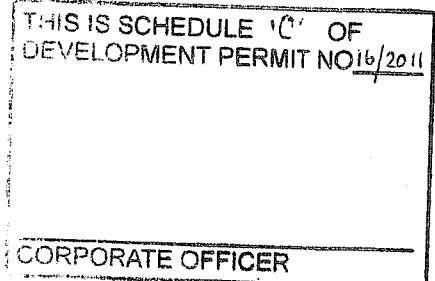
This house is a very quaint older cottage with the charm of character windows, original antique light fixtures, and built in kitchen and fireplace cabinets suiting the age of the home. It is surrounded by mature and extensive (albeit, overgrown) landscaping including heritage plantings typical of an English style garden.

It is our intention to maintain the charm and character of this home and still provide affordable housing.

Yours truly,

Ron Warrington
President

3280 Woodburn Ave. Victoria, B.C.V8P 5B9 Tel:727-8997

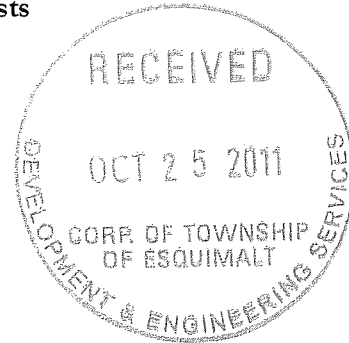




RECEIVED

Talbot Mackenzie & Associates

Consulting Arborists



October 17, 2011

Van -Isle Project Management Ltd.
3280 Woodburn Avenue
Victoria, BC V8P 5B9

Attention: Ron Warrington

Re: Tree Retention Impact and Report for 616 Lampson Street

Assignment: Prepare a tree impact and retention report to be used during the proposed subdivision of the 616 Lampson Street property into two single-family lots.

Methodology: For this purpose, we reviewed the concept plan supplied that included a suggested building footprint location. Each tree within the anticipated area of impacts for proposed Lot B and the front of Lot A was identified onsite using a numeric metal tag attached to its lower trunk. Information such as tree species, size (d.b.h.), crown spread, protected root zone (PRZ), critical root zone (CRZ), health and structural condition, relative tolerance to construction impacts and general remarks and recommendations was recorded in the attached Tree Resource Spreadsheet.

Note: We are not aware of any construction plans for the existing residence on the property (proposed Lot A). If construction is planned on the existing residence, we recommend that the remaining bylaw-protected trees on the property be inventoried.

Tree Resource: The bylaw-protected tree resource consists primarily of elm trees, with several smaller ornamental tree species interspersed. One Garry oak is located near the existing residence on proposed Lot A, which is unlikely to be impacted by the proposal.

Potential impacts: We anticipate that the highest onsite impacts will occur during excavation for the proposed building footprint, and excavation to upgrade or connect the underground services.

- Elm #0262 has an existing defect at the union of its main stems, and is located where its critical root zone and canopy will be heavily impacted by the construction on this lot.
- Flowering cherry #0264 is located where its critical root zone and canopy will also be heavily impacted by the footprint location. It is unlikely that these two trees will survive these impacts; therefore, we recommend that they be removed prior to the construction commencing.

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..../2

- This would also result in the loss of plum tree #0281, a poorly structured tree that depends on elm #0262 for its support.
- We also anticipate the removal of elm trees numbered 0248, 0249 and 0266, Hawthorn #0263, and Crabapple #0265 if the underground hydro service is located along the northern property boundary.

Mitigation of impacts: To reduce the impacts on the subject trees, we have outlined the following procedures to be implemented during the development of this property.

Barrier fencing: Areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zones. The barrier fencing to be erected must be a minimum of 4 feet in height and constructed of solid material or flexible safety fencing that is attached to wooden or metal posts. If a flexible fencing material is used, the top and bottom of the fencing must be secured to the posts by a wire or board that runs between these posts. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose. Solid hording material may also be required to protect the trunks of trees from mechanical injury if vehicles or machinery are permitted close to tree trunks and where blasting is required.

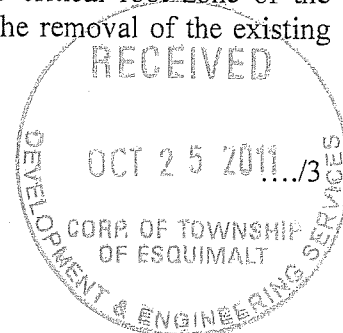
Building footprint: The proposed building footprint, as outlined on the plans supplied, encroaches within the protected root zones of the grove of elm trees along the Lampson Street frontage and several of the ornamental flowering trees surrounding this footprint. The north side and northeast corner of the proposed building footprint encroaches into the critical root zones of elm tree #0262 and Flowering Cherry tree #0264. It is unlikely that these two trees will survive these impacts; therefore, we recommend that these two trees, along with plum tree #0281 be removed prior to the construction commencing.

We recommend that the footprint of the proposed house be excavated under the supervision of the project arborist. The arborist can expose and properly prune the root structures that are encountered, before the excavation equipment damages these roots.

Driveway footprint: The driveway easement is located along the southern property line, away from the main grove of trees. Due to the existing grade change between the driveway and the garden area, it is unlikely that significant root structures will be encountered within the driveway, near the Lampson Street frontage. Root structures from crabapple tree #0280, and laburnum tree #0279 may be encountered beneath the driveway as the change in grade in this location is less pronounced. If the driveway is to be re-surfaced, we recommend that excavation be sensitive to the critical root zone of the bylaw-protected trees. The project arborist should supervise the removal of the existing driveway surface and any excavation required.

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It is our understanding that it may be necessary to widen the driveway on its northerly side by approximately one half to one metre. This will result in the loss of the shrub border along the edge of the driveway and the required excavation will encroach closer to the grove of elm trees. The project arborist must also supervise the excavation in this location.

Servicing: We recommend that all of the underground services be located within the existing driveway footprint where there is less risk of encountering roots from the large elm trees. It is our understanding that given the location of the nearest hydro utility pole, a corridor must be created along the northern property boundary to accommodate underground hydro and communications services for both the existing house and for the proposed lot. In this location there will be a conflict with the root structures of the adjacent elm trees along the front of the property, as well as several of the ornamental trees that are located along this property line. We anticipate the removal of elm trees numbered 0262, 0248, 0249 and 0266, Hawthorn #0263, Flowering cherry #0264, Crabapple #0265 and plum #0281. The excavation to accommodate these lines could also impact the root structures of elm tree #0250. To reduce the impacts on the trees that are to be retained in this location, we recommend that all of the excavation required be completed under the direct supervision of the project arborist.

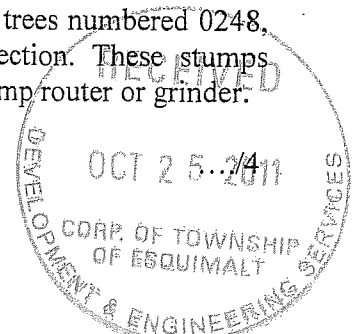
The hydro corridor should be located against the northern property boundary and, if possible, run between the stumps of the trees that have been removed and the northern property boundary while retaining these stumps as a buffer between the excavation and the trees that are to be retained. If the removal of one or more of the stumps is required, we recommend grinding the main part of the stump below grade using a mechanical stump router or grinder. The root structures that remain in the ground, following the stump grinding, can be removed by excavation under the supervision of the project arborist. Due to the mass of roots that will extend from the removed trees, we do not see a good opportunity for the use of hydro excavation equipment or other low impact techniques.

The exact location, depth and width of the trench, and any kiosks that may be required must be laid out onsite and reviewed by the project arborist prior to their installation to determine if the precautions, as outlined above, can be implemented successfully without additional impacts and the removal of additional trees.

Encountering bedrock within the trench, that must be removed, may increase the impacts on the adjacent trees. Where excavation is required within the critical root zones of bylaw-protected trees, we recommend that it be performed under the supervision of the project arborist. If it is determined that the services can be installed aboveground, the location of the meter and mast must be carefully located to avoid conflicts with the trunk of trees that are to be retained. An ISA Certified Arborist must complete any pruning of limbs required for clearances from the lines.

Stump Removal: It may be necessary to remove the stump of elm trees numbered 0248, 0249 and 0251 to accommodate the underground service connection. These stumps should be removed by grinding them in place with a mechanical stump router or grinder.

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If the entire stump must be removed, this must be completed carefully under the supervision of the project arborist. Similarly, if elm #0262 is removed and the removal of its stump is required, the stump should be removed by grinding it in place with a mechanical stump router or grinder. If the entire stump must be removed this must also be completed carefully under the supervision of the project arborist.

Building/Canopy conflicts: We do anticipate that some clearance pruning will be required for the proposed building. The removal of a large portion of the canopies of elm tree #0262, and Flowering cherry #0264 would be required if these trees are retained. We have recommended that these two trees be removed due to the extensive pruning that would be required and the additional impacts of the excavation on their root structures. Pruning for clearance from hydro and communication lines will be required if these services are run above ground. Once detailed building plans and elevations are made available, we can comment further on pruning specifics. An ISA Certified arborist must complete the pruning of any bylaw-protected trees.

Blasting and Rock Removal: If areas of bedrock are encountered, the blasting to level these rock areas should be sensitive to the root zones located at the edge of the rock. Care must be taken to assure that the area of blasting does not extend into the critical root zones beyond the building and road footprints. The use of small low-concussion charges, and multiple small charges will reduce fracturing, ground vibration, and reduce the impact on the surrounding environment. Only explosives of low phytotoxicity, and techniques that minimize tree damage, are to be used. Provisions must be made to store blast rock, and other construction materials and debris away from critical tree root zones. Should bedrock be encountered within service trenches that are located within the critical root zones of trees that are to be retained, alternate methods of removal that do not include explosive charges may be required.

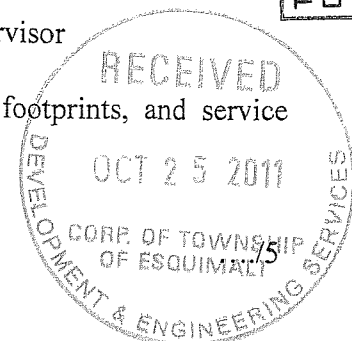
Work area and Material Storage: On restricted sites such as this, it may be difficult to find sufficient space for soil and material storage onsite without using portions of the defined critical root zone. If access within the critical root zone area is required for construction or material storage, the project arborist must be contacted to propose appropriate mitigation measures based on the degree of encroachment required.

Review and Site Meeting: Once the building permit is approved, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing or other construction activity occurs.

Arborists Role: It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing or hording for tree protection
- Reviewing the report with the project foreman or site supervisor
- Locating work zones, where required
- Supervising excavation for the driveway and sidewalk footprints, and service corridor

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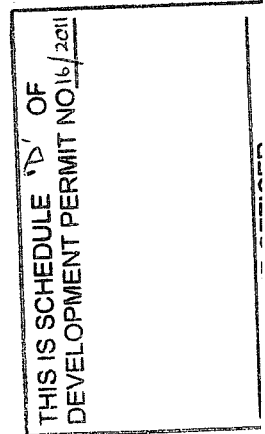
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DEVELOPMENT PERMIT NO. 16/2011

Please do not hesitate to call us at 250-479-8733 should you have any further questions.
Thank You.

Yours truly,
Talbot Mackenzie & Associates

Tom Talbot & Graham Mackenzie
ISA Certified, & Consulting Arborists

Enclosures: Tree Resource Spreadsheet,
Barrier Fencing Specifications
Tree Location Diagram



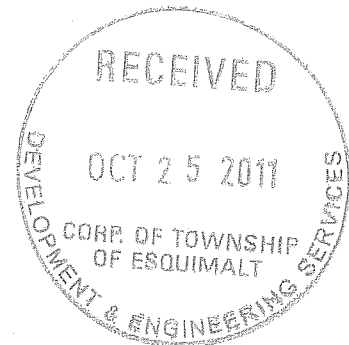
Disclosure Statement

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve their health and structure or to mitigate associated risks.

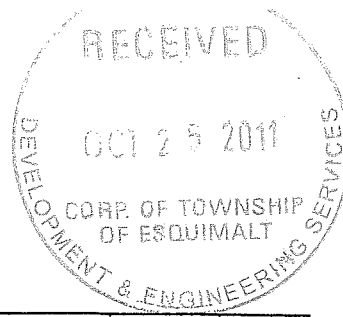
Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an Arborist to identify every flaw or condition that could result in failure or can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

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TREE RESOURCE
for
616 Lampson Street



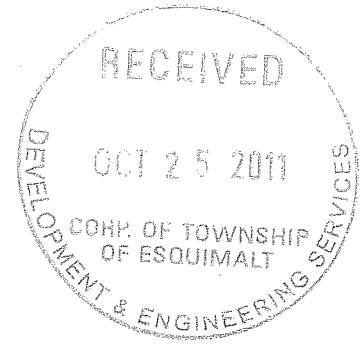
Tree #	d.b.h. (cm)	PRZ	CRZ	Species	Crown Spread(m)	Condition Health	Condition Structure	Relative Tolerance	Remarks / Recommendations
0248	30	5.4	3.0	Elm	10.0	Fair	Fair	Good	Ivy covered, suckering. Young tree
0249	38	6.8	4.0	Elm	8.0	Fair	Poor	Good	Ivy covered, suckering. Topped for hydro clearance
0250	70, 60	19.0	10.0	Elm	20.0	Fair	Fair	Good	Co-dominant tree with 2 main stems. Ivy covered, suckering, deadwood.
0251	N/A	N/A	N/A	Elm	N/A	N/A	N/A	N/A	2 stumps of trees that were recently removed.
0252	24	N/A	3.0	Elm	10.0	Fair	Poor	Good	Heavily pruned for hydro clearance. Not bylaw protected size.
0259	28, 35	9.3	5.2	Elm	12.0	Fair	Fair	Good	Co-dominant, one stem grows horizontally, ivy covered.
0260	50	9.0	5.0	Elm	10.0	Fair	Fair	Good	Leaning, young tree.
0261	20	N/A	3.0	Elm	10.0	Fair	Poor	Good	Suppressed by adjacent trees. Not bylaw protected size.
0262	40, 70	16.9	9.5	Elm	20.0	Fair	Fair	Good	Ivy covered, deadwood, epicormic growth, co-dominant. Weakness at union between co-dominant stems (brace if retained). We anticipate that it will be difficult to retain this tree due to the proposed location of the building footprint.
0263	8, 14, 14, 18	7.0	4.0	Hawthorne	10.0	Fair	Fair	Good	Ivy covered, 4 stems.
0264	34	6.1	3.5	Flowering Cherry	10.0	Fair	Fair	Good	Measured at 1 metre. Removal recommended due to impacts within cur and pruning requirements.

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Prepared by:
Talbot Mackenzie & Associates
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TREE RESOURCE
for
616 Lampson Street

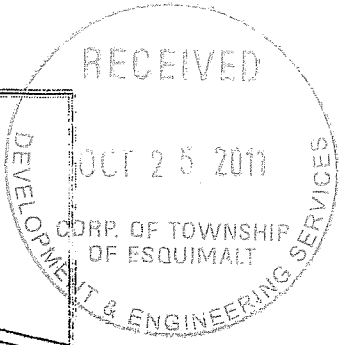
Tree #	d.b.h. (cm)	PRZ	CRZ	Species	Crown Spread(m)	Condition Health	Condition Structure	Relative Tolerance	Remarks / Recommendations
0265	10, 12, 18	5.6	3.0	Flowering Crabapple	10.0	Fair	Fair	Good	Ivy covered.
0266	25	4.5	2.5	Elm	10.0	Fair	Fair	Good	Non-by-law protected size.
0267	17, 18, 20	7.4	4.0	Flowering Cherry	10.0	Fair	Fair	Good	
0268	52	9.4	5.5	Garry oak	16.0	Fair	Fair	Good	Located at edge of driveway.
0269	8, 9, 10, 14	5.4	4.0	Cherry	10.0	Fair	Fair	Good	Included bark, growing on embankment.
0279	10, 12, 18, 20	7.9	6.0	Laburnum	8.0	Fair	Fair	Good	Growing at edge of pathway.
0280	8, 14, 19	5.8	4.0	Flowering Crabapple	10.0	Fair	Fair	Good	Located at edge of driveway.
0281	8, 12, 20, 26	9.0	5.0	Plum	8.0	Fair	Fair	Good	Ivy covered, suppressed. One stem grows between co-dominant stems of the adjacent elm tree #0262.



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CORPORATE OFFICER

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RD-3
ZONING
 RD-3
PID No.
 005-98A-445

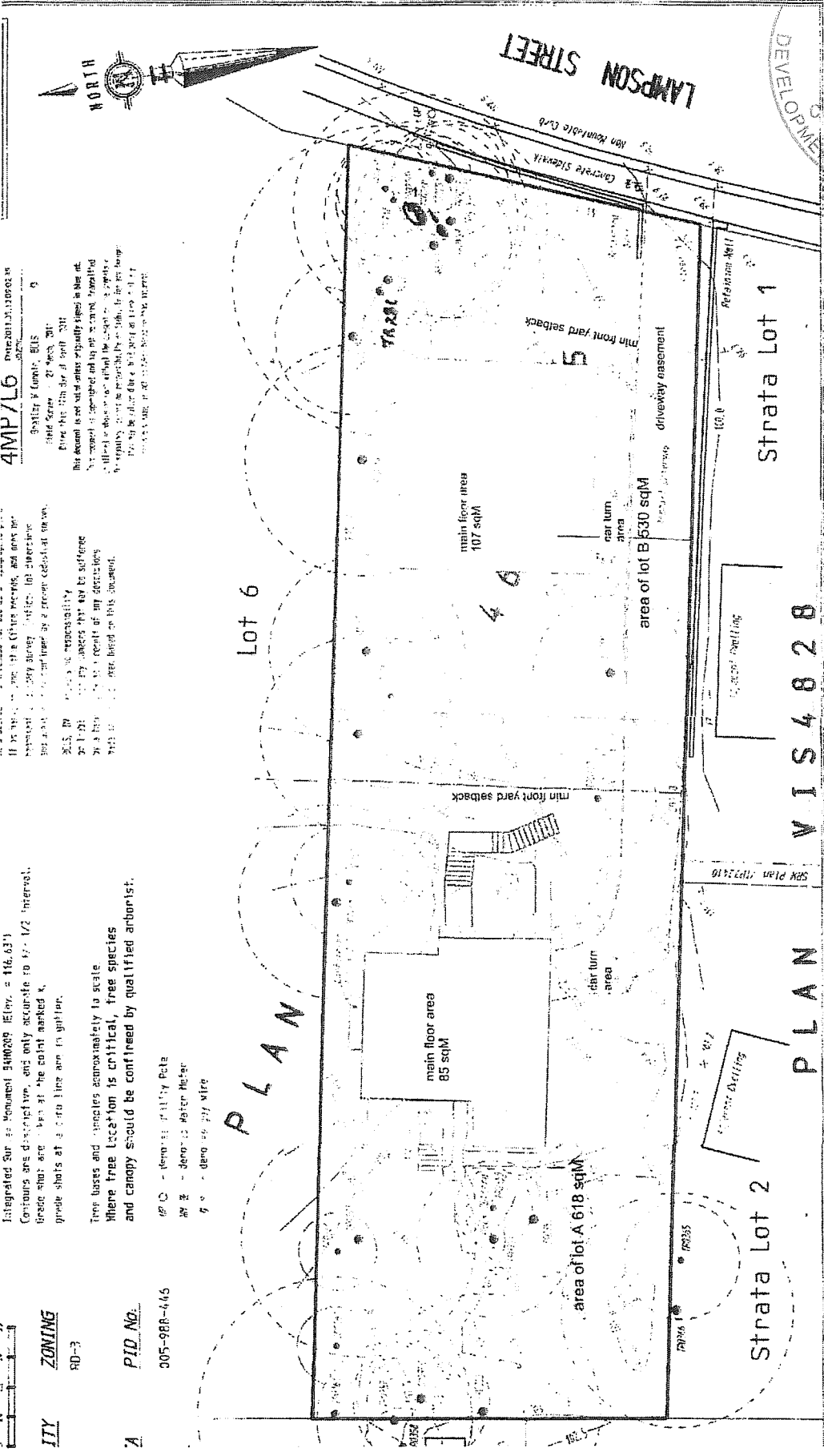
Integrated Survey Monument 9400209 IE(PT. = 116.637)
 Contains descriptive, and only accurate to 1/2" interval.
 Irregular areas are shown at the corner marked A,
 grade shots at 2' interval are in yellow.

Tree bases and samples approximately to scale
 where tree location is critical, tree species
 and canopy should be confirmed by qualified arborist.

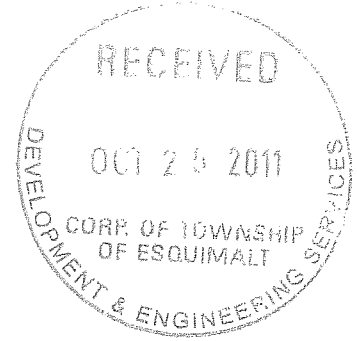
If any tree is removed, it shall be replaced, and any
 removed trees shall be replaced at the same
 location, and at the same time as a proper ecological
 replacement.

2015, by the owner or a representative
 of the owner, to the satisfaction of the
 arborist, as a result of any decisions
 made on this plan.

4MP/L6 Date: 2011.10.10 10:02 AM
 Project: 4MP/L6
 Date: 2011.10.10 10:02 AM
 This drawing is not valid unless originally signed in blue ink.
 No amount is approved for the use of any material or
 equipment shown on this plan without the approval of the
 engineer. The engineer is not responsible for the design of any
 foundation, structure, or other work shown on this plan, and the
 engineer is not responsible for the design of any structure
 shown on this plan.



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Key to Headings in Resource Table

d.b.h. – **diameter at breast height** - diameter of trunk, measured in centimetres at 1.4 metres above ground level

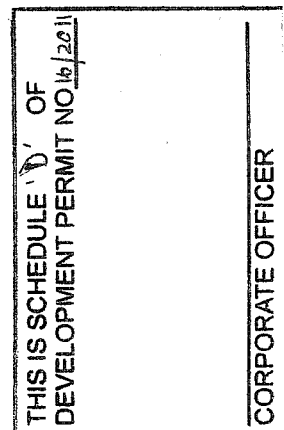
PRZ – **protected root zone** - the area of land surrounding a bylaw-protected tree that contains the bulk of the critical roots of the tree. Indicates the radius of a circle of protected land, measured in metres, calculated by multiplying the diameter of the tree by 18.

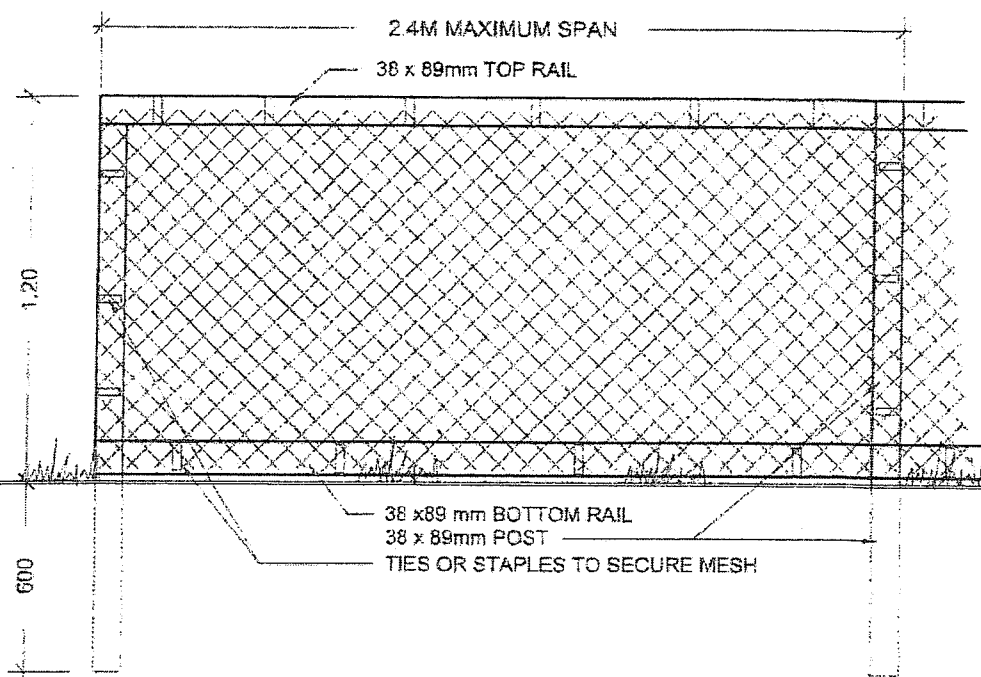
CRZ – **critical root zone** - estimated optimal size of tree protection zone based on tree species, condition and age of specimen and the species tolerance to root disturbance. Indicates the radial distance from the trunk, measured in metres.

Condition health/structure –

- Good – no visible or minor health or structural flaw
- Fair – health or structural flaw present that can be corrected through normal arboricultural or horticultural care.
- Poor – significant health or structural defects that compromise the long-term survival or retention of the specimen.

Relative Tolerance – relative tolerance of the selected species to development impacts.





TREE PROTECTION FENCING
 FENCE WILL BE CONSTRUCTED USING
 38 X 89 mm (2"X4") WOOD FRAME:
 TOP, BOTTOM AND POSTS. *
 USE ORANGE SNOW-FENCING MESH AND
 SECURE TO THE WOOD FRAME WITH
 "ZIP" TIES OR GALVANIZED STAPLES

* IN ROCKY AREAS, METAL POSTS (T-BAR
 OR REBAR) DRILLED INTO ROCK WILL BE
 ACCEPTED

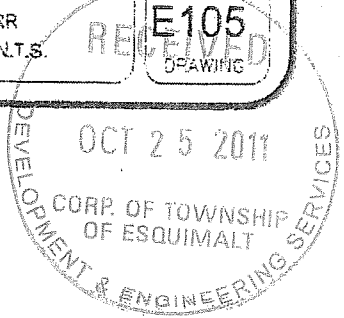
THIS IS SCHEDULE 'D' OF
 DEVELOPMENT PERMIT NO.16/2011

CORPORATE OFFICER

DETAIL NAME:
TREE PROTECTION FENCING

DATE:	Oct 30/07
DRAWN:	DM
APP'D:	RR
SCALE:	N.T.S.

E105
DRAWING



BUILT GREEN® Checklist

Our checklist is a list of "green" criteria. It includes an energy efficiency requirement, and a menu of options in categories, addressing a range of "green" items from which the builder can select to meet the Bronze, Silver, Gold and Platinum achievement levels.

To view the BUILT GREEN® Checklist and the BUILT GREEN® Guide follow this [link](#). Scroll down to **Member Resources**.

Built Green Canada Members have the opportunity to submit requests for changes (additions, deletions, point value, etc.) to the BUILT GREEN® Checklist using the Checklist Change Request Form. The Checklist and the Checklist change requests are reviewed annually. The revised checklist is effective January 1 of each year.

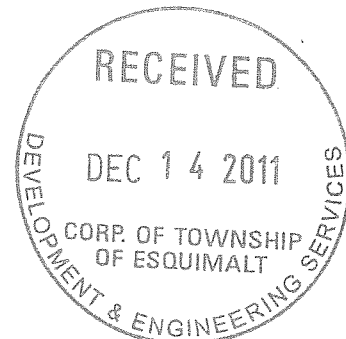
Certification Levels

Built Green Canada recognizes its homes based on the criteria of the checklist described above, which will categorize its members into 4 levels of Green achievement: **Bronze, Silver, Gold and Platinum**.

Built Green supports the use of lumber and gives a significant number of points for lumber use. Only products that have been submitted for verification can be approved, and are then certified by Built Green Canada. To view a selection of products within the checklist categories below, view our [Product Catalogue](#).

Checklist Categories

Checklist Categories	Bronze	Silver	Gold	Platinum
Energuide for New Houses Rating 2011	72pts	75pts	77pts	82pts
I. Operational Systems - Minimum 10/92				
II. Building Materials - Minimum 15/72				
III. Exterior and Interior Finished - Minimum 10/70	76pts	90pts	100pts	120pts
IV. Indoor Air Quality - Minimum 15/58				
V. Ventilation - Minimum 6/24				
VI. Waste Management - Minimum 7/32				
VII. Water Conservation - Minimum 7/50				
VIII. Business Practices - Minimum 6/31				





BuiltGreen

BUILT GREEN™ CHECKLIST 2011

Effective January 1, 2011

To select points, click on boxes and select point value from drop-down list

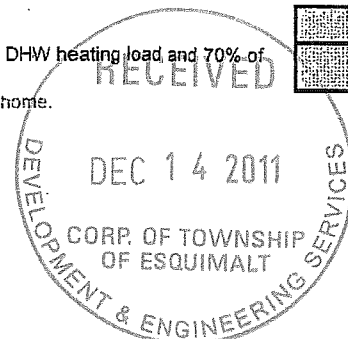
Builder: _____ House Address: _____













Section 1: 30 Section 2: 32 Section 3: 33 Section 4: 31 Section 5: 7 Section 6: 24 Section 7: 19
Section 8: 9 = TOTAL POINTS: 185

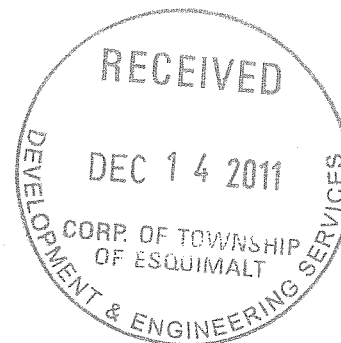
1. OPERATIONAL SYSTEMS










This section awards points for construction methods and types of products that contribute toward lower energy consumption, as well as alternative heating and electrical systems.
Minimum 10 Points Required

- 1-1 Install a zoned heating system. Either, from a single HVAC source utilizing two or more, programmable, thermostatically controlled zones or zoning separate systems through separate programmable thermostats. (2 Zones = 2 points; 3 = points, 4 = points) 2, 3 or 4
Efficiency can be significantly improved by only heating or cooling when occupants are present and by only heating/cooling to the exact desired temperature. Different desired temperatures can be set in each room or space and an individual zone can be turned off when not occupied. This type of system results in a dramatic reduction of energy consumption and operating costs.
- 1-2 Install high efficiency, sealed combustion heating appliance, with a minimum 84% AFUE (2 points) or 95% AFUE and above (3 points). 2 or 3
(Not for electric heat.) High efficiency furnaces or boilers, such as condensing systems, reduce energy consumption and consequently fossil fuel reliance. Because AFUE takes into account efficiency losses during start-up and cool down it's rating is slightly lower.
- 1-3 Install ground or water source heat pumps (10 points) or air source heat pumps (6 points) for heating and cooling. 6 to 10
Heat pumps can significantly reduce primary energy use for building heating and cooling. The renewable component displaces the need for primary fuels, which, when burned, produce greenhouse gases and contribute to global warming. Please Note: Cool climate heat pump systems are often more efficient due to the physics of the process. However, cold climate heat pump systems are often not as efficient as typical boiler/furnace natural gas systems.
- 1-4 Programmable thermostat with dual set back & continuous fan setting. 2
A set back thermostat regulates the heating/cooling system to provide occupant comfort when the house is occupied and to conserve energy when it is not.
- 1-5 Install HVAC appliance with variable speed fan (ECM). 3
A variable speed fan motor (ECM or DC powered) is designed to vary its speed based on the homes heating and air conditioning requirements. Working in conjunction with the thermostat, it keeps the appropriate air temperature circulating through the home, reducing temperature variances in the home. It also provides greater air circulation and filtration, better temperature distribution, humidity control, higher efficiency and quiet performance.
- 1-6 Install sealed combustion 2 pipe tank system (2 points), or condensing DHW tank system (3 points) 2 or 3
Hot water heater is direct vented with a closed combustion system. All air for combustion is taken directly from the outside. A direct system utilizes a co-axial vent pipe (pipe inside a pipe) draws combustion air in through the outer pipe, and exhausts the products of combustion through the inner pipe. A power vented heater exhausts air out of the building via a positive exhaust during main burner operation. Both systems eliminate the need for conventional chimneys or flue systems.
- 1-7 Install instantaneous "tankless" hot water heater. 4
A tankless water heater does not have a storage tank to keep heated all day, or a pilot light; it burns gas only when you need hot water. This eliminates standby heat loss and its higher efficiency will save on utility costs.
- 1-8 Install high efficiency (AFUE 90 or better) boiler domestic hot water system. 4
- 1-9 Install Ground Source Heat Pump DHW heating system to supply a minimum of 25% of the peak DHW heating load and 70% of the total DHW energy load. 4
A Ground Source Heat Pump system uses the earth's constant temperature to heat water for the home.



- | | | | |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|---------|
| 1-10 | Install drain water heat recovery units on the main drainage stack. 3 foot stack (1 point), 6 foot stack (2 points) |  | 1 or 2 |
| | Drain water heat recovery units transfer the heat from waste water to incoming water. This reduces the amount of energy needed for the DHW system. | | |
| 1-11 | Sealed combustion fireplace with electronic ignition if gas fueled. |  | 2 |
| | Sealed combustion fireplaces involve a double-walled special vent supplied by the manufacturer that normally vents through a sidewall in a horizontal position. The unit must be Sealed Combustion, meaning that combustion gasses can not enter the home even if the home becomes depressurized. | | |
| 1-12 | Install an EPA or CSA certified high-efficiency wood stove or pellet stove with a minimum efficiency of 72% (1 point) or 85% (2 points). |  | 1 or 2 |
| | State-of-the-art wood and pellet stoves are among the cleanest burning heating appliances and deliver a high overall efficiency. EPA and CSA certified stoves ensure reduced emissions | | |
| 1-13 | Install fireplace fan kit to circulate warm air into room (1 point per fan, maximum 2 points). |  | 1 or 2 |
| | A fan kit allows the heat generated by a fireplace to be transferred into the home more effectively. | | |
| 1-14 | All windows in home are ENERGY STAR labeled or equivalent for the climatic zone of home. |  | 2 |
| | ENERGY STAR labeled windows save energy by insulating better than standard windows, making the home more comfortable all year round, reducing outside noise and can result in less condensation forming on the window in cold weather. | | |
| 1-15 | Electric range is self cleaning and/or Convection based |  | 1 |
| | Ranges that self clean or have convection are better insulated and sealed, performing at or less than 500 kwh (520 kwh for convection) when rated by EnerGuide. | | |
| 1-16 | Refrigerator is an ENERGY STAR labeled product. |  | 2 |
| | An ENERGY STAR label for refrigerator indicates the product has met strict requirements to reduce energy consumption. | | |
| 1-17 | Dishwasher is an ENERGY STAR labeled product. |  | 1 |
| | An ENERGY STAR label for a dishwasher indicates the product has met strict requirements to reduce energy consumption. | | |
| 1-18 | Clothes washer or combo washer dryer is an ENERGY STAR labeled product. |  | 1 |
| | An ENERGY STAR label for a clothes washer indicates the product has met strict requirements to reduce energy consumption. | | |
| 1-19 | Clothes dryer has an energy performance "auto sense" dry setting which utilizes a humidity sensor for energy efficiency. |  | 1 |
| 1-20 | Home is built "Solar Ready" following Canadian Solar Industries Association (CANSIA) guidelines. |  | 2 |
| | Designing a home to be solar ready will make the addition of panels in the future much easier. Contact the Canadian Solar Industries Association for more info: www.cansia.ca . | | |
| 1-21 | Install active solar hot water heating system. Sized for 30% of DHW load (4 points), 50% (6 points), 80% (8 Points) |  | 4, 6, 8 |
| | System capacity must be verified by professional installer or engineer using modeling software such as RETScreen or better, data provided to Built Green Energy Advisor at time of modeling | | |



- | | | | |
|------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|---------|
| 1-22 | Install photovoltaic electrical generation system. Sized for 30% of electric load (4 points), 50% (6 points), 80% (8 points).
A photovoltaic system will greatly reduce the reliance on fossil fuel energy and reduce greenhouse gas emissions. System capacity must be verified by professional installer or engineer. |  | 4, 6, 8 |
| 1-23 | 50% (2 points) or 100% (4 points) of electricity used during construction of home is generated by wind power or equivalent green power certificate. |  | 2 or 4 |
| 1-24 | 50% (2 points) or 100% (4 points) of electricity used by homeowner during first year of occupancy is generated by wind power or equivalent green power certificate. (prepaid by builder) |  | 2 or 4 |
| 1-25 | A properly supported and wired ceiling fan and a wall mounted switch roughed in for future installation. Intended to allow for future temperature equalization. |  | 1 |
| 1-26 | Install interior motion sensor light switches. 1 point per switch to a maximum of 3 points.
Motion sensor switches prevent lights from remaining on in rooms that are unoccupied. This helps reduce electricity consumption. Switches on closet doors and pantries are also acceptable. |  | 1 to 3 |
| 1-27 | Install central, computerized control systems capable of unified automation control of lighting loads.
Lighting and automation control systems prevent lights from remaining on in rooms without occupants, thereby reducing electricity consumption. |  | 4 |
| 1-28 | Minimum 25% (1 point), 50% (2 points), 75% (3 points) or 100% (4 points) of interior and exterior light fixtures are fluorescent, compact fluorescent light bulbs or LEDs.
Fluorescent, compact fluorescent and LED lamps use 50% less energy than standard lamps and last up to ten times longer. |  | 1 to 4 |
| 1-29 | Minimum 50% of recessed lights use halogen bulbs.
Halogen bulbs are slightly more energy efficient, last longer and provide a more effective task light than conventional bulbs. |  | 1 |
| 1-30 | Air tight, insulation contact-rated recessed lights are used in all insulated ceilings, or insulated ceilings have no recessed lights.
Prevents heated air from exhausting through ceiling. Air tight light fixtures lead to a more airtight, energy efficient home. |  | 1 |












TOTAL SECTION POINTS
























II. BUILDING MATERIALS

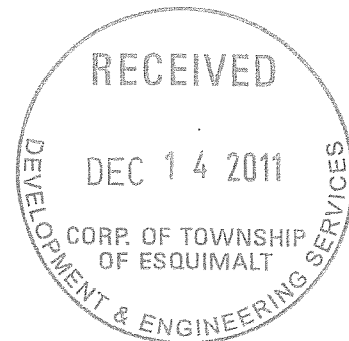
This Section deals with building components that make up the structure of the home. Items involve alternatives to using large dimensional lumber products with a recycled component, utilizing wood products that come from sustainably managed forests and reducing the overall amount of lumber used. Many Building Merit items also improve thermal performance and EnerGuide scores.










Minimum 15 Points Required

- | | | | |
|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|--------|
| 2-1 | Insulated Concrete Form (ICF) system used for foundation walls.
Insulating Concrete Forms (ICF) are hollow building elements made of plastic foam that are assembled, often like building blocks, into the shape of a buildings exterior walls. The ICFs are filled with reinforced concrete to create structural walls. Unlike traditional forms, the ICFs are left in place to provide insulation and a surface for finishes. |  | 2 |
| 2-2 | Insulated Concrete Form (ICF) system used for 75% of above grade house walls.
See description in 2.1. Use of modest amount of stick framing is allowable, i.e. at bay windows, pony walls and walk out walls. |  | 3 |
| 2-3 | Non-solvent based damp proofing (seasonal application).
Water based damp proofing products use water as a thinner. Oil based damp proofing gives off a number of volatile organic compounds (VOCs) as the solvent evaporates after application. These VOCs can be a strong irritant and can add to air pollution. |  | 1 |
| 2-4 | Exterior and interior wall stud spacing at 19.2" on-center (1 point) or 24" on-center (2 points).
Increasing stud spacing reduced the thermal performance of homes while saving materials. |  | 1 or 2 |
| 2-5 | Use of insulated headers / lintels (either manufactured or site built insulated headers) with minimum insulation value of R10.
Headers can either be insulated on site or can be a pre-manufactured product (often insulated with a foamed plastic). |  | 1 |
| 2-6 | Install manufactured Insulated rim/band joist, or build on-site built header wrap detail for continuous air barrier.
Rim and band joists can either be insulated on site or can be pre-manufactured (often insulated with a foamed insulation). |  | 1 |
| 2-7 | Elimination of headers at non-bearing interior and exterior walls.
It is not necessary to use the additional wood involved in header construction if the opening is less than 4' wide and is non-load bearing. For more details on Optimum Value Engineering framing principles see www.buildingscience.com . |  | 1 |
| 2-8 | Use of header hangers instead of jack studs.
Using metal header hangers instead of jack studs allows for savings in wood use. For more details on Optimum Value Engineering framing principles see www.buildingscience.com . |  | 1 |
| 2-9 | Elimination of cripples on hung windows.
For hung window openings, cripples are only necessary for siding or gypsum board attachment. For more details on Optimum Value Engineering framing principles see www.buildingscience.com . |  | 1 |
| 2-10 | Elimination of double plates, using single plates with connectors by lining up roof framing with wall and floor framing.
Stack framing principles will allow for reduced wood usage. For more details on Optimum Value Engineering framing principles see www.buildingscience.com . |  | 1 |
| 2-11 | Use of two stud corner framing with drywall clips or scrap lumber for drywall backing instead of studs.
Drywall clips can be used instead of a third corner stud allowing for reduced wood usage. For more details on Optimum Value Engineering framing principles see www.buildingscience.com . |  | 1 |

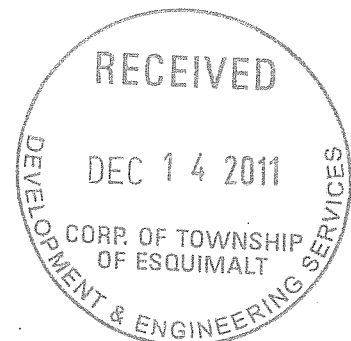


- 2-12 Deck or veranda surfaces (1 point) and/or structure (1 point) made from a third-party certified sustainably harvested wood source.  1 or 2
Wood must come from a sustainably harvested source with certification from Forest Stewardship Council (FSC), Sustainable Forestry Initiative (SFI), or Canadian Standards Association's Sustainable Forest Management Standard (CAN/CSA-Z809-02).
- 2-13 Deck or veranda surfaces (1 point) and/or structure (1 point) made from a third-party certified sustainable concrete.  1 or 2
Concrete produced from aggregates derived from a pit or quarry with a valid reclamation plan approved by Materials and Resources Canada or the governing provincial body.
- 2-14 Structural insulated panel system used for at least 75% of roof/ceiling (4 points), 75% of walls (6 points), exposed floors (2 points) and/or Foundation (2 points).  2 to 14
Factory built Stressed-skin Insulating Panels (SIPS) can reduce thermal migration and control air leakage – keeps heating and cooling costs to a minimum and can use less framing material compared to a conventionally framed wall.
- 2-16 Dimensional lumber from a third-party certified sustainably harvested source used for floor framing.  1
See 2-12
- 2-16 Dimensional lumber from a third-party certified sustainably harvested source used for wall framing.  2
See 2-12
- 2-17 Dimensional lumber from a third-party certified sustainably harvested source used for roof framing.  1
See 2-12
- 2-18 Use manufactured wood products for floor systems instead of dimensional lumber (1 point), from third party certified sustainably harvested sources (2 points).  1 or 2
Engineered wood floor systems saves old growth forests by using components from second generation forests and the use of recycled materials. See 2-12
- 2-19 Reduce dimensional lumber use by using engineered product for all load bearing beams & columns (1 point), from third party certified sustainable sources (2 points).  1 or 2
Engineered products include wood products, concrete and recycled steel.
- 2-20 Reduce dimensional lumber use by using engineered products for all exterior window and door headers.  1
Engineered products include wood products, concrete and recycled steel.
- 2-21 Finger-jointed plate material and/or engineered plate material used for all framing plates.  1
Use of recycled materials saves old growth forests.
- 2-22 Reduce dimensional lumber use by using engineered stud material for 10% of structural stud wall framing.  1
Use of engineered lumber products saves old growth forests by using components from second generation forests and the use of recycled materials.
- 2-23 Finger-jointed studs for 90% of non-structural (1 point) and/or 90% of structural (1 point) wall framing.  1 or 2
Use of recycled materials saves old growth forests.
- 2-24 Recycled and/or recovered content gypsum wallboard, minimum of 15% recycled content.  1
- 2-25 Recycled content exterior wall sheathing (minimum 50% pre- or post-consumer).  2
- 2-26 Use rain screen system separating cladding from the wall sheathing with a drainage plane (2 point), 60% or more recycled content (additional 1 point).  1 or 3
Use of recycled content polypropylene, steel or aluminum rain screen strapping may replace the traditional use of wood strapping on rain screen systems.
- 2-27 Advanced sealing package, non HCFC expanding foam around window and door openings and all exterior wall penetrations.  2
Controls air leakage and keeps heating and cooling costs to a minimum.
- 2-28 All sill plates sealed with foam sill gaskets or a continuous sandwiched bead of acoustical sealant.  1
Controls air leakage and keeps heating and cooling costs to a minimum.
- 2-29 All insulation used in home is certified by a third-party to contain a minimum recycled content: 40% (1 point) or 50% (2 points).  1 or 2
- 2-30 Install site applied spray foam to insulate entire rim joist area (1 point), Exposed floors (2 points) and/or house walls (4 points) and/or entire roof (3 points).  1 to 10
Spray insulations provide excellent air sealing and insulation value. Spray foam must be fire protected and some types cannot come in contact with heating ducts or lines. Some foams meet requirements for vapour barriers. Consult supplier or installer for further information.
- 2-31 Replace exterior wood sheathing with insulating sheathing and structurally required metal bracing.  2
Using less materials when possible saves the forest reserves, reduces thermal migration and controls air leakage and keeps heating and cooling costs to a minimum compared to a conventional wall.
- 2-32 Install R5 (1 point), R8 (2 points) or R12 (3 points) above building code required under entire basement slab.  1,2 or 3
Insulation installed under the basement slab will reduce the downward heat transfer into the ground below the slab, especially when hydronic in-slab heating is installed. Insulation under the slab can reduce temperature swings in the heated space and respond quicker to new changes in thermostat settings.



- 2-33 Install additional rigid insulation on exterior of above grade walls, above code required framing cavity insulation. 1.5" (1 point) or 2" (3 points).  1 or 3
Exterior insulation can greatly reduce thermal bridging, improving thermal performance. Care must be taken to ensure the wall cavity remains permeable to the outside and foam must be fully protected from UV damage during and after construction. Refer to CHBA Builder Manual or Local Code Officials for additional information.
- 2-34 Install additional exterior insulations system on exterior of foundation, R Value of 7.5 (1 point), R10 (2 points), or R15 (3 points), above code required interior insulation level  1, 2 or 3
Insulation on the outside of a foundation system reduced energy loss
- 2-35 Overhead garage door is made of 75% or greater recycled material.  1
- 2-36 Attached garage overhead door is insulated with R8 to R12 (1 point) or greater than R12 (2 points).  1 or 2
- 2-37 Attached garage is fully insulated.  1
A fully insulated garage serves an additional insulating capacity for any walls encapsulated by it, further slowing heat loss through those walls.
- 2-38 Builder uses passive solar design shading devices for home. Permanent horizontal and/or vertical exterior shading devices for glazing (2 points), computer controlled devices (additional 1 point).  2 or 3
Excludes interior blinds.
- 2-39 Install 100% recycled content carpet underlayment.  1
- 2-40 Install finished concrete interior floors instead of other types of finished floors (tile, carpet, hardwood, etc). For 300-500 ft² (1 point), 501-1000 ft² (2 points), 1001-1500 ft² (3 points), 1501+ ft² (4 points).  1 to 4
Not applicable in unfinished basement areas. Using the concrete itself as a finished floor where concrete is being used regardless (for in floor heat or basement slabs) provides a durable floor with less material usage.
- 2-41 Install weather-stripped and insulated (R15 minimum) manufactured interior attic hatch (1 point), or no interior attic access (1 point)  1




















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



III. EXTERIOR and INTERIOR FINISHES

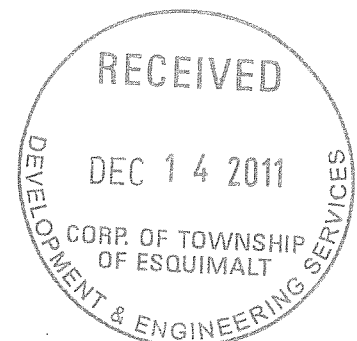
This section focuses on the finish materials used both inside and outside of the home. The items listed include using longer-lasting products, products with recycled content and products that are harvested from third-party certified, sustainably managed forests.

Minimum 10 Points Required

- | | | | |
|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|-----------|
| 3-1 | <p>Exterior doors with a minimum of 15% recycled and/or recovered content.
 Recycled or recovered content ensures we keep our landfill use to a minimum. Not including overhead garage doors (see 2-33).</p> |  | 1 |
| 3-2 | <p>Interior doors with a minimum of 15% recycled and/or recovered content.</p> |  | 1 |
| 3-3 | <p>Interior doors made from third-party certified sustainably harvested wood.
 Uses trees from forests managed sustainably, that prevent clear cutting and replant trees in areas from which they've been harvested.</p> |  | 2 |
| 3-4 | <p>All exterior doors manufactured from fiberglass.
 Fiberglass doors insulate better than steel skinned or wood doors, have a longer lifespan, do not warp, twist or crack, and therefore reduce landfill use.</p> |  | 1 |
| 3-5 | <p>Exterior window frames contain a minimum of 10% recycled content.
 Reusing materials such as plastics that may not be biodegradable reduces landfill usage.</p> |  | 1 |
| 3-6 | <p>Exterior window frames made from third-party certified sustainably harvested wood.
 Uses trees from responsible sources and forests certified to an independent third party forest certification program.</p> |  | 2 |
| 3-7 | <p>Natural, or artificial, cementitious stone/stucco/brick or fiber cement siding – complete or combination thereof for 100% of exterior cladding.
 Strong, long lasting, fireproof material.</p> |  | 4 |
| 3-8 | <p>Recycled or reclaimed exterior cladding material. 1/3 of exterior (1 point), 2/3 or more of home (2 points).
 Use of reclaimed bricks, recycled content siding, etc. Intent is to replace siding materials, primarily exterior finish materials.</p> |  | 1 or 2 |
| 3-9 | <p>Fiber cement fascia and soffit.
 Fiber cement fascia and soffit, made with recycled content from sawmill waste and Portland cement, is a strong, long lasting and fireproof material.</p> |  | 2 |
| 3-10 | <p>Recycled and/or recovered-content fascia and soffit (minimum 50% pre- or post-consumer).
 Recycled and/or recovered-content fascia and soffit reduces the amount of new material used in production by gluing up mill scraps into large pieces, which conserves natural resources and reduces landfill usage.</p> |  | 1 |
| 3-11 | <p>Recycled and/or recovered-content siding (minimum 50% pre- or post-consumer).
 Recycled and/or recovered-content siding reduces the amount of new material used in production by gluing up mill scraps into large pieces, which conserves natural resources and reduces landfill usage.</p> |  | 4 |
| 3-12 | <p>Exterior trim materials are made from alternatives to solid lumber.
 Trim materials manufactured from OSB uses a laminating process to make larger pieces from smaller pieces or strands of wood. The process saves old growth forests by using trees from forests managed sustainably, that prevent clear cutting and replant trees in areas from which they've been harvested.</p> |  | 1 |
| 3-13 | <p>Exterior trim materials have recycled and/or recovered-content (minimum 50%).
 Recycled and/or recovered-content trim materials reduce the amount of new material used in production by gluing up mill scraps into large pieces, which conserves natural resources and reduces landfill usage.</p> |  | 3 |
| 3-14 | <p>All exterior trim is clad with pre-finished metal (1 point over wood backings, 2 points without wood backings).
 Trim clad with pre-finished metal is a durable long lasting product that requires no maintenance and reduces waste in landfills due to long life of product.</p> |  | 1 or 2 |
| 3-15 | <p>Deck or veranda surfaces made from low maintenance materials - deck surfaces do not need maintenance of any kind, including painting, for a minimum of 5 years.
 Materials that last longer reduce landfill usage and tend to require little to no maintenance, saving replacement costs and reducing energy use.</p> |  | 2 |
| 3-16 | <p>Minimum 25-year manufacturer warranty roofing material (2 points plus 1 point for each additional 5 years).
 A 25-year roof system saves homeowners money in replacement costs, and reduces the use of landfills due to the longevity of the product.</p> |  | 2 or more |
| 3-17 | <p>Minimum 25% recycled-content roofing system (1 point underlay and 2 points roofing finish).
 Recycled content roofing material reduces the use of new resources and waste in landfills.</p> |  | 1 to 3 |
| 3-18 | <p>Domestic wood from reused/recovered or re-milled sources, 500 ft² minimum for flooring or all cabinets or all millwork.
 Reused, recovered or re-milled sources eliminate the need for new resources, saving energy, transportation costs, and forestry from depletion.</p> |  | 6 |
| 3-19 | <p>Natural or recycled-content carpet pad made from textile, carpet cushion or tire waste (rebond still qualifies).
 Natural or recycled-content carpet pad is a good use of reusable resources.</p> |  | 2 |


















3-20	Install carpet that has a minimum of 50% recycled content. Recycled-content carpet is a good use of renewable resources, lessens off-gassing and improves air quality.		2	
3-21	Install a minimum of 300 ft ² of laminate flooring.		2	
3-22	Bamboo, cork or hardwood flooring used in home, minimum of 300 ft ² installed. Products must be third-party certified from sustainably managed forests or certified sustainable sources. Cork flooring comes from stripping the bark off cork oak, which regenerates itself. The cork tiles are moisture, rot and mould resistant, providing a floor that can last over 30 years. Bamboo flooring is a good use of natural resources because it is fast growing, durable and flexible. All hard floorings promote better indoor air quality by not trapping contaminants.		3	
3-23	All ceramic tile installed in home has a minimum of 25% recycled-content. Reduces landfill usage.		2	
3-24	MDF and/or finger jointed casing and baseboard used throughout home (1 point), and all jambs (1 point) Medium Density Fiberboard (MDF) casing is created from sawdust and glues, utilizing all wood waste to create usable product.		1 to 2	
3-25	Solid hardwood trim from third-party certified sustainably harvested sources approved for millwork and/or cabinets (2 points per application – maximum of 4 points). Uses trees from responsible sources and forests certified to an independent third party forest certification program.		2 or 4	
3-26	Paints or finishes with minimum of 20% recycled content. Paints or finishes made from recycled content are environmentally friendly because recycling paint reduces the hazardous waste in landfills.		1	
3-27	Local natural stone or recycled content (30% of content) solid countertops for all kitchen counters (2 points), all other counter tops (1 point). Solid counter top product is more durable, easy to clean and maintain, resistant to heat and scoring. By quarrying and sourcing in Canada, the environmental cost of shipping is greatly reduced. Foreign stone cut or polished in Canada is not acceptable, quarry must be located within 800km of project, see item 8-1 for additional point.		1 or 2	
3-28	100% agricultural waste or 100% recycled wood particle board used for shelving. Products such as wheat board are made from agricultural waste.		2	
3-29	PVD finish on all door hardware. Physical Vapour Disposition provides a more durable product. No toxic wastes are produced making it.		1	
3-30	PVD finish on all faucets. Physical Vapour Disposition provides a more durable product. No toxic wastes are produced making it.		1	
3-31	Install only Type 1 or 2 grade door hardware with lifetime mechanical and coating warranty. High quality, durable Type 1 and 2 hardware will not require replacing for life of home.		2	
TOTAL SECTION POINTS				7














IV. INDOOR AIR QUALITY

This section focuses on the quality of the air within the finished home. Products listed here include materials that are low in VOCs, products made from all natural materials, as well as various air cleaning and ventilation systems.

Minimum 15 Points Required

- | | | | |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|--------|
| 4-1 | Install pleated media filter on HVAC system with minimum MERV 7 rating. |  | 1 |
| | MERV rating system specifies allowable amounts and practical sizes that a filter must catch. The higher the MERV rating, the smaller and greater number of particulates are caught, providing better indoor air quality. | | |
| 4-2 | Install electrostatic air cleaner on HVAC system. |  | 2 |
| | Permanent washable air filter that traps and removes airborne particles from the air before being circulated through the furnace and into the home. | | |
| 4-3 | Install air filter on all fresh air inlets. |  | 1 |
| | A filter installed on the fresh air inlet will reduce the particulate that can be transferred from outside into the home. All air intakes must be easily accessible for maintenance. Bug screens are not considered a "filter". Check with furnace or HRV manufacture | | |
| 4-4 | Install electronic air cleaner on HVAC system. |  | 3 |
| | An electronic air cleaner offers a superior level of filtration by using advanced, 3-stage filtration technology to trap and filter airborne particles like dust, cat dander and smoke. It works by placing an electric charge on airborne particles, and then collecting the charged pollutants like a magnet. The air cleaner cells can be washed in your dishwasher or sink. | | |
| 4-5 | Install HEPA filtration system or MERV equivalent air filtration system in conjunction with an HVAC system. |  | 6 |
| | HEPA stands for High-Efficiency Particle Arresting. HEPA filtration offers the highest particulate removal available - 99.97% of particles that pass through the system including dust, cat dander, certain bacteria, pollens and more. The system is connected to the cold air return of the forced air heating/cooling system which provides a whole house filtration system. | | |
| 4-6 | Install thermostat that indicates the need for the air filter to be changed or cleaned. |  | 1 |
| | This feature displays filter maintenance reminders on the thermostat. Regular furnace maintenance is required to keep your mechanical equipment running efficiently and problem free as well as ensuring a healthy indoor air environment. | | |
| 4-7 | Power vacuum all HVAC ducting prior to occupancy by homeowner. |  | 2 |
| | This process helps eliminate pollutants that drop into the HVAC ducting during the construction process from being circulated into the home. | | |
| 4-8 | Central vacuum system vented to exterior as recommended by the Carpet and Rug Institute. |  | 1 |
| | A central vacuum system collects dust centrally, while exhausting to the exterior so that dust mites and bacteria do not have the opportunity to re-circulate. The result is cleaner, healthier air. Note: install far enough from air intake areas. See manufacturer's installation guidelines. | | |
| 4-9 | All insulation in the home is third-party certified or certified with low or zero formaldehyde. |  | 2 |
| | Formaldehyde is colorless gaseous organic compound, water soluble, with a characteristic pungent and stinging smell. Products with low formaldehyde emission levels will improve indoor air quality of homes and long term owner health. | | |
| 4-10 | Low formaldehyde sub floor sheathing (less than 0.18 ppm). |  | 3 |
| | Formaldehyde is colorless gaseous organic compound, water soluble, with a characteristic pungent and stinging smell. Products with low formaldehyde emission levels will improve indoor air quality of homes and long term owner health. Industry Standard ANSI A208.1-1999 sets a 0.20 ppm limit. Built Green™ requires a 10% better level of performance at 0.18 ppm. Products using Pheno! Formaldehyde, or PMDI or MDI will meet this standard without testing. | | |
| 4-11 | Low formaldehyde underlayment is used in home (less than 0.18 ppm). |  | 1 |
| | Low formaldehyde (phenol) and formaldehyde-free binders (PMDI) are available and becoming more common. FSC certified OSB is becoming more common, reducing environmental impacts on air, water, social quality. | | |
| 4-12 | Low formaldehyde particle board/MDF (less than 0.18 ppm) = 1 point, or zero formaldehyde particle board/MDF (2 points) used for cabinets. |  | 1 or 2 |
| | Urea formaldehyde-free fiberboard can be used in the same way as conventional fiberboard, but with the added caution of greater potential for water damage. | | |
| 4-13 | Low formaldehyde particle board/MDF (less than 0.18 ppm) = 1 point, or zero formaldehyde particle board/MDF (2 points) for shelving. |  | 1 or 2 |
| | Urea formaldehyde-free fiberboard can be used in the same way as conventional fiberboard, but with the added caution of greater potential for water damage. | | |
| 4-14 | All interior wire shelving is factory coated with low VOC / no off gassing coatings |  | 2 |
| | Vinyl coating on conventional shelving units and site built MDF shelving off gas VOCs. | | |
| 4-15 | Water-based urethane finishes used on all site-finished wood floors. |  | 2 |
| | Water-based epoxy finish (generally referred to as epoxy-modified finish) differs from its solvent-based counterpart in that the epoxy resin is itself the catalyst for an acrylic or urethane resin. | | |



- | | | | |
|-----------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
| 4-16 | All wood or laminate flooring in home is factory finished.
Installing a pre-finished floor eliminates the time, the dust and the odours associated with the on-site sanding and finishing of an unfinished product. |  | 2 |
| 4-17 | Water-based lacquer or paints are used on all site built and installed millwork, including doors, casing and baseboards. (less than 200 grams/litre of VOC's)
Using water based interior finish products reduces VOC off-gassing which improves indoor air quality. |  | 3 |
| 4-18 | Interior paints used have low VOC content (less than 200 grams/litre of VOCs).
Volatile Organic Compounds (VOCs) are a class of chemical compounds that can cause short or long-term health problems. A high level of VOCs in paints/finishes off-gas and can have detrimental effects to a buildings indoor air quality and occupant health. |  | 2 |
| 4-19 | Interior paints used have no VOC's in base paint prior to tint.
Volatile Organic Compounds (VOCs) are a class of chemical compounds that can cause short or long-term health problems. A high level of VOCs in paints/finishes off-gas and can have detrimental effects to a buildings indoor air quality and occupant health. |  | 3 |
| 4-20 | All ceramic tiles are installed with low VOC adhesives and plasticizer-free grout (low VOC standard is less than 150 grams per litre).
Most adhesives are still based on SB latex which releases large quantities of VOCs. The volatile solvents are used to emulsify (or liquefy) the resin that acts as the bonding agent. However, water-based adhesives emit far less VOCs than their conventional solvent based counterparts. There are three types of low-VOC formulas: water-based (latex and acrylics); reactive (silicone and polyurethane); and exempt solvent-based (VOC-compliant solvents). While all three technologies yield low- or zero-VOC caulks, sealants, and adhesives, their performance is slightly different. |  | 1 |
| 4-21 | All Vinyl flooring is replaced with natural linoleum installed with low VOC adhesives or other hard surface flooring (low VOC standard is less than 150 grams per litre). Hard surface flooring is generally more durable and improves the Indoor Air Quality within a building. Vinyl flooring typically releases VOC's as it ages and uses toxic glues in its application. |  | 2 |
| 4-22 | Carpet and Rug Institute (CRI) IAQ label on all carpet used in home.
To identify carpet products that are truly low-VOC, CRI has established a labeling program. The CRI Indoor Air Quality Carpet Testing Program green and white logo displayed on carpet samples in showrooms informs the consumer that the product type has been tested by an independent laboratory and has met the criteria for very low emissions. |  | 2 |
| 4-23 | Carpet and Rug Institute (CRI) IAQ label on all underlay used in home.
The adhesives used to install carpets and the latex rubber by some manufacturers to adhere face fibers to backing materials generate volatile organic compounds (VOCs). Carpets also cover large surfaces within an interior environment and can provide "sinks" for the absorption of VOCs from other sources. |  | 1 |
| 4-24 | Natural material based carpet in all living areas.
Natural wool carpets are durable and use less secondary backing materials and chemicals. Off-gassing is typically caused by the secondary backings and chemical additives in synthetic carpets, for controlling mildew, fungus, fire and rot. |  | 2 |
| 4-25 | All carpet in home is replaced by hard surface flooring.
Hard surface flooring is generally more durable and improves the Indoor Air Quality within a building. Carpets collect dust, dust mites and other allergens which when disturbed become airborne particulates- directly affecting the health of the occupants. |  | 4 |
| TOTAL SECTION POINTS | | | 
5 |

V. VENTILATION
 This section covers the mechanical ventilation systems in the home, including filtration and heat recovery.
Minimum 6 Points Required
Platinum Level Note: Platinum level homes must use item 5-7. Ventilation system is installed according to CSA Standard F326, as recommended by the Heating, Refrigeration and Air Conditioning Institute of Canada (HRAI), as well as 6 additional points from this section.











V VENTILATION

This section covers the mechanical ventilation systems in the home, including filtrations and heat recovery.

Minimum 6 Points Required

Platinum Level Note: Platinum level homes must use item 5-7. Ventilation system is installed according to CSA Standard F326, as recommended by the Heating, Refrigeration and Air Conditioning Institute of Canada (HRAI) as well as 6 additional points from this section.

- | | | |
|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------|
| 5-1 | All ductwork joints and penetrations sealed with low toxic mastic or aerosolized sealant system.
Duct mastic is a preferred flexible sealant that can move with the expansion, contraction, and vibration of the duct system components. A high quality duct system greatly minimizes energy loss from ductwork. The system should be airtight, sized and designed to deliver the correct airflow to each room. |  3 |
| 5-2 | Install motorized damper on fresh air inlet (must be interlocked with furnace system).
A constantly open fresh air supply (passive air) wastes energy. Positive control of this air will assure building comfort, safety and energy efficiency. |  1 |
| 5-3 | Install all ventilation fans (bath or in-line type) to meet or exceed the Energy Star requirements
Energy Star fans have to meet standards for efficiency, and sound transmission, providing quiet and effective ventilation fans.
www.oes.nrcan.gc.ca/energystar/english |  2 |
| 5-4 | install a programmable timer or humidistat controlled ventilation fan meeting the Energy Star requirements for efficiency and sound level
A programmable timer ensures necessary, regular, automatic mechanical ventilation of the home. |  2 |
| 5-5 | Install passive Heat Recovery Ventilator (HRV) and verify balanced installation.
A Heat Recovery Ventilator (HRV) is an air exchanger that exhausts humid, stale, polluted air out of the home and draws in fresh, clean outdoor air into the home. Invisible pollutants produced by common household substances, plus dust and excess humidity that get trapped in today's houses, can increase your risk of chronic respiratory illness and your homes risk of serious structural damage. A passive HRV unit does not have its own internal fan and is 100% furnace assisted. It works by tying the exhaust side of the unit to the supply air plenum which forces air to exhaust from the home and at the same time fresh air enters from outside through the unit and into the cold air return duct work. |  2 |
| 5-6 | Install an active Heat Recovery Ventilator or Energy Recovery Ventilator (HRV or ERV) and verify balanced installation.
A Heat Recovery Ventilator (HRV) is an air exchanger that exhausts humid, stale, polluted air out of the home and draws in fresh, clean outdoor air into the home. Invisible pollutants produced by common household substances, plus dust and excess humidity that get trapped in today's houses, can increase your risk of chronic respiratory illness and your homes risk of serious structural damage. Much like the HRV, the ERV recovers heat; however, it also recuperates the energy trapped in moisture, which greatly improves the overall recovery efficiency. In dry climates and humidified homes the ERV limits the amount of moisture expelled from the home. In humid climates and air conditioned homes, when it is more humid outside than inside, the ERV limits the amount of moisture coming into the home. |  4 |
| 5-7 | Ventilation system is installed according to CSA Standard F326, as recommended by the Heating, Refrigeration and Air Conditioning Institute of Canada (HRAI).
www.hrai.ca |  5 |
| 5-8 | All bath fans used throughout home have a noise level of 1 sone or less
Installing quiet fans will encourage use for home ventilation. |  2 |













TOTAL SECTION POINTS



VI. WASTE MANAGEMENT

This section deals with the handling of waste materials on the construction site and encourages recycling.

















Minimum 7 Points Required

6-1	<p>Comprehensive recycling program for building site including education, site signage and bins.</p> <p>A comprehensive recycling program that is strictly followed significantly reduces the amount of waste ending up in landfills. Currently it is estimated that up to 50% of landfill waste is construction related.</p>		2
6-2	<p>Collection of waste materials from site by a waste management company that is a current member of a provincial recycling council or equivalent association and verifies that a minimum of 10% of the materials collected from the construction site have been recycled.</p> <p>Not only does this reduce overall waste of product, it ensures that as much product as possible is being utilized for the production of future resources.</p>		4
6-3	<p>Suppliers and trades recycle their own waste, including leftover material and packaging (1 point per trade - maximum 4 points).</p> <p>Trades being responsible for recycling and removal of waste not only reduces landfill waste, but also promotes a cleaner and safer working environment.</p>		1 to 4
6-4	<p>Minimum 15% (1 point) 25% (2 points) or 50% (6 points) by weight of waste materials collected from construction site is diverted from waste stream.</p> <p>Trades being responsible for recycling and removal of waste not only reduces landfill waste, but also promotes a cleaner and safer working environment.</p>		1, 2 or 6
6-5	<p>Use of recycled materials derived from local construction sites (1 point for each different product used, to max. of 3).</p> <p>Products recycled from the construction site, such as mulched clean dimensional lumber free of metals, or mulched paperless gypsum are often useable as either clay/soil water retention additives.</p>		1 to 3
6-6	<p>Trees and natural features on site protected during construction.</p> <p>The protection of existing trees and other natural features such as streams, ponds and other vegetation reduces environmental and ecosystem impact. Many of these features can be protected simply by following good waste management procedures.</p>		1
6-7	<p>Metal or engineered durable form systems used for concrete foundation walls.</p> <p>The use of metal forming systems reduces the requirement of lumber, a limited resource.</p>		1
6-8	<p>Concrete used in home has a minimum supplementary cementing material of 25% (1 point) or 40% (2 points) within the scope of proper engineering practices.</p> <p>For every one ton of Portland cement generated, eighth tenths of a ton of carbon dioxide is produced. Supplementary cementations products include fly ash, blast furnace slag as well as metakaolin.</p>		1 or 2
6-9	<p>Install recycling center with two or more bins.</p> <p>By installing built in recycling centers, which can be as simple as labeled containers (paper, cardboard, cans, plastics, etc), homeowners are more likely to utilize the pre-existing facilities and thus contribute to the reduction in landfill waste.</p>		3
6-10	<p>Provide composter to homeowner.</p> <p>Providing a composter promotes a reduction in wastes heading to the landfill by giving homeowners an option for organic waste such as food leftovers.</p>		2
6-11	<p>Existing dwellings onsite are recycled or moved instead of demolished (recycled 2 points, moved 4 points).</p>		2 or 4
TOTAL SECTION POINTS			

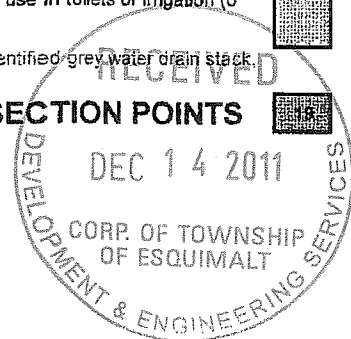


VII. WATER CONSERVATION

This section encourages a reduction in the amount of water used in the home or in individual units within multi-story buildings. Minimum 7 Points Required












7-1	Install a dual flush or pressure assisted toilet in one or more bathrooms (3 points for first, 1 additional point for each after) Dual flush toilets offer a choice between two water levels for every flush; at minimum should use 1.6 GPF (6 LPF) or 0.8 GPF (3 LPF).		3 or more
7-2	Install a 1.28 GPF toilet in one or more bathrooms (2 points for first, 1 additional point for each after) 1.28 GPF (Gallon per Flush) is general considered the new standard in water efficiency		2 or more
7-3	Install manufactured non-electric composting toilet (3 points each, max of 6 points). A composting toilet uses no water and is odourless. It uses a biological processes to break down the waste into organic compost material.		3 or 6
7-4	Insulate the hot water lines with flexible pipe insulation, first three feet from hot water tank (1 point) or all hot water lines (2 points). Minimizing the heat loss in the water line will decrease the initial water wasted by delivering hot water faster.		1 or 2
7-5	Install hot water recirculation system with all hot water lines insulated (4 points), or point-of-use instant DHW system (1 point each, max. 4) Having the hot water re-circulated from the hot water source to the fixture points will decrease the initial water wasted by delivery the hot water faster. Pump must be on program or timer to reduce stand-by losses. Kitchen counter top "boiling water taps" are not credited.		1 to 4
7-6	Install low flow faucets for all kitchen faucets and lavatories (2 points), all showers & tub/showers (additional 1 point). Reduces water consumption by lowering the flow rate. Showers must use 9.8 L/min (2.2 imp. Gal./min) or less. Faucets, both kitchen and bath, must use 8.3 L/min (1.8 imp. Gal./min) or less.		2 or 3
7-7	Install hands free lavatory faucets, 1 point per faucet/unit. Battery powered electronic sensor minimizes the spread of germs and saves water.		1 per unit
7-8	Provide front loading clothes washer (3 points), or Condensing Combination wash/dry unit (4 points) Front loading clothes washers conserve water by design, as they are only required to fill up the washing compartment 1/3 full to effectively wash clothing. Additionally they use up to 75% less environmentally damaging laundry detergent, AND they also conserve electrical or gas energy by significantly reducing drying time for clothes with a more thorough spin cycle.		3 or 4
7-9	Install water saving dishwasher that uses less than 20.0 L/water per load. Water saving dishwasher use technology to reduce both the amount of water required as well as electrical energy requirements. The EnerGuide appliance directory put out by Natural Resources Canada has a comprehensive listing of all manufacturers and models of dishwashers and other appliances with water usage and energy efficiency ratings.		1
7-10	Install efficient irrigation technology that utilizes automatic soil moisture-based sensor technology at minimum Show storm water management plan & design; water efficient irrigation systems, sensors, regulators, micro drip feed systems etc.		3
7-11	Install permeable paving materials for all driveways and walkways. Permeable paving allows for storm water to flow back into the ground rather than into the storm sewers.		3
7-12	Provide a list of drought tolerant plants and a copy of the local municipality water usage guide to homebuyers with closing package. Most municipalities provide a guide that gives the water requirements of various plants and grasses. When properly designed, landscaping choices can significantly contribute to water conservation.		1
7-13	Builder supplies a minimum of 8" of topsoil or composted yard waste, as finish grading throughout site. Compared to subsoil materials, topsoil usually has higher aggregate stability, lower bulk density, and more favorable pore size distributions which leads to higher hydraulic conductivity, water holding capacity, and aeration porosity.		2
7-14	Builder incorporates water wise landscaping or xeriscaping in show home or customer home (customers 50% of lawn 2 points, 100% 4 points). Xeriscaping (or drought resistant landscaping) plans and options can be obtained from professional landscaping contractors, and once a xeriscaping landscape is in place, it requires no manual watering. (Rain barrel usage, astro turf ineligible.)		2 or 4
7-15	Builder attaches water barrel with insect screen to downspout. Water barrel should also have a drain spout and overflow spout (1 point per barrel - maximum of 3 barrels). Supplying a water barrel encourages homeowners to use rainwater for landscaping needs and therefore save on potable water.		1, 2 or 3
7-16	Install grey water system collecting waste from sinks, shower and/or kitchen to capture and treat for use in toilets or irrigation (6 pts), rough-in for future grey water system (3 points) By reusing waste water, consumption can be drastically reduced. Rough-in must include clearly identified grey water drain stack, separated from sewer line.		3 or 6

TOTAL SECTION POINTS



VIII. BUSINESS PRACTICE

This section deals more with manufacturers and builders office and business practices.
Minimum 6 Points Required

- | | | | |
|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|--------|
| 8-1 | <p>Products used for home are manufactured within 800 km (1 point for each product - maximum of 5).</p> <p>Transportation of building materials is a substantial energy use, local manufacture reduces this embodied energy. Distances are calculated by road, not as the crow flies. Manufacturing or assembly must take place in a plant or factory, not on-site. Distance to raw material source is not included.</p> |  | 1 to 5 |
| 8-2 | <p>Builder provides Built Green™ homeowner manual, completed Built Green™ checklist and educational walkthrough with sale or possession.</p> |  | 3 |
| 8-3 | <p>Builders office and show homes purchase a minimum of 50% (1 point) or 100% (2 points) solar, wind or renewable energy. Wind energy is a cleaner way to provide energy. Lower CO2 emissions will benefit the environment.</p> |  | 1 or 2 |
| 8-4 | <p>Manufacturers and/or suppliers purchase 50% or more solar, wind or renewable electricity. Wind energy is a cleaner way to provide energy. Lower CO2 emissions will benefit the environment.</p> |  | 1 |
| 8-5 | <p>Builder has written an environmental policy which defines their commitment (must include an office recycling program and energy efficient lighting). A statement of commitment helps to emphasize priority and ultimately define a corporate culture.</p> |  | 1 |
| 8-6 | <p>Manufacturer and/or supplier has written an environmental policy which defines their commitment (must include an office recycling program and energy efficient lighting). (1 point per supplier/manufacturer - maximum of 2 points).</p> |  | 1 or 2 |
| 8-7 | <p>Builder has written an environmental policy which prioritizes milestones for future net zero housing developments.</p> |  | 1 |
| 8-8 | <p>Builders' company vehicles are hybrid or bio-diesel vehicles (1 point per vehicle - maximum of 3 points). A commitment to the environment shouldn't stop at construction. Using a hybrid vehicle produces lower harmful emissions. Diesel construction vehicles converted to bio-diesel reduce fuel consumption by up to 75%.</p> |  | 1 to 3 |
| 8-9 | <p>Environmental certification for builders place of business (building, office, etc). Many commercial buildings have been rated with various energy efficiency standards. Does your company work within an ENERGY STAR, EnerGuide for Houses (ERS), EnerGuide for New Houses (EGNH), REAP or LEED (or other certification standard) certified office building?</p> |  | 3 |
| 8-10 | <p>Builder agrees to construct and label a minimum of 50% of all homes to the Built Green™ standard per calendar year. (3 points for 50%, 5 points for 100%).</p> |  | 3 or 5 |
| 8-11 | <p>Contracted trades and/or suppliers have successfully taken and maintained Built Green™ Builder Training status (1 point per trade organization, Max 5).</p> |  | 1 to 5 |

TOTAL SECTION POINTS
TOTAL CHECKLIST POINTS

185



VIII. BUSINESS PRACTICE

This Section deals more with manufacturers and builders office and business practices.
Minimum 6 Points Required

- | | | | |
|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------|--------|
| 8-1 | Products used for home are manufactured within 800 km (1 point for each product - maximum of 5).

Transportation of building materials is a substantial energy use, local manufacture reduces this embodied energy. Distances are calculated by road, not as the crow flies. Manufacturing or assembly must take place in a plant or factory, not on-site. Distance to raw material source is not included. | 5 | 1 to 5 |
| 8-2 | Builder provides Built Green™ homeowner manual, completed Built Green™ checklist and educational walkthrough with sale or possession. | 3 | 3 |
| 8-3 | Builders office and show homes purchase a minimum of 50% (1 point) or 100% (2 points) solar, wind or renewable energy.

Wind energy is a cleaner way to provide energy. Lower CO2 emissions will benefit the environment. | 1 or 2 | 1 or 2 |
| 8-4 | Manufacturers and/or suppliers purchase 50% or more solar, wind or renewable electricity.

Wind energy is a cleaner way to provide energy. Lower CO2 emissions will benefit the environment. | 1 | 1 |
| 8-5 | Builder has written an environmental policy which defines their commitment (must include an office recycling program and energy efficient lighting).

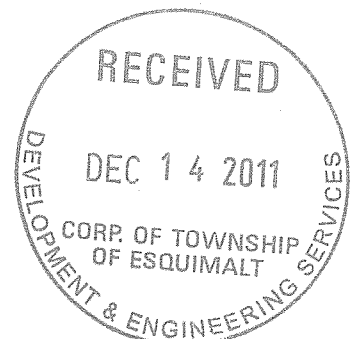
A statement of commitment helps to emphasize priority and ultimately define a corporate culture. | 1 | 1 |
| 8-6 | Manufacturer and/or supplier has written an environmental policy which defines their commitment (must include an office recycling program and energy efficient lighting). (1 point per supplier/manufacturer - maximum of 2 points). | 1 or 2 | 1 or 2 |
| 8-7 | Builder has written an environmental policy which prioritizes milestones for future net zero housing developments. | 1 | 1 |
| 8-8 | Builders' company vehicles are hybrid or bio-diesel vehicles (1 point per vehicle - maximum of 3 points).

A commitment to the environment shouldn't stop at construction. Using a hybrid vehicle produces lower harmful emissions. Diesel construction vehicles converted to bio-diesel reduce fuel consumption by up to 75%. | 1 to 3 | 1 to 3 |
| 8-9 | Environmental certification for builders place of business (building, office, etc).

Many commercial buildings have been rated with various energy efficiency standards. Does your company work within an ENERGY STAR, EnerGuide for Houses (ERS), EnerGuide for New Houses (EGNH), REAP or LEED (or other certification standard) certified office building? | 3 | 3 |
| 8-10 | Builder agrees to construct and label a minimum of 50% of all homes to the Built Green™ standard per calendar year. (3 points for 50%, 5 points for 100%). | 3 or 5 | 3 or 5 |
| 8-11 | Contracted trades and/or suppliers have successfully taken and maintained Built Green™ Builder Training status (1 point per trade organization, Max 5). | 1 to 5 | 1 to 5 |

TOTAL SECTION POINTS
TOTAL CHECKLIST POINTS

185





GREEN BUILDING CHECKLIST

The purpose of this Checklist is to make property owners and developers aware of specific green features that can be included in new developments to reduce their carbon footprints to help create a more sustainable community.

Creating walkable neighbourhoods, fostering green building technologies, making better use of our limited land base and ensuring that new development is located close to services, shops and transit are some of the means of achieving sustainability.

The Checklist which follows focuses on the use of **Green Technologies** in new buildings and major renovations. The Checklist is not a report card, it is a tool to help identify how your project can become 'greener' and to demonstrate to Council how your project will help the Township of Esquimalt meet its sustainability goals. It is not expected that each development will include all of the ideas set out in this list but Council is looking for a strong commitment to green development.

There are numerous green design standards, for example, Built Green BC; LEED ND; Living Building Challenge; Green Shores; Sustainable Sites Initiative. Esquimalt is not directing you to follow any particular standard, however, you are strongly encouraged to incorporate as many green features as possible into the design of your project .

As you review this checklist, if you have any questions please contact **Development Services at 250.414.7108** for clarification.

**New development is essential to Esquimalt.
We look forward to working with you
to ensure that development is
as green and sustainable as possible.**

Other documents containing references to building and site design and sustainability, which you are advised to review, include:

- Esquimalt's Official Community Plan
- Development Protocol Policy
- Esquimalt's Pedestrian Charter
- Tree Protection Bylaw No. 2664
- A Sustainable Development Strategic Plan for the Township of Esquimalt

Adopted on January 10th, 2011



“One-third of Canada’s energy use goes to running our homes, offices and other buildings. The federal government’s Office of Energy Efficiency (Natural Resources Canada) reports that a corresponding one-third of our current greenhouse gas (GHG) emissions come from the built environment.”

[Green Building and Development as a Public Good, Michael Buzzelli, CPRN Research Report June 2009]

Please answer the following questions and describe the green and innovative features of your proposed development. Depending on the size and scope of your project, some of the following points may not be applicable.

Green Building Standards

Both energy use and emissions can be reduced by changing or modifying the way we build and equip our buildings.

1	Are you building to a recognized green building standard? If yes, to what program and level?	Yes	No
	<u>BUILT GREEN BROWSE</u>	<input checked="" type="checkbox"/>	
2	If not, have you consulted a Green Building or LEED consultant to discuss the inclusion of green features?	Yes	No
3	Will you be using high-performance building envelope materials, rainscreen siding, durable interior finish materials or safe to re-use materials in this project? If so, please describe them.	Yes	No
		<input checked="" type="checkbox"/>	
4	What percentage of the existing building[s], if any, will be incorporated into the new building?		<u>0</u> %
5	Are you using any locally manufactured wood or stone products to reduce energy used in the transportation of construction materials? Please list any that are being used in this project.		
6	Have you considered advanced framing techniques to help reduce construction costs and increase energy savings?	Yes	No
			<input checked="" type="checkbox"/>
7	Will any wood used in this project be eco-certified or produced from sustainably managed forests? If so, by which organization? _____ For which parts of the building (e.g. framing, roof, sheathing etc.)? _____		
8	Can alternatives to Chlorofluorocarbon's and Hydro-chlorofluorocarbons which are often used in air conditioning, packaging, insulation, or solvents] be used in this project? If so, please describe these. <u>INSULATION & SOLVENTS</u>	Yes	No
		<input checked="" type="checkbox"/>	
9	List any products you are proposing that are produced using lower energy levels in manufacturing.		
10	Are you using materials which have a recycled content [e.g. roofing materials, interior doors, ceramic tiles or carpets]?	Yes	No
		<input checked="" type="checkbox"/>	
11	Will any interior products [e.g. cabinets, insulation or floor sheathing] contain formaldehyde?	Yes	No
			<input checked="" type="checkbox"/>



Water Management

The intent of the following features is to promote water conservation, re-use water on site, and reduce storm water run-off.

Indoor Water Fixtures

12	Does your project exceed the BC Building Code requirements for public lavatory faucets and have automatic shut offs?	Yes	No	N/A
13	For commercial buildings, do flushes for urinals exceed BC Building Code requirements?	Yes	No	N/A
14	Does your project use dual flush toilets and do these exceed the BC Building Code requirements?	Yes	No	X
15	Does your project exceed the BC Building Code requirements for maximum flow rates for private showers?	Yes	No	X
16	Does your project exceed the BC Building Code requirements for flow rates for kitchen and bathroom faucets?	Yes	No	X

Storm Water

17	If your property has water frontage, are you planning to protect trees and vegetation within 60 metres of the high water mark? [Note: For properties located on the Gorge Waterway, please consult Sections 7.1.2.1 and 9.6 of the Esquimalt Official Community Plan.]	Yes	No	N/A
18	Will this project eliminate or reduce inflow and infiltration between storm water and sewer pipes from this property?	Yes	No	N/A
19	Will storm water run-off be collected and managed on site (rain gardens, wetlands, or ponds) or used for irrigation or re-circulating outdoor water features? If so, please describe. <u>rain barrels</u>	Yes	No	N/A
20	Have you considered storing rain water on site (rain barrels or cisterns) for future irrigation uses?	Yes	No	N/A
21	Will surface pollution into storm drains will be mitigated (oil interceptors, bio-swales)? If so, please describe. _____	Yes	No	N/A
22	Will this project have an engineered green roof system or has the structure been designed for a future green roof installation?	Yes	No	N/A
23	What percentage of the site will be maintained as naturally permeable surfaces?	<u>60 %</u>		

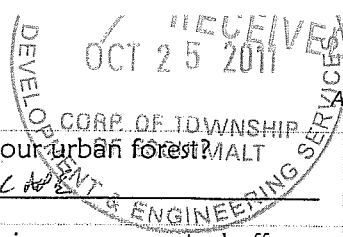
Waste water

24	For larger projects, has Integrated Resource Management (IRM) been considered (e.g. heat recovery from waste water or onsite waste water treatment)? If so, please describe these. _____	Yes	No	N/A
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Natural Features/Landscaping

The way we manage the landscape can reduce water use, protect our urban forest, restore natural vegetation and help to protect the watershed and receiving bodies of water.

25	Are any healthy trees being removed? If so, how many and what species? _____ Could your site design be altered to save these trees? Have you consulted with our Parks Department regarding their removal?	Yes	No	N/A
			X	



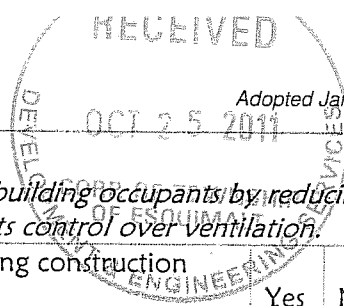
Adopted January 10th, 2011

26	Will this project add new trees to the site and increase our urban forest? If so, how many and what species? <u>SEE LANDSCAPE</u>	Yes <input checked="" type="checkbox"/>	No	N/A
27	Are trees [existing or new] being used to provide shade in summer or to buffer winds?	Yes <input checked="" type="checkbox"/>	No	N/A
28	Will any existing native vegetation on this site be protected? If so, please describe where and how. _____	Yes	No	N/A <input checked="" type="checkbox"/>
29	Will new landscaped areas incorporate any plant species native to southern Vancouver Island? <u>SEE LANDSCAPE</u>	Yes <input checked="" type="checkbox"/>	No	N/A
30	Will xeriscaping (i.e. the use of drought tolerant plants) be utilized in dry areas?	Yes	No	N/A <input checked="" type="checkbox"/>
31	Will high efficiency irrigation systems be installed (e.g. drip irrigation; 'smart' controls)?	Yes	No	N/A
32	Have you planned to control invasive species such as Scotch broom, English ivy, Himalayan and evergreen blackberry growing on the property? <u>UNKNOWN</u>	Yes <input checked="" type="checkbox"/>	No	N/A
33	Will topsoil will be protected and reused on the site?	Yes <input checked="" type="checkbox"/>	No	N/A

Energy Efficiency

Improvements in building technology will reduce energy consumption and in turn lower greenhouse gas [GHG] emissions. These improvements will also reduce future operating costs for building occupants.

34	Will the building design be certified by an independent energy auditor/analyst? If so, what will the rating be? _____	Yes	No <input checked="" type="checkbox"/>	N/A
35	Have you considered passive solar design principles for space heating and cooling or planned for natural day lighting?	Yes	No <input checked="" type="checkbox"/>	N/A
36	Does the design and siting of buildings maximize exposure to natural light? What percentage of interior spaces will be illuminated by sunlight? <u>50</u> %	Yes <input checked="" type="checkbox"/>	No	N/A
37	Will heating and cooling systems be of enhanced energy efficiency (ie. geothermal, air source heat pump, solar hot water, solar air exchange, etc.). If so, please describe. _____ If you are considering a heat pump, what measures will you take to mitigate any noise associated with the pump? _____	Yes	No	N/A <input checked="" type="checkbox"/>
38	Has the building been designed to be solar ready?	Yes	No <input checked="" type="checkbox"/>	N/A
39	Have you considered using roof mounted photovoltaic panels to convert solar energy to electricity?	Yes	No <input checked="" type="checkbox"/>	N/A
40	Do windows exceed the BC Building Code heat transfer coefficient standards?	Yes	No <input checked="" type="checkbox"/>	N/A
41	Are energy efficient appliances being installed in this project? If so, please describe. <u>Refer -</u>	<input checked="" type="checkbox"/>		
42	Will high efficiency light fixtures be used in this project? If so, please describe.	Yes <input checked="" type="checkbox"/>	No	N/A
43	Will building occupants have control over thermal, ventilation and light levels?	Yes <input checked="" type="checkbox"/>	No	N/A
44	Will outdoor areas have automatic lighting [i.e. motion sensors or time set]?	Yes <input checked="" type="checkbox"/>	No	N/A
45	Will underground parking areas have automatic lighting?	Yes	No	N/A



Air Quality

The following items are intended to ensure optimal air quality for building occupants by reducing the use of products which give off gases and odours and allowing occupants control over ventilation.

46	Will ventilation systems be protected from contamination during construction and certified clean post construction?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
47	Are you using any natural, non-toxic, water soluble or low-VOC [volatile organic compound] paints, finishes or other products? If so, please describe. <u>PAINT, VARNISHES</u>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
48	Will the building have windows that occupants can open?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
49	Will hard floor surface materials cover more than 75% of the liveable floor area?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
50	Will fresh air intakes be located away from air pollution sources?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Solid Waste

Reuse and recycling of material reduces the impact on our landfills, lowers transportation costs, extends the life-cycle of products, and reduces the amount of natural resources used to manufacture new products.

51	Will materials be recycled during demolition of existing buildings and structures? If so, please describe. _____	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
52	Will materials be recycled during the construction phase? If so, please describe. <u>SEPARATE WOOD, GARBAGE DRUMS</u>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
53	Does your project provide enhanced waste diversion facilities i.e. on-site recycling for cardboard, bottles, cans and or recyclables or on-site composting?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
54	For new commercial development, are you providing waste and recycling receptacles for customers?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>

Green Mobility

The intent is to encourage the use of sustainable transportation modes and walking to reduce our reliance on personal vehicles that burn fossil fuels which contributes to poor air quality.

55	Is pedestrian lighting provided in the pathways through parking and landscaped areas and at the entrances to your building[s]?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
56	For commercial developments, are pedestrians provided with a safe path[s] through the parking areas and across vehicles accesses?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
57	Is access provided for those with assisted mobility devices?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
58	Are accessible bike racks provided for visitors?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
59	Are secure covered bicycle parking and dedicated lockers provided for residents or employees?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
60	Does your development provide residents or employees with any of the following features to reduce personal automobile use [check all that apply]: <input type="checkbox"/> transit passes <input type="checkbox"/> car share memberships <input type="checkbox"/> shared bicycles for short term use <input type="checkbox"/> weather protected bus shelters <input type="checkbox"/> plug-ins for electric vehicles	N/A		

Is there something unique or innovative about your project that has not been addressed by this Checklist? If so, please add extra pages to describe it.

Bessie
APC M+8
Nov 15/2011
MC

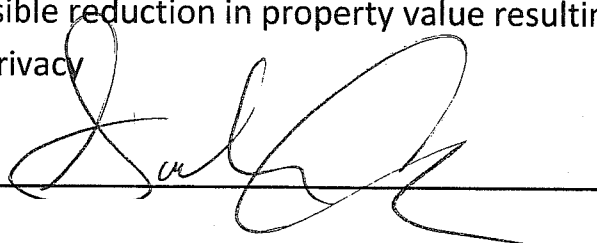
My name is Sarah Cook, owner and occupant of 612 Lampson Street. My partner Charles Burnett and I have the following concerns with the rezoning application for 616 Lampson. As adjacent property owners, we would like some formal assurance that if this proposal is approved, any development actions that may negatively affect our property values (as outlined below) will be avoided where possible, or mitigated through improvements (i.e. installation of new hedging along property line, replacement of trees, construction of more robust retaining wall).

- Loss of privacy
- Increased noise (construction, street traffic)
- Loss of green space, native species, mature trees and hedging, that currently provide bird habitat, lovely views, significant privacy and mitigation of noise from Lampson Street
- Further collapse of existing retaining wall with increase in use
- Maintenance of property as a non-owner-occupied development
- Possible reduction in property value resulting from increase in density, loss of privacy

Signed _____

Phone:

Daytime:



Present APC
Mo 15 2011 ml

My name is Howard R. East, owner and occupant of 620 Lampson Street. I am 93 years old and have limited mobility (I use a walker). My kitchen and wood-working shop windows look southward over gardens on 616 and 612 Lampson properties.

I have the following concerns with the rezoning application:

- Loss of views (currently enjoy views of ocean and mountains)
- Loss of natural light
- Loss of privacy
- Increased noise

Signed Howard R East Phone:

I have read Sarah Cook and Charles Burnett concern with the rezoning of 616 Lampson and I agree ~~that rezoning~~ with the points that they made.

Howard R East

If possible, please build at the west end so that I can maintain a view and as much sunlight as possible.

Howard R East



Tuesday, November 22, 2011

To: Trevor Parkes, Senior Planner
CC: Meagan Brame, APC Council Liaison
Barb Desjardins, Major

Dear Mr. Barnes,

We, Sarah Cook, owner of 612 Lampson Street and Charles Burnett, her partner, are concerned with the *process* and the *potential impact* of the proposal described in the development permit for 616 Lampson Street (Lot 5, Section 11, Esquimalt District, Plan 4619). The proposal was examined in the Esquimalt Advisory Planning Commission meeting of November 15th, chaired by Ms. Brame.

Please respond in writing to the following questions before December 7th. Your timely response will allow us to resolve these issues in advance of the next Council Meeting.

Our concerns:

The application is dated October 25th but the first time resident home owners beside the property in question heard about the application was when a sign board was posted at or after noon on Thursday 10th of November. This was the Thursday before the Remembrance Day long weekend, or in other words, 2 business days before the Advisory Commission meeting. Bylaw 2562 states "SIGN PLACED ON SUBJECT PROPERTY WHEN APC MTG DATE SCHEDULED".

Question 1. Why were residents neighbouring this application not informed in a timely fashion?

The arborist report lists a small but healthy Garry Oak on the property, beside the drive, stating "One Garry oak is located near the existing residence on proposal Lot A, which is unlikely to be impacted by the proposal." However, the landscaping plan does not mapⁱ nor make a plan for fencing to protect this tree. In fact, this appears to be the only tree excluded from the landscape plan, but will certainly be impacted if the drive is widened or resurfaced, which sounds likely.

Question 2. Do you think the Proposal should be accepted by Council without an amendment explicitly protecting this tree?

We noted in our submission to the Commission the issue of the decaying retaining wall along the north side of our property which supports the 616 Lampson drive. This drive will see more traffic, especially during construction.

Question 3. Do you not think it appropriate to have in writing a commitment from the developer to ensure that the retaining wall is sound? And if it is not considered sound, is it fair that we must carry the financial burden of rebuilding this?

We noted in our submission to the Commission the issue of loss of privacy in our cozy front yard due to the new dwelling, and especially due to its height and windows.

Question 4. The new dwelling will be considerably taller than the existing building on the lot, and that dwelling is atop a rock. Does the roof need to be so peaked?

Question 5. Shouldn't the use of dormer windowsⁱⁱ be strongly encouraged?

Question 6. Will you to get from the developer a commitment in writing that the front yard privacy issue will be addressed through the planting of hedges and/or the building of a fence on the 616 Lampson side of the drive?ⁱⁱⁱ

We noted in our submission to the Commission that the other neighbouring property owner is a 93 year old who has mobility challenges - he uses a walker. As of November 21st he, Howie East, has never seen the Proposal. He has not been approached by the developer or by Esquimalt planning staff.

Question 7. Does Esquimalt have a plan as to how to consult with senior resident owners?

Question 8. Will you bring Howie East the plans and sit in his kitchen and show him how much of his south-facing sea view and sunlight^{iv} will remain after the new dwelling is completed?

Please note:

- It may seem from these questions that we are 'against' in-fill development. We are not.
- We see these issues as being small but significant issues that could impact our quality of life and the property value of our house.
- We look forward to working with Esquimalt to make sure the potential impacts to our home are addressed.
- If we do not receive responses to these issues, in writing and before December 7th, we will seek a more formal, legal language, way to have them heard.

Sincerely and with a passion for living in beautiful Esquimalt,



Sarah Cook
612 Lampson St
Esquimalt, BC V9A 6A1



Charles Burnett
612 Lampson St
Esquimalt, BC V9A 6A1

ⁱ Re: 9.8 Esquimalt Official Community Plan Guidelines for Single-unit Infill Housing: 9.8.4.4 Landscaping J) Proposals for single-unit infill housing must include a landscape plan showing... trees, shrubs, planting area and proposed species; k) retention and protection of trees and the natural habitat is encouraged wherever possible.

ⁱⁱ Re: 9.8 Esquimalt Official Community Plan Guidelines for Single-unit Infill Housing: 9.8.4.2 Massing: e) "new structures for lots other than corner or double frontage lots should be limited to one and one half stories" and f) use of dormers...preferred to peaked roof set over second story.

ⁱⁱⁱ Re: 9.8 Esquimalt Official Community Plan Guidelines for Single-unit Infill Housing: 9.8.4.3 Privacy/Screening/Shadowing: g) Proposed infill dwellings should have only minimal impact on adjacent homes and be separated from neighbouring residences by vegetation, screening, natural elevation differences

^{iv} Re: 9.8 Esquimalt Official Community Plan Guidelines for Single-unit Infill Housing: 9.8.4.3 Privacy/Screening/Shadowing g) Proposed infill dwellings should have only minimal impact on adjacent homes and be separated from neighbouring residences by vegetation, screening, natural elevation differences and i) Infill dwellings should be sited to minimize the casting of shadows onto the private outdoor space of adjacent residential dwellings.

25 November 2011

Sarah Cook
Charles Burnett
612 Lampson Street
Victoria, B.C.
V9A 6A1

Dear Ms Cook and Mr. Burnett:

Re: **Proposed development at 612 Lampson Street**

The following information is provided in response to your letter of November 22, 2011 addressed to Mr. Barnes. Please note that we do not have a Mr. Barnes employed with the Township.

Signage

Regarding the notice of development posted on the property, Esquimalt's Development Procedures Bylaw No. 2562 requires that once an application has been received and the date of the Advisory Planning Commission meeting at which it will be considered is known, a sign is to be posted on the property. The only timing requirement is that the sign be posted before the meeting, therefore posting it on November 10th for a meeting on November 15th more than meets the requirements of the bylaw.

A review of the application by the Advisory Planning Commission is only the first step in the processing of a development application. These meetings are open to the public so that interested persons can learn about the proposed development, however, there are several other steps in the application review where residents can learn about the proposal including the Committee of the Whole and Council meetings leading up to the Public Hearing.

Garry Oak Tree

The Garry oak tree mentioned in Talbot Mackenzie & Associates report is located on the north property line of the subject property in the vicinity of the existing house and is well away from any driveways or new construction. Even if construction was anticipated near this tree, Esquimalt's Tree Protection Bylaw [No. 2664] requires that tree protection be put in place and maintained throughout construction. It is not necessary for Council to specifically protect the Garry oak tree.

Retaining Wall

Regarding the retaining wall between your property and 616 Lampson Street, usually the developer will commit to repairing retaining walls and fences as these are an enhancement to their project as well as the neighbouring property. For this development the landscape architect has indicated on the Landscape Plan that a new fence will be constructed on the property just to the north of your fence [which is not on the property line] and the retaining wall will be retained. Should this project be approved, the developer would have to provide the Township with a security to guarantee that plantings and hard landscaping features [paths, walls, fences] are completed as shown on the plan.

Height and Siting of New Home

With regard to the siting of the proposed new home, it meets the required front yard setback of 7.5 metres, the side setbacks of 1.5 and 3.0 metres on the north and south sides respectively, and maintains an 11.5 metre rear yard. The proposed building height is also in compliance with requirements of the single family residential and duplex zones. While the guidelines for infill housing do recommend that developers use dormers to reduce the height this is not an outright requirement.

Although I appreciate that construction of a new home in this location represents a change for you and Mr. East, the proposed design meets the municipality's criteria regarding height and siting. Should the existing home be removed and replaced with a single family residence or a duplex, these could be much larger than what is currently being proposed and could be sited much closer to the north and south property lines. The proposed distance between the new residence at 616 Lampson and Mr. East's lot is 3.0 metres and as his home is approximately 3.0 metres from the lot line the separation between buildings would be approximately 6.0 metres [19.6 ft.]. The separation between the proposed home and yours is 8 metres [26 feet].

Privacy

In order to create a sense of privacy, existing shrubs in the front yard are proposed to be retained with red current, ocean spray and mock orange added. The existing hedge, as well as many existing trees near the north property line, will be retained to protect Mr. East's privacy. Cedar fencing is proposed for the portion of the north property line that does not have a hedge. On the south side of the property, a cedar fence 1.8 metres in height, stepping down to 1.2 metres in the front yard, is proposed.

Additional Notification

Once a rezoning application has been presented to Council and the amending bylaw has received first and second readings, a public hearing will be scheduled and notification will be mailed to owners and residents of properties within 100 metres of the subject property. This is our normal procedure as set out in Bylaw No. 2562 referred to above. It is not our usual practice to meet with neighbours individually in their homes to review development proposals. We do encourage developers to contact neighbouring residents to familiarize them with their projects and receive feedback. I have contacted the applicant, Ron Warrington, and asked him to call Mr. East.

The information which you and Mr. East provided to the Advisory Planning Commission will be included in future staff reports to Council and you are welcome to provide additional written comments at any time during the application process.

I hope that this information is sufficient to address your concerns, if you need more information please contact me at 250-414-7146.

Yours truly,



Barbara Snyder
Director of Development Services

c Laurie Hurst, CAO
Trevor Parkes, Senior Planner

VAN-ISLE PROJECT MANAGEMENT LTD.

December 20, 2011

Township of Esquimalt
1229 Esquimalt Rd.
Esquimalt, B.C.
V9A 3P1

Attention: Trevor Parkes / Barbara Snyder

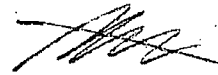
As per our conversation today I am confirming that we will be constructing a retaining wall on our property to support our driveway as per our plans (Landscape Drawing 1 of 2 by LADR). We will also build a fence of a height of 1.2 meters on top of the wall from the front face of our proposed house to the front property line at Lampson St. The rear portion of the fence will be 1.8 meters.

We will continue to negotiate with the neighbours as to how to deal with the existing retaining wall which is on their property entirely (26 inches at Lampson St. and 8.4 inches at the rear). We have had 3 meetings with neighbours so far and are now waiting for their proposal as to what they would prefer.

Any solution would require an inspection and recommendations by a structural engineer and an agreement signed between both property owners. Written permission from the owners of 612 Esquimalt allowing us to work on their property would also be required.

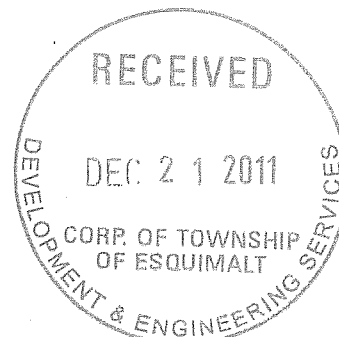
I trust this answers your concerns and we can move forward in a timely manner.

Thank you,



Ron Warrington
President

3280 Woodburn Ave. Victoria, B.C. V8P 5B9 Tel: 727-8997 Fax: 592-8045



VAN-ISLE PROJECT MANAGEMENT LTD.

January 09, 2012

Sarah Cook
612 Lampson St.
Esquimalt, B.C.
V9A 6A1

Attention: Sarah

Proposed Settlement Agreement



The retaining wall as previously stated is entirely on your property and therefore not our responsibility but we will agree to the following terms with the following conditions.

Work to be done:

1. Remove retaining wall on the property at 612 Lampson St.
2. Construct a new retaining wall as per our letter and plans to the Township of Esquimalt
3. Construct a new fence as per our letter and plans to the Township of Esquimalt
4. Planting of 6 foot cedar hedge material.

Conditions:

1. We have a letter signed by you that we have permission to be on your property to facilitate this work.
2. We require a written agreement that we are not responsible for any damage to your landscaping or fencing etc.
3. We also would want a legal encumbrance put on your property that the hedge material on the property line could be kept trimmed to a height no greater than six feet above the new driveway retaining wall on our property.
4. We will share the cost of this work on a 50% payment by both parties.

This encumbrance is to the benefit of our property to protect the view that we have and also so as not to block our sunlight. The six foot height should give you ample screening for your privacy.

We will share the costs of having the work done at 50% by each party and the costs of drawing up the encumbrance and other agreements will be by our solicitors and our expense. The cost of maintenance trimming would be at the cost of the owner of 616 Lampson.

I trust this will satisfy everyone's interest and we can agree to move forward.

Yours truly,

Ron Warrington
President

January 11, 2012

Attention: Ron Warrington, Van-Isle Project Management Ltd.,

Thank you for your letter received Jan 9th. We appreciate your proposal and are generally in agreement with the proposed, below-copied work to be done:

1. Remove retaining wall on the property at 612 Lampson St.
2. Construct a new retaining wall as per your letter and plans to the Township of Esquimalt
3. Construct a new fence as per your letter and plans to the Township of Esquimalt
4. Planting of 6 foot cedar hedge material.

Regarding your proposed conditions:

1) **Access:** I do not have a problem with providing a letter giving you permission to do this work to the extent that it needs to be carried out on our property.

2) **Indemnification from damage to our property:** While I have suggested we are happy to address reasonable issues you have with liability etc., we are certainly not prepared to give carte blanche permission for machinery to operate in close proximity to our house without regard to property damage, and for us to take on liability for any damage to our house. This cannot be considered reasonable. We assume that your employees and contractors carry insurance and liability protection. If we need specific provisions to deal with access onto my property and the removal of the retaining wall, we can work something out but it is not reasonable to expect us to insure your contractors or to take on liability for anything they do, even if it is caused by negligence on their part.

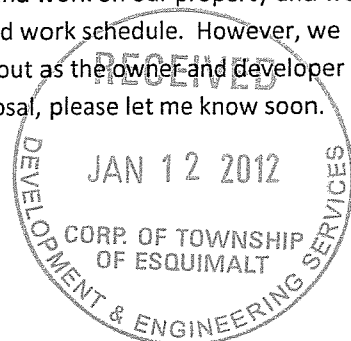
3) **Legal encumbrance on hedging / 616 Lampson view preservation:** I can understand why you would like to control the height of the cedar hedging so I therefore suggest you simply plant the hedge entirely on your property. This will prevent the need for any legal encumbrance, a condition which has the potential to reduce my property value at point of sale, and one that as you say would be to your benefit only.

4) **Wall/drive costs and responsibility:** Finally, I note there is no mention in your proposed settlement agreement that part of your *driveway* is also clearly on my property. In our view, informed by initial legal analysis, both the driveway and retaining wall were likely installed by former owners of 616 Lampson for the benefit of that property. 616 Lampson has a higher grade than my property, and from this it is our understanding that the owner of that property has a legal duty to prevent soil and run-off from running down the grade onto my property. Therefore the retaining wall is for the benefit of 616 Lampson to meet its legal obligations. The wall and driveway are in trespass on my property and need to be removed at the cost of the owner of 616 Lampson. This is your responsibility, and as a result, it is clearly not "fair" for me to cover any of the demolition/re-building costs, the estimates of which seem quite high, and which regardless should be included as a necessary part of your development costs. If you have evidence to support a different view, please let us know so that we may consider it.

In short, we are still willing to work with you on ensuring permission for access and work on our property and we are flexible on the timing of this work to ensure it fits with your development and work schedule. However, we are not in a position to pay for work which we believe you are required to carry out as the owner and developer of 616 Lampson. If you have a different view or would like to make a revised proposal, please let me know soon.

Sincerely,

Sarah Cook and Charles Burnett, 612 Lampson, Esquimalt BC



January 20, 2012

Attention: Ron Warrington, Van-Isle Project Management Ltd.,

Regarding the proposed, below-copied work to be done (as per your attached letter dated Jan 9th):

1. Remove retaining wall on the property at 612 Lampson St.
2. Construct a new retaining wall as per your letter and plans to the Township of Esquimalt
3. Construct a new fence as per your letter and plans to the Township of Esquimalt
4. Planting of 6 foot cedar hedge material.

As we have already stated in our email of January 16th:

- Yes, we understand your cost estimate (attached).
- We also understand you are referring to the removal of the retaining wall that currently supports your driveway. Both the retaining wall and part of your driveway are encroaching on our property, and need to be removed. As such, these costs are your responsibility.
- We will look after the removal, or relocation of, our fence as necessary. We don't view this as your responsibility.
- We are not in favour of a legal encumbrance - it makes more sense for you to plant the hedge on your property if you want control of ongoing maintenance.

We are waiting for your response to our letter of Jan 11th (attached). It is important that you please let us know by the end of today (Friday, Jan 20th) what your is position on this matter, so that we may consider other options if necessary.

Sincerely,
Sarah Cook and Charles Burnett, 612 Lampson



VAN-ISLE PROJECT MANAGEMENT LTD.

January 25, 2012

Sarah Cook
612 Lampson St.
Esquimalt, B.C.
V9A 6A1

Attention: Sarah

Proposed Settlement Agreement

The retaining wall as previously stated is entirely on your property and therefore not our responsibility but we will agree to the following terms with the following conditions.

Work to be done:

1. Remove retaining wall on the property at 612 Lampson St.
2. Construct a new retaining wall as per our letter and plans to the Township of Esquimalt
3. Construct a new fence as per our letter and plans to the Township of Esquimalt

Option 1

Conditions:

1. We have a letter signed by you that we have permission to be on your property to facilitate this work.
2. We require a written agreement that we are not responsible for any damage to your landscaping or fencing. The utmost care will be taken not to cause unnecessary damage.
3. We would require a legal encumbrance be put on your property to protect a view corridor that will be maintained to a height no greater than six feet above the new driveway retaining wall on our property.
4. We will assume all the cost of this work including all legal fees for the agreements.

Option 2

Conditions:

1. We have a letter signed by you that we have permission to be on your property to facilitate this work.
2. We require a written agreement that we are not responsible for any damage to your landscaping or fencing. The utmost care will be taken not to cause unnecessary damage.
3. We will share all the cost of this work including all legal fees for the agreement on a 50% basis.

I trust this will satisfy everyone's interest and we can agree to move forward.

Yours truly,

Ron Warrington
President

3280 Woodburn Ave. Victoria, B.C.V8P 5B9 Tel:727-8997 Fax:592-8045
rwarrington@shaw.ca



VAN-ISLE PROJECT MANAGEMENT LTD.

January 31, 2012

Sarah Cook
612 Lampson St.
Esquimalt, B.C.
V9A 6A1

Attention: Sarah

Proposed Settlement Agreement

We have a legal opinion that the retaining wall as previously stated is entirely on your property and not our responsibility at all, therefore any costs associated with the removal of this wall should be 100% yours. The construction of it is unknown and could have been constructed to provide a level yard and house site. In order to maintain good relations with neighbors we have agreed as below to pay either 50% or 100% of the costs depending on which option you choose.

The cost of fence removal and legal cost (\$1,000.00 point 2-2) that you refer to is not necessary in the removal of your wall. The concession of the rock wall is not a concession as we will be putting in a new concrete wall as stated. We are restricted by Esquimalt's setbacks and do not have adequate space as stated earlier. If you wish to rock face the wall for a decorative appearance that is something you can do.

Option 1

Conditions:

1. We have a letter signed by you that we have permission to be on your property to facilitate this work.
2. We require a written agreement that we are not responsible for any damage to your landscaping or fencing. The utmost care will be taken not to cause unnecessary damage.
3. We would require a legal encumbrance be put on your property to protect a view corridor that will be maintained to a height no greater than six feet above the new driveway retaining wall on our property which is nine to ten feet above your yard..
4. We will assume all the cost of this work including all legal fees for the agreements.

Option 2

Conditions:

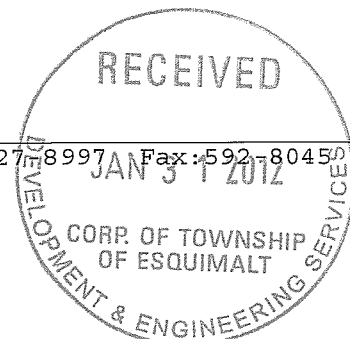
1. We have a letter signed by you that we have permission to be on your property to facilitate this work.
2. We require a written agreement that we are not responsible for any damage to your landscaping or fencing. The utmost care will be taken not to cause unnecessary damage.
3. We will share all the cost of this work including all legal fees for the agreement on a 50% basis.

I trust this will satisfy everyone's interest and we can agree to move forward.

Yours truly,

Ron Warrington
President

3280 Woodburn Ave. Victoria, B.C.V8P 5B9 Tel: 727-8997 Fax: 592-8045
rwarrington@shaw.ca



Feb 1, 2012

Attention: Ron Warrington, Van-Isle (VIP) Project Management Ltd.,

Ron,

Thank you for your correspondence of Jan 25th through Jan 31st. We hope you understand that we are not opposing your plans for development; we are simply trying to mitigate the impact on our property, and to ensure that encroaching features are appropriately moved to correspond with legal property lines. There are two parts to our negotiations, **1) responsibility for encroachment, and 2) privacy**. Separating them will help to clarify, and hopefully clarify just why we don't feel your proposals are acceptable. Please consider our position.

Responsibility

The problem with our negotiations thus far, is that we differ on the basic principle of responsibility. Both the retaining wall **and part of your driveway** are encroaching on our property, and need to be removed. The driveway (an issue you continue to skirt) and wall are attached. How do you propose to remove your driveway from our property without damaging or removing the wall? Initial legal counsel has advised that both are considered illegal trespass on our property, and initial review by a third-party builder suggest the wall is cracked and requires repair. As such, it is reasonable to conclude the the work needs to be done, and that these costs your responsibility.

You may also recall that Barbara Snyder reported to Council during the meeting of Jan 16th, in response to Council's concerns, that this does represent a *longstanding encroachment issue*. In addition, Ms. Snyder wrote to us in a letter dated Nov 25th, stating that "*usually developers will commit to repairing retaining walls and fences as these are an enhancement to their property as well as the neighbouring property*". With these things in mind, can we please proceed assuming you can and should assume responsibility?

Privacy & Property Value Depreciation

We have expressed to you directly, and to Council, in-person and via letters, our concerns that your development will have an imposing presence over our 612 Lampson property. We feel this may negatively impact our privacy, and lower our property value. We note in your latest proposal of Jan 25th, you exclude planting of 6 foot cedar hedge material. Hedging was something you offered to us (before members at the Nov 15th APC meeting), as compensation for our loss of privacy. Later, during our second meeting with you (Nov 2011), you again offered to pay for a hedge, to address our privacy concerns. You suggested a hedge along the property line could be 'in place' of your fence. We think this is a great idea! You will be able to maintain the hedge to whatever height you desire. This is a more reasonable solution, as there is no compelling reason for you to impose a legal encumbrance (i.e. view corridor) that may further depreciate the value of our property. Yes, we are aware there is already a covenant on 612 that disallows building in our front yard - put in place in 1946 for the benefit of the previous owners of 620.



Fact remaining, regardless of responsibility:

1. The current wall is in disrepair
2. A new wall must be built to code - i.e. footings, proper drainage
3. Your current landscape plan makes use of the existing wall, and shows you building on top of this wall which is collapsing
4. The current wall must be removed before you can build a new wall for your fence

Option A

1. You take 100% responsibility for cost to remove the wall, and build a new wall to code at your expense to support the driveway for your new development
2. You install a fence on top of your new wall for our mutual privacy
3. This work can be completed at your convenience

Option B

1. You agree to pay 100% for the expense of removing and rebuilding the wall if we arrange for a third party builder to do the work - the contractor will appropriately assume any liability issues re negligence on both our properties
2. Agree to plant 6' cedar hedging as previously promised (we will pay 50% of hedging with no encumbrance)
3. This work can be completed at your convenience

Option C

1. We will take appropriate legal action to have the wall removed, to cover the costs of removal, and to compensate for past infringements and use of driveway without an easement.

Please consider that you are better able to recover these costs with the resale of your home. We sincerely hope that you will choose Option A or B.

Sarah Cook and Charles Burnett, 612 Lampson



Feb 1, 2012

Attention: Ron Warrington, Van-Isle (VIP) Project Management Ltd.,

Ron,

Thank you for your correspondence of Jan 25th through Jan 31st. We hope you understand that we are not opposing your plans for development; we are simply trying to mitigate the impact on our property, and to ensure that encroaching features are appropriately moved to correspond with legal property lines. There are two parts to our negotiations, **1) responsibility for encroachment, and 2) privacy**. Separating them will help to clarify, and hopefully clarify just why we don't feel your proposals are acceptable. Please consider our position.

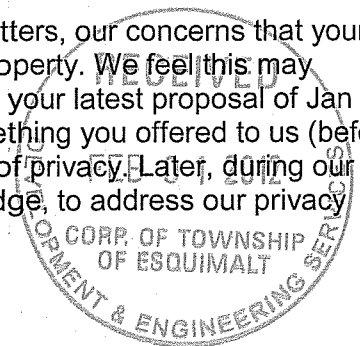
Responsibility

The problem with our negotiations thus far, is that we differ on the basic principle of responsibility. Both the retaining wall, *(the wall is solely on your property)* **and part of your driveway** are encroaching on our property, and need to be removed. The driveway (an issue you continue to skirt) and wall are attached. - *The driveway and wall are not attached the paving simply runs up to the wall.* How do you propose to remove your driveway from our property without damaging or removing the wall? *The driveway asphalt will be removed when we excavate to build our new retaining wall as per our letter to Esquimalt dated Dec 20, 2011.* Initial legal counsel has advised that both are considered illegal trespass on our property, and initial review by a third-party builder suggest the wall is cracked and requires repair. *Our legal counsel advises that the only trespass is the use of the area that our driveway is now using from our property line to the east face of the retaining wall and this will be ended as stated above. I have inspected the wall with an excavation contractor and we both agree the wall is in good condition if you have a report from an ENGINEER to the contrary please provide me a copy.* As such, it is reasonable to conclude the the work needs to be done, and that these costs your responsibility. *It is still a legal decision as to who is responsible and I have proposed two options to deal with this matter.*

You may also recall that Barbara Snyder reported to Council during the meeting of Jan 16th, in response to Council's concerns, that this does represent a *longstanding encroachment issue*. In addition, Ms. Snyder wrote to us in a letter dated Nov 25th, stating that *"usually developers will commit to repairing retaining walls and fences as these are an enhancement to their property as well as the neighbouring property"*. With these things in mind, can we please proceed assuming you can and should assume responsibility? *If the wall was on my property or even on my boundary that would likely be the case. Since the wall is on your property 26 inches at Lampson St and 8.4 inches at the back I feel we were more than generous in our latest 2 offers. Ms. Snyder's remarks where generalized comments not knowing the legalities of this specific issue.*

Privacy & Property Value Depreciation

We have expressed to you directly, and to Council, in-person and via letters, our concerns that your development will have an imposing presence over our 612 Lampson property. **We feel this may negatively impact our privacy, and lower our property value.** We note in your latest proposal of Jan 25th, you exclude planting of 6 foot cedar hedge material. Hedging was something you offered to us (before members at the Nov 15th APC meeting), as compensation for our loss of privacy. **Later, during our second meeting with you (Nov 2011), you again offered to pay for a hedge, to address our privacy**



concerns. You suggested a hedge along the property line could be 'in place' of your fence. We think this is a great idea! You will be able to maintain the hedge to whatever height you desire. This is a more reasonable solution, as there is no compelling reason for you to impose a legal encumbrance (i.e. view corridor) that may further depreciate the value of our property. Yes, we are aware there is already a covenant on 612 that disallows building in our front yard - put in place in 1946 for the benefit of the previous owners of 620. *The shrubs were included originally. You asked in your email Jan 21 to leave out the hedges as it included an encumbrance as stated. Further to recent suggestions to include the hedge on our property there is no room on our property to plant shrubs and meet the set back requirements for Esquimalt. It is also my understanding that Esquimalt still requires that we construct a fence on our property for safety reasons among others. Our reason for wanting an encumbrance with regard to height of the plantings is that the hedge material you had suggested could grow to 15-30 feet which would impact on the sunlight and view corridor of our property. With the encumbrance we would still be we would still be agreeable to the planting but it would have to be on your property.*

Fact remaining, regardless of responsibility:

1. The current wall is in disrepair *Need an engineer's evaluation*
2. A new wall must be built to code - i.e. footings, proper drainage *In our letter Dec 20/11 to Esquimalt we stated that we will be doing this*
3. Your current landscape plan makes use of the existing wall, and shows you building on top of this wall which is collapsing *That is not our plan see item 4*
4. The current wall must be removed before you can build a new wall for your fence *This is not requirement and is still part of the ongoing negotiations Our new wall and fence can be built without working on your property.*

Option A

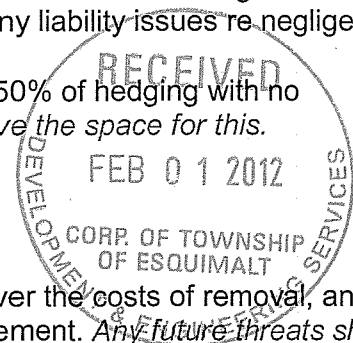
1. You take 100% responsibility for cost to remove the wall, and build a new wall to code at your expense to support the driveway for your new development *We gave you an option where we would pay 100% of the costs removing your wall and we are already going to construct a new wall at our cost as stated previously.*
2. You install a fence on top of your new wall for our mutual privacy *to construct a new fence at our cost as stated previously.*
3. This work can be completed at your convenience *I agree*

Option B

1. You agree to pay 100% for the expense of removing and rebuilding the wall if we arrange for a third party builder to do the work - the contractor will appropriately assume any liability issues re negligence on both our properties *See Item 1 above*
2. Agree to plant 6' cedar hedging as previously promised (we will pay 50% of hedging with no encumbrance) *This would have to be on your property as we do not have the space for this.*
3. This work can be completed at your convenience *I agree*

Option C

1. We will take appropriate legal action to have the wall removed, to cover the costs of removal, and to compensate for past infringements and use of driveway without an easement. *Any future threats should be sent to my lawyer Don Linge I might remind you that "infringement" you speak of has been there for a very long time and you were not aware of it until I told you after having our surveyor bring it to my*



attention.

Please consider that you are better able to recover these costs with the resale of your home. We sincerely hope that you will choose Option A or B.

Sarah Cook and Charles Burnett, 612 Lampson





CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

Council Meeting: February 6, 2012

STAFF REPORT

DATE: January 31, 2012 Report No. ADM-12-009
TO: Scott Hartman, Acting Chief Administrative Officer
FROM: Marlene Lagoa, Sustainability Coordinator
SUBJECT: CRD INTER-MUNICIPAL CLIMATE ACTION STEERING COMMITTEE

RECOMMENDATION:

That Council appoint an elected official from the municipality to participate on the CRD Inter-Municipal Climate Action Steering Committee.

BACKGROUND:

At the Regular Council meeting on January 16th, 2012, Council received a letter from the CRD dated December 29, 2011, Re: Inter-Municipal Climate Action Steering Committee [enclosed]. The letter requested that one member of Council be appointed to serve on the Inter-Municipal Climate Action Steering Committee. The item was tabled until the February 6, 2012, Regular Meeting of Council and staff were directed to obtain further information regarding the Steering Committee.

DISCUSSION:

Staff contacted the CRD requesting more information on the role of the Inter-Municipal Climate Action Steering Committee. Enclosed with this report is a backgrounder on the committee and its purpose. Also enclosed is a copy of the CRD Climate Action Service Bylaw.


An Inter-Municipal Climate Action Working Group was also created at the staff level to provide further opportunity for capacity building. The Township's Sustainability Coordinator is the staff appointee to the Working Group. In addition to regular quarterly meetings, staff participates in CRD organized workshops throughout the year.

ALTERNATIVES:

1. Appoint an elected official to the CRD Inter-Municipal Climate Action Steering Committee.
2. Send a letter to the CRD indicating the nature of Council's concerns regarding participation on the CRD Inter-Municipal Climate Action Steering Committee.


Marlene Lagoa
Sustainability Coordinator

Approved for Council's consideration:


Scott Hartman, A/CAO

Dated: Feb 2, 2012

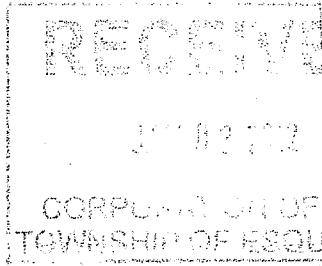


Making a difference...together

Environmental Sustainability
625 Fisgard Street, PO Box 1000
Victoria, BC, Canada V8W 2S6

December 29, 2011

Mr. Tom Day, CAO
Township of Esquimalt
1229 Esquimalt Road
Victoria, BC V9A 3P1



CORPORATION OF THE TOWNSHIP OF ESQUIMALT
RECEIVED: MO DA YEAR

For information:

CAO
 Mayor/Council

Referred: Anja

For action
 For a report
 For response
 Council agenda ?
 COTW
 IC

370-02

LH

File: 5280-10.01

Dear Mr. Day:

RE: INTER-MUNICIPAL CLIMATE ACTION STEERING COMMITTEE

The Capital Regional District (CRD) Climate Action Service was established in 2009 under Bylaw No. 3510 and provides direct support to municipalities and electoral areas by offering scientific and technical data, undertaking citizen and stakeholder education and engagement, supporting the CRD in Climate Action Charter commitments, and providing customized support to local governments in implementing both corporate and community mitigation and adaptation activities.

The Inter-municipal Climate Action Steering Committee was established as a forum for elected officials to share information, discuss emerging issues, priorities and opportunities, and receive progress updates from the CRD Climate Action Service.

The Steering Committee meets twice a year, at the availability of its members. Participants are also provided with regular information on climate action opportunities through a monthly e-newsletter and invited to special events, forums and workshops on relevant topics.

After recent municipal elections, elected official representation on the Steering Committee from your municipality should be renewed for a three year term. A number of municipalities have provided the CRD with a representative for this purpose through their appointment process.

We respectfully request that you identify an elected official from your municipality to participate.

If you have any questions, please contact Sarah Webb, Climate Action Program supervisor, at 250-360-3123 or scwebb@crd.bc.ca.

Sincerely,

Glenn Harris, Ph.D., R.P.Bio.
Senior Manager, Environmental Protection
CRD Environmental Sustainability

scw/ts

cc: Larisa Hutcheson, General Manager, CRD Environmental Sustainability
Chair, CRD Environment Sustainability Committee
Sarah C. Webb, Climate Action Program Supervisor, Environmental Protection



CRD Climate Action Program

Inter-Municipal Climate Action Steering Committee Purpose

Background:

The CRD Climate Action Program was established in 2009 to act as a hub, resource and facilitator for municipalities, citizens and organizations in the capital region on energy and climate issues. The Program has five major focus areas:

- Provide support to local governments in developing and implementing climate action plans (emissions reductions and climate adaptation) as part of legislative requirements under Bill 27 and voluntary commitments under the BC *Climate Action Charter*.
- Increase public awareness of climate change issues and catalyze action through partnerships with public and private sectors, non-governmental organizations and community organizations.
- Liaise with senior levels of government on climate change related programs, policies and legislation that impact the capital region.
- Provide scientific information, data and indicators related to local and regional greenhouse gas emissions and projected climactic impacts.
- Support the CRD in fulfilling objectives of the BC Climate Action Charter, including becoming carbon neutral in its own operations starting in 2012.

Through a philosophy of “Engage, Reduce and Prepare,” CRD staff directly support municipalities by assisting with development of policies, programs and actions, identifying funding sources, researching best practices and establishing projects and initiatives to educate citizens and stakeholders across the region.

Further, the service plays a critical role in disseminating and translating relevant information from the Province of BC for elected officials and municipal staff, providing capacity building and professional development, and assisting CRD divisions in accelerating climate action through service delivery.

Purpose of Committee:

The Climate Action Program reports quarterly through the CRD Environmental Sustainability Committee. The Inter-Municipal Climate Action Steering Committee was developed as an additional reporting and feedback mechanism for elected officials in the capital region.

Membership: The Steering Committee shall consist of one elected representative of each municipality as well as three electoral area Directors.

Meetings: The Steering Committee shall meet twice a year at the availability of its members.

Term: Committee Members will sit for a three year term. Should a municipality wish to change its representative on the Committee, they can do so at any time by contacting the CRD Climate Action Service.

Role of Committee Members:

- To provide guidance to CRD staff on emerging climate-related issues and priorities in their community.
- To provide feedback on the Climate Action Program’s current initiatives, projects or programs and/or identify priorities for future work planning purposes.
- To address issues of common interest related to greenhouse gas mitigation and climate adaptation.
- To share information on progress and challenges related to achieving corporate or community climate action objectives
- To share information from Committee meetings with their respective Councils as required.

CAPITAL REGIONAL DISTRICT

BYLAW NO. 3510

A BYLAW TO ESTABLISH AND PROVIDE THE SERVICE OF
CLIMATE ACTION AND ADAPTATION IN THE CAPITAL REGIONAL DISTRICT

WHEREAS:

- A. The Capital Regional District may, under Section 796 of the *Local Government Act*, establish and provide any service that the Board considers necessary or desirable for all or part of the Capital Regional District;
- B. The Board of the Capital Regional District wishes to establish a service to provide for climate action and adaptation coordination in the Capital Regional District;
- C. The Regional Board has obtained Participating Area approval in accordance with Section 801.4 and Section 801.5 of the *Local Government Act* pursuant to Section 801 of the *Local Government Act*;
- D. The approval of the Inspector of Municipalities has been obtained under Section 801(1)(a) of the *Local Government Act*.

NOW THEREFORE, the Board of the Capital Regional District in open meeting assembled enacts as follows:

Service

- 1. The Service being established and to be operated is a service for the purpose of regional climate action coordination, including:
 - (a) monitoring and reporting on air quality, energy consumption and greenhouse gas emissions;
 - (b) collaboration and cooperation with members on climate action and adaptation; and
 - (c) information dissemination and public education.

Boundaries

- 2. The boundaries of the service are coterminous with the boundaries of the Capital Regional District.

Participating Area

- 3. All municipalities and electoral areas within the Capital Regional District are the participating areas for this service.

Cost Recovery and Apportionment of Costs

4. As provided in Section 803 of the *Local Government Act*, the annual cost of providing the service shall be recovered by one or more of the following:
 - (a) property value taxes imposed in accordance with Division 4.3 of Part 24 of the *Local Government Act*;
 - (b) fees and charges imposed under Section 363 of the *Local Government Act*;
 - (c) revenues raised by other means authorized by the *Local Government Act* or another Act;
 - (d) revenues received by way of agreement, enterprise, gift, grant or otherwise.
5. (a) The annual costs for the service, net of grants and other revenues, shall be apportioned among the participating area as follows:
 - (i) Fifty (50) per cent of the costs shall be recovered on the basis of population of the participating areas; and
 - (ii) Fifty (50) per cent on the converted value of land and improvements in the participating areas.
- (b) Population, for the purpose of this section, is the population estimate determined annually by the Regional Planning Services Department of the Capital Regional District.

Maximum Requisition

6. The maximum amount that may be requisitioned under Section 803 for the Service will be the greater of:
 - (a) Two Hundred thousand dollars (\$200,000.00); or
 - (b) an amount equal to the amount that could be raised by a property value tax rate of \$0.003 per ONE THOUSAND DOLLARS (\$1,000.00) which when applied to the net taxable value of the land and improvements within the Service Area, will yield the maximum amount that may be requisitioned under Section 806.1 and 805.1 of the *Local Government Act* for the Service.

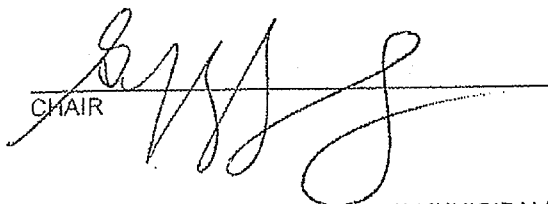
Withdrawal from Service

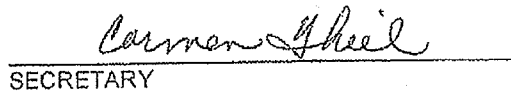
7. After two years from the date of adoption of this bylaw, a participating area may withdraw from the service provided that written notice that the participating area intends to withdraw is delivered to the CRD officer responsible for corporate administration on or before July 1st in any year to be effective as of January 1st the following year.

Citation

8. This bylaw may be cited as the "Capital Regional District Climate Action and Adaptation Service Establishment Bylaw, 2008."

READ A FIRST TIME THIS 13th day of February 2008
READ A SECOND TIME THIS 13th day of February 2008
READ A THIRD TIME THIS 9th day of July 2008
APPROVED BY THE INSPECTOR OF MUNICIPALITIES THIS 19th day of December 2008
ADOPTED THIS 14th day of January 2009


CHAIR


SECRETARY

FILED WITH THE INSPECTOR OF MUNICIPALITIES THIS 19th day of January 2009



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

Council Meeting: February 6, 2012

STAFF REPORT

DATE: February 2, 2012 Report No. ADM-12-010
TO: Scott Hartman, Acting Chief Administrative Officer
FROM: Anja Nurvo, Manager of Corporate Services
SUBJECT: UBCM MEMBERSHIP DUES

RECOMMENDATION:

That Council consider the Motion made at the Regular meeting held on January 23, 2012, which was tabled to the Regular meeting on February 6, 2012.

BACKGROUND:

At its Regular meeting held on January 23, 2012, when reviewing the letter from Ted Willmer, UBCM dated January 5, 2012, the following Motion was made:

(1) MOTION: Moved by Councillor Hodgins/Councillor Brame:
That the letter from Union of British Columbia Municipalities (UBCM) dated January 5, 2012 regarding 2012 UBCM membership dues be received; and
That a letter be sent to UBCM questioning the rationale for a 5% increase in membership fees, with a copy of this letter sent to all municipalities in British Columbia who are members of UBCM.

Prior to the vote on this Motion being called, the following Resolution was passed:

(2) MOTION: Councillor McKie/Councillor Hodgins:
That the motion be **tabled** until the February 6, 2012 Regular Meeting of Council; and that staff be directed to investigate the rationale for the 5% increase to UBCM membership fees and report back to Council. **CARRIED UNANIMOUSLY**

DISCUSSION:


Staff has the following additional information for Council's consideration.

1. There is no further information on this subject on UBCM's website, and the only information available is as contained in the letter from UBCM dated January 5th, 2012 (copy attached)

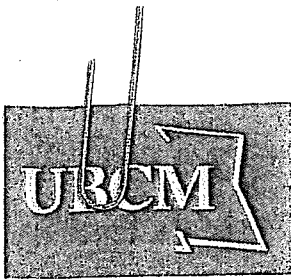
2. Attached is a chart prepared by Finance Department setting out UBCM membership dues paid by the Township of Esquimalt from 2006 to present. The chart shows that during this period, membership fees for the Township have increased a total of \$1,138.74 or 2.31%.
3. Finance staff has attempted to contact Membership Services staff at UBCM to further discuss this issue, but as of the writing of this report have not heard back from them. Staff will continue to attempt to obtain additional information directly from UBCM staff and will provide a verbal update at the Council meeting.



Anja Nurvo
Manager of Corporate Services

Approved for Council's consideration:


Scott Hartman, Acting CAO
Dated: Feb 2, 2012



<input type="checkbox"/>	CAO
<input type="checkbox"/>	Mayor/Council
Referred: <i>Mary</i>	
<input checked="" type="checkbox"/>	For action
<input type="checkbox"/>	For a report
<input type="checkbox"/>	For response
<input checked="" type="checkbox"/>	Council agenda
<input type="checkbox"/>	COTW
<input type="checkbox"/>	IC

MEMO
January 5, 2012

TO: Local Government Chief Financial Officers
 FROM: Ted Willmer, Manager Finance & Operations
 RE: 2012 UBCM MEMBERSHIP DUES

JAN 13 2012
 CLERK OF COUNCIL
 TOWN OF ESCUMANT

Union of British Columbia Municipalities President Heath Slee has written to all local councils and regional boards requesting them to consider renewing their membership for 2012 (copy enclosed).

We also enclose for your attention our dues invoice. When making payment could you please enclose the bottom portion of the invoice with your cheque; also please do not combine your dues payment with any other billings you may receive from UBCM.

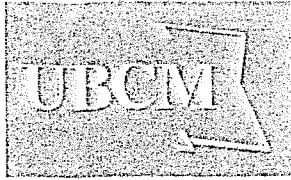
For 2012 there is a 5% increase in the UBCM membership dues rates. The population estimates used are those prepared by BC STATS, Ministry of Labour, Citizens' Services, & Open Government, Province of BC.

For your information, UBCM dues have over the last two decades fallen well below CPI adjusted dues.

Please feel free to call me if you have any questions.

Encl.

1110/10:12012-dc



MEMO

December 14, 2011

TO: Mayor & Council | Chair & Board
FROM: Director Heath Slee, UBCM President
RE: **UBCM MEMBERSHIP**

It is my pleasure to write on behalf of UBCM to all local governments requesting that you renew your membership in our organization.

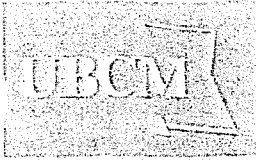
As UBCM prepares to enter its 107th year, the organization is undoubtedly as vital today as it was in its inaugural year. With several important issues on the docket for 2012, I am reminded of the invaluable insight and strength in numbers that our membership base provides.

2011 marked our 32nd straight year with 100% membership. Due to this ongoing support, UBCM was able to achieve many significant outcomes in 2011. Here are a few examples:

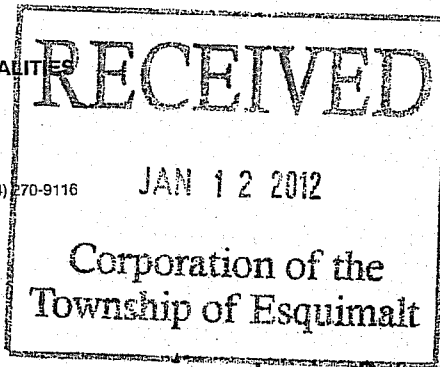
- UBCM advocated for local government interests in the RCMP Contract Negotiations and worked with the provincial government to establish a BC Local Government RCMP Contract Management Committee.
- UBCM formed a Ferry Fares Advisory Committee to advocate on behalf of coastal communities in response to projected fare increases.
- Total cumulative funding received by UBCM under Gas Tax and Public Transit Program reached \$991.3 million.
- UBCM engaged in consultations with the provincial government on the implementation of a Municipal Auditor General and presented a policy paper on the issue for member consideration at Convention.
- UBCM launched a new member service – Bulk Fuel Purchasing Program.
- Carbon Action Revenue Incentive Program provided \$3.8 million in payments to those local governments that have signed the BC Climate Action Charter.
- Released the report, *Comment on Fiscal Management in British Columbia's Municipalities*, in collaboration with the Local Government Management Association and Government Finance Officers in response to criticism on local government spending.

With your continued involvement, UBCM is set to continue serving your needs in 2012. Please indicate your support by renewing your UBCM membership (invoice to follow under separate cover in the new year).

www.ubcm.ca



UNION OF B.C. MUNICIPALITIES
 Suite 60 - 10551 Shellbridge Way
 Richmond, British Columbia
 Canada, V6X 2W9
 Phone: (604) 270-8226 Fax: (604) 270-9116
 E-mail: ubcm@ubcm.ca



INVOICE

TO: Township of Esquimalt
 1229 Esquimalt Rd.
 Esquimalt, BC V9A 3P1

Invoice Date: Jan 5, 2012
Invoice No: D-3406
Reference: 2012 UBCM Annual Dues

UN1001

DESCRIPTION		AMOUNT
Population:	17,654	
<i>Your UBCM dues have been calculated using population estimates (Dec 2011-release)-provided by BCCLUB STATS, the central statistical agency of the Province of British Columbia.</i>		
Annual Dues:		
First 5,000 population	at 0.6473	\$3,236.50
Next 10,000	at 0.4700	\$4,700.00
Next 15,000	at 0.2958	\$785.05
Balance	at 0.0606	\$0.00
Subtotal:		\$8,721.55
12% HST: (10815 0541)		\$1,046.59
Total:		\$9,768.14



UNION OF B.C. MUNICIPALITIES
 Suite 60 - 10551 Shellbridge Way, Richmond, B.C. V6X 2W9

REMITTANCE PORTION

Township of Esquimalt
 2012 Annual UBCM Dues

Date: Jan 5, 2012
 Invoice # D-3406

TOTAL DUE:

\$9,768.14

AMOUNT ENCLOSED

Please return this portion of invoice with payment. Please do not combine payment of this invoice with any other billing you may receive from UBCM. Thank you.

**TOWNSHIP OF ESQUIMALT
ANALYSIS OF UBCM DUES
FOR THE YEARS 2006 TO 2012**

	INCREASE		DUES	GST 5%	HST 12%	TOTAL
	%	\$				
2006		\$	\$ 7,582.81	\$	\$	\$ 7,582.81
2007	3.89%	295.14	7,877.95			7,877.95
2008	3.22%	253.35	8,131.30			8,131.30
2009	0.00%	0.00	8,131.30	406.57		8,537.87
2010	-0.24%	(19.79)	8,111.51	405.58		8,517.09
2011	2.52%	204.48	8,315.99		997.92	9,313.91
2012	4.88%	405.56	8,721.55		1,046.59	9,768.14
	<u>2.31%</u>	<u>\$ 1,138.74</u>	<u>\$ 49,289.60</u>	<u>\$ 812.14</u>	<u>\$ 2,044.50</u>	<u>\$ 52,146.25</u>



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

Council Meeting: February 6, 2012

STAFF REPORT

DATE: February 6, 2012 Report No. EPW-12-003
TO: Scott Hartman, Acting Chief Administrative Officer
FROM: Jeff Miller, Director of Engineering and Public Works
SUBJECT: Lockley Road Traffic Order 1193

RECOMMENDATION:

That Council approve the following Traffic Order (TO):

- TO # 1193 – that a “No Left Turn” sign be installed in the boulevard on the north east corner of the Lockley Road and Admirals Road intersection.

BACKGROUND:

Victoria Police has identified to Engineering a safety concern about the left hand turning movement at the intersection of Lockley Road and Admirals Road. Engineering has in turn reviewed this concern.

The intersection of Admirals Road and Lockley Road is a “T” intersection with Lockley Road entering Admirals Road. This intersection is located at a point in the road geometry that is a curved portion of Admirals Road. It is also just below the crest of a hill located in this section of road. Due to these factors, there is concern about the safety of entering Admirals Road from Lockley Road via a left hand turn movement.

Traffic wishing to enter Lockley Road from Admirals Road can only do so when travelling north on Admirals Road and exiting via a right hand turn. A left hand turn from Admirals Road onto Lockley Road is not possible due to an island being located in the centre of Lockley Road. As well, left hand turn movements have been prohibited via a regulatory sign. Traffic exiting from Lockley Road onto Admirals Road can execute either a right or left hand traffic movement.

When exiting from Lockley Road onto Admirals Road by executing a left hand turning movement, the operator of a vehicle has to accomplish a difficult maneuver. The vehicle is required to cross two lanes of north bound traffic on Admirals Road and merge into the inside lane of the south bound traffic. In order to assess whether or not it is safe to turn left, the operator has to gauge north bound traffic on a curved portion of road as well on a slope that is partially hidden by the curve in the road. This gauging of traffic is also hampered by the existing

partially hidden by the curve in the road. This gauging of traffic is also hampered by the existing island at the intersection.


In the Neighbourhood Transportation Management Plan (Plan), carried out in 1996/97 by Urban System, it was identified that the traffic exiting from Lockley Road onto Admirals Road should be limited to right hand turning movements only. This recommendation was made with respect to the difficulty of carrying out a left hand traffic movement from Lockley Road.

ISSUES:


The issue of left hand turning movements from Lockley Road onto Admirals Road was reviewed by Engineering to determine if the allowable traffic movements should be restricted to only right hand traffic movements. Based on a review of the geometry of the intersection, previous engineering work and Victoria Police concerns, Engineering has concluded that it would be desirable that left hand turning movements from Lockley Road onto Admirals Road be restricted.

ALTERNATIVES:

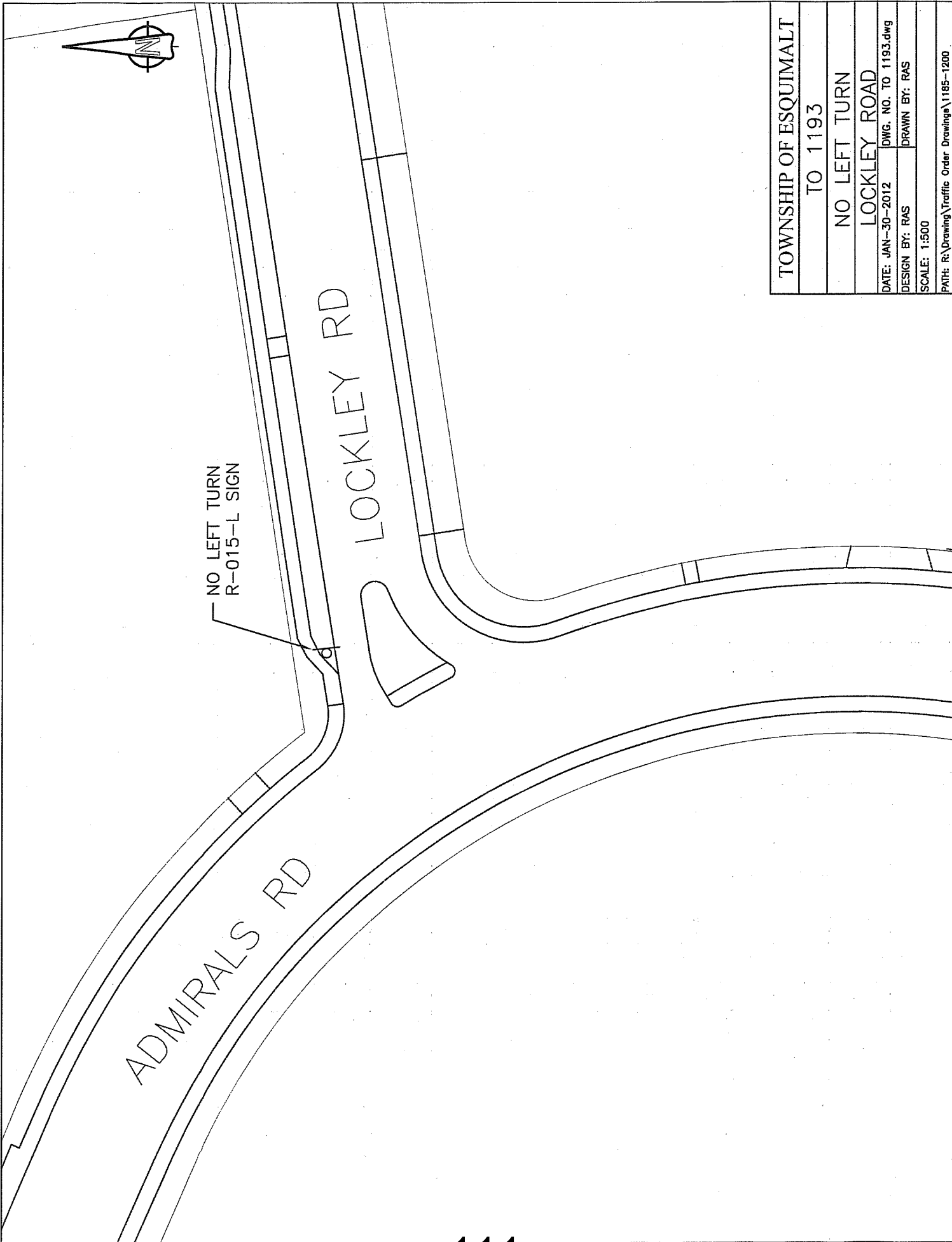
1. That left hand turning movements from Lockley Road onto Admirals Road be restricted.
2. That the traffic movements currently in place at the intersection be maintained "as is".



Jeff W. Miller, P. Eng.
Director of Engineering and Public Works

Approved for Council's consideration:


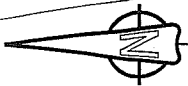
Scott Hartman, A/CAO
Dated: Feb 2, 2012



NO LEFT TURN
R-015-L SIGN

ADMIRALS RD

LOCKLEY RD



TOWNSHIP OF ESQUIMALT	
TO 1193	
NO LEFT TURN	
LOCKLEY ROAD	
DATE: JAN-30-2012	DWG. NO. TO 1193.dwg
DESIGN BY: RAS	DRAWN BY: RAS
SCALE: 1:500	
PATH: R:\Drawing\Traffic Order Drawings\1185-1200	



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall, 1229 Esquimalt Road, Esquimalt, B.C. V9A 3P1
Telephone (250) 414-7100 Fax (250) 414-7111

Council Meeting: February 6, 2012

STAFF REPORT

DATE: February 6, 2012 Report No. EPW-12-004
TO: Scott Hartman, Acting Chief Administrative Officer
FROM: Jeff Miller, Director of Engineering and Public Works
SUBJECT: Funding for Proposed Traffic Calming Measures along Old Esquimalt Road

RECOMMENDATION:

That Council designate the project relating to traffic calming measures along Old Esquimalt Road as a resident driven initiative for the development as a Local Area Service as per the requirements of the Community Charter

BACKGROUND:

Early History

In late 1995, the Township received a petition from 48 residents requesting that traffic calming measures be introduced to deal with excessive speed issues along Old Esquimalt Road. Shortly after this petition was received, the residents of Rockheights also provided a request for traffic calming measures. The Township responded to these petitions by the creation of the Neighbourhood Transportation Management Plan program (NTMP) during 1996. Starting in 1997, a consultant was retained (Urban Systems, City Spaces Consulting) to develop the NTMP. In addition to retaining a consulting firm, the Township also created Neighbourhood Advisory Committees. One Committee dealt with traffic concerns in the Selkirk neighbourhood while the other dealt with traffic concerns in the Rockheights/Old Esquimalt neighbourhood.

From the NTMP, the following recommendations were proposed for Old Esquimalt Road:

1. Speed humps approximately 150 metres apart;
2. Two curb extensions at the existing sidewalks to improve pedestrian visibility;
3. Relocation of the existing crosswalk east of Rockheights Avenue so that it is not angled;
4. Signal improvement at Old Esquimalt Road/Lampson Street/Head Street intersection;
5. Realignment of road centreline on Old Esquimalt Road between Rockheights Avenue and Park Terrace;
6. Repainting of existing road markings;
7. Cutting back of shrubs to improve sight lines;
8. Add no parking zones at various locations;

9. Implement "Parent Parking Patrol" at Lampson School (traffic management plan for child pick-up and drop-off)

By mid June, 1997, the Selkirk Committee had accepted the proposed recommendations (six speed humps and street painting, budget = \$6,000) for traffic calming measures. With the neighbourhood showing general support for the project, Council approved this work and it proceeded.

The Rockheights/Old Esquimalt committee was faced with vocal opposition to the proposed plans by a number of residents. One of the key principles of the NTMP was that traffic calming features would only be installed where they were well received and the majority supported the features. As the committee did not want to force a solution it proposed two possibilities for the project to continue moving: the first proposal was to postpone the decision for work by three months, the second proposal was to examine the possibility of upgrading Old Esquimalt Road only. Subsequent to this decision, the Township received a petition from 344 residents in the Old Esquimalt Road and Rockheights area. The results of the petition were:

- 259 - opposed to both options
- 28 - supported one or more options
- 24 - no opinion
- 33 - could not be contacted

Based on information provided by various delegations, petitions and discussions, Council's final decision was that no work would proceed for this project.

Recent Concern

In mid July of 2010, the Township received another petition from the residents of Old Esquimalt Road stating that there was agreement among the residents that there was a concern about the excessive speeds vehicles were travelling along Old Esquimalt Road. The Township responded to this concern with a phased approach. The first phase was driver education. Victoria Police Department deployed the speed reader board to inform drivers of the speed they were travelling. The next phase was the deployment of Speed Watch volunteers along with the speed reader. Both of these phases were attempts to educate drivers to slow down and conform to the posted speed limit (30 km/hr.).

While some success was achieved with these steps, Victoria Police Department determined that a move to an enforcement step (issuing of tickets) would reinforce the education component. The results from this activity yielded six tickets being issued (the highest speed recorded was 54 km/hr.) The final step in trying to reduce the speed concerns would be the modification of the streetscape.

Streetscape Modification

In the Official Community Plan (OCP), Old Esquimalt Road has been designated as a residential collector road. Within the Township there are five major roads, eight residential collector roads and the remainder of the roads being classified as local residential roads. General practice is that major and collector roads would not have speed tables installed on them. If speed tables were to be installed on Old Esquimalt Road, it would be the only collector to have this feature.

Beginning in July, 2011, Engineering had begun to meet with the committee of Old Esquimalt residents to explore what a change in streetscape would look like. The NTMP study was revisited and its recommendations reviewed. The revised scope of work for the project was determined to be:

- Installation of seven speed tables from Park Terrace to Dominion Road
- Installation of associated signage with speed tables
- Realignment of cross walk east of Rockheights Avenue
- Curb extensions at existing cross walks

The estimated cost for this work was determined to be \$70,000. In reviewing the scope of work, it was determined by the Township that this work was reflective of a request for a local area service improvement (LAS).

Once the scope of work was determined and plans prepared they were circulated to stakeholders for comments. The stakeholders included Public Works, Fire Rescue, Victoria Police Department, BC Ambulance, BC Transit and the resident committee. BC Transit responded back that they were opposed to speed tables as they impact the operation of transit buses both in operations and increased maintenance costs. The remaining stakeholders did not raise any concerns.

With the completion of these steps, the project was ready to be issued as a LAS initiative. This would involve the development of the petition that would state the area of local service improvement, what the scope of the proposed work was and the tax implications for payback for the project.

On January 16, 2012, the resident committee brought forward a request to Council that the proposed work should not be considered a LAS but that it is included in the 2012 budget discussions as a capital project request.

ISSUE:

At the Regular Council Meeting on January 16, 2012, Council directed Engineering Staff to prepare a report reviewing whether or not this project should be classified as local area service improvement or a capital project.

The requirements of a local area service (LAS) are laid out within the Community Charter. The definition under the Charter is that a local area service is a municipal service that is paid for in whole or in part by a local service tax for a service that Council has determined provides a benefit to part of the municipality. If Council determines that this project is a LAS, a bylaw will be developed that describes the service, defines the boundaries of the local area service and identifies the method of cost recovery for the service. The cost recovery for the service can take the form of a local service tax. The entire cost or a portion of the costs can be allocated for a local service tax and/or general municipal tax.

In order for a LAS to be established there are two methods that can be followed. The first method is driven by the residents petitioning for the service. The Charter lays out the requirements of the petition and the requirements for the petition to be successful. In order for

the petition to be successful, the two requirements of the Charter must be met. If only one is met, the petition will be deemed to have failed. The two tests the petition needs to meet are:

1. That the petition must be signed by the owners of at least 50% of the parcels that would be subject to the local service tax.
2. That the persons signing must be the owners of parcels that in total represent at least 50% of the assessed value of the land and improvements that would be subject to the local service tax.


The second method by which a LAS can be established is through a Council driven initiative. In this case, the Township would give notice of its intention to proceed with the initiative as a LAS. The notification would then detail the area impacted by the LAS, the scope of work, costs and how the cost recovery would be achieved. Owners of parcels would then have 30 days to respond back to the Township with a petition against the proposal. If a sufficient petition was received, it would be reviewed as per the requirements previously laid out. A successful petition would meet the requirements of the Charter and the initiative would fail. If no petition was received or the petition did not meet both tests, the initiative would be successful and a LAS established as previously laid out. If the petition did fail, Council must not propose the same service on its own initiative within a period of one year after the presentation of the petition.

This project could be classified as a capital project request through Council direction. If this project was designated as a capital project request, it would be added to the capital project list as part of the 2012 budget discussions. Whether or not it would be accepted as part of the 2012 budget would be dependent on budget restrictions and final approval by Council. If this project was designated as a capital project, funding would come from the Capital Project Reserve which is funded through general municipal taxes.

In reviewing the information received, Engineering has classified this work as a LAS initiative. This classification is based on the project providing a localized service that benefits only part of the Township. Also, based on information received back from the Victoria Police Department, that while speeding does occur, it does not appear to be any more significant than other areas that have concerns about vehicle speed along their streets.


ALTERNATIVES:

1. The project be designated a LAS that would be initiated through petition of local residents and that the project meet the requirements as set out by the Community Charter.
2. The project is designated as a Council initiated LAS and that the project meets the requirements as set out by the Community Charter.
3. The project is designated as a capital project request that will be reviewed as a part of the 2012 budget discussions by Council.



Jeff W. Miller, P. Eng.
Director of Engineering and Public Works

Approved for Council's consideration:



Scott Hartman, A/CAO

Dated: Feb 2, 2012

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

BYLAW NO. 2786

A Bylaw to authorize the borrowing of such sums of money as may be necessary to meet current lawful expenditures of the Corporation for the year 2012.

WHEREAS, pursuant to Section 177 of the *Community Charter*, the Municipal Council may, by bylaw provide for the borrowing of money that may be necessary to meet current lawful expenditures;

AND WHEREAS the maximum amount so borrowed shall not exceed at any time the sum of unpaid taxes for all purposes levied during the current year and the money remaining due from other governments;

AND WHEREAS before the adoption of the annual rates bylaw in any year, the taxes in the current year are deemed to be seventy-five per centum of all taxes levied for all purposes in the preceding year;

AND WHEREAS the current year taxes calculated in accordance with the above amount to \$16,834,888;

AND WHEREAS to meet the current lawful expenditure of the Corporation it may be necessary to borrow an amount not exceeding \$2,500,000;

NOW, THEREFORE, THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF ESQUIMALT, in open meeting assembled, hereby enacts as follows:

1. This Bylaw may be cited as the "*REVENUE ANTICIPATION BORROWING BYLAW, 2012, NO. 2786*".
2. It shall be lawful for the Municipal Council to borrow upon the credit of the Corporation a sum not exceeding two million five hundred thousand dollars (\$2,500,000) in such amounts and at such times as may be required, and to pay interest thereon.
3. All the monies so borrowed and the interest payable thereon shall be payable on or before the 31st day of December 2012.

4. The form of the obligation or obligations to be given as an acknowledgement of the liability shall be a Promissory Note or Notes bearing the Corporate Seal and signed by the Mayor and the Acting Director of Financial Services.
5. There is hereby set aside as security for the liability hereby authorized to be incurred, the sum of \$2,500,000 being part of the taxes for the current year deemed by the Municipal Council expedient to be so set aside.

Read a first time by the Municipal Council on the 23rd day of January, 2012.

Read a second time by the Municipal Council on the 23rd day of January, 2012.

Read a third time by the Municipal Council on the 23rd day of January, 2012.

ADOPTED by the Municipal Council on the day of February, 2012.

BARBARA DESJARDINS
MAYOR

ANJA NURVO
CORPORATE OFFICER



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

MAYOR'S AND COUNCILLORS' REPORTS

Report from: Councillor Meagan Brame
Subject: Association of Vancouver Island Coastal Communities (AVICC)
Council Agenda: February 6, 2012

RECOMMENDATION

That Council support Councillor Brame putting her name forward to the Nomination Committee of the AVICC to be a Director at Large for a one year term.

BACKGROUND

I would respectfully like to put my name forward for the nomination process to be a Director at Large on the AVICC Board. I feel that as a growing Vancouver Island Community it would benefit our community to have direct representation on this Association..

EXECUTIVE BOARD

The ongoing administration and policy determination of the AVICC is governed by an eight-person Executive Board that is elected and appointed at the Annual General Meeting & Convention.

The Board is made up of seven (7) elected positions:

- President
- First Vice-President
- Second Vice-President
- Director at Large (3 positions)
- Electoral Area Representative;

together with the Immediate Past President.

NOMINATION PROCESS AND QUALIFICATIONS FOR OFFICE

A notice of the AVICC Executive positions open for nomination and the process and procedures for nomination is circulated to all members in December of each year. It is also posted on the website. The notice states that the nominee must be an elected official of an AVICC member and must be nominated by two elected officials of an AVICC member local government. A nomination and consent form is available and is to be used for all nominations in advance of the AGM & Convention. Advance Nominations close on the Last Friday of February.

Travel expenses and a per diem for meals and incidentals are provided for in-person Executive Meetings (with reimbursement for only the added expenses that would not normally be incurred for attending the annual Convention). These meetings are usually held in Nanaimo or Victoria.



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

**MINUTES
CENTENNIAL CELEBRATIONS
SELECT COMMITTEE**

**Wednesday, December 21, 2011
6:30 P.M.**

Council Chambers, Esquimalt Municipal Hall

PRESENT: Mayor Barbara Desjardins
Councillor Lynda Hundleby
Janet Jones, Chair
Bruce Devitt, Vice Chair
Joe Buczkowski
Janet Johnstone
Vicki Laidlaw
Don Linge
Bob McKie
Lynda O'Keefe
Celia Owen
Sherri Robinson
Sandy Rozon

STAFF: Diane Knight, Recorder

REGRETS: Greg Evans
Dino Fiorin
Dian Hanna
Graham Jackson
Ritchie Morrison, Project Manager

GUESTS: Chuck Palmer, President, Esquimalt Chamber of Commerce
Margot Cutcher, DND
Councillor Dave Hodgins

1. CALL TO ORDER

Chair Jones called the meeting to order at 6:35 p.m.

She introduced Councillor Lynda Hundleby who will be the new Council member serving on the Centennial Celebrations Select Committee. Chair Jones also welcomed Chuck Palmer, President, Esquimalt Chamber of Commerce and Margot Cutcher, DND.

2. LATE ITEMS

There were no late agenda items.

3. APPROVAL OF AGENDA

Moved by Mayor Desjardins, seconded by Joe Buczkowski to approve the agenda.
The motion **CARRIED**.

4. **APPROVAL OF MINUTES OF NOVEMBER 22, 2011**

Moved by Vice Chair Devitt, seconded by Councillor McKie to approve the minutes of November 22, 2011.

The motion **CARRIED**.

5. **OLD BUSINESS**

(1) **Review Project List**

The project list was reviewed and updates including tasks will be made directly on the master project list.

1. Walkway. Vice Chair Devitt reported that a total of 222 pavers have been sold, for a total of approximately \$30,000 towards the paving project. A draw was made for the 200th paver purchaser. The winner was Jocelyn Rea who will be contacted by staff.

Chair Devitt advised that he requires a basic plan for the walkway.

Moved by Sandy Rozon, seconded by Councillor McKie that the Centennial Celebrations Select Committee write a memo to Council requesting that staff be approached to assist with a plan for the design of the Memorial Walkway.

The motion **CARRIED**.

2. Calendar. Councillor Linge advised that the calendar is ongoing. He will ensure that staff are in contact with event organizers well before the event date. Diane Knight reported that the majority of event organizers have responded to our request for information.
3. Murchie's Tea. Chair Jones reported that the Centennial Tea is a very popular item for purchase.

Moved by Vice Chair Devitt, seconded by Celia Owen to approve the purchase of 500 more boxes of Centennial Tea.

The motion **CARRIED**.

4. Centennial Coffee.

Moved by Mayor Desjardins, seconded by Lynda O'Keefe to remove this item from the Project List.

The motion **CARRIED**.

5. Website. Chair Jones reminded members to contact Ritchie Morrison if they have items they wish to include on the website.
6. Banners, Book Marks, Merchandise. Sandy Rozon advised that she has secured a location at the Recreation Centre for merchandise. There will be a sign out sheet in the room and the only persons to have access will be Bruce Devitt, Janet Johnstone and herself.

Discussion took place regarding shopping bags and license plate holders. Shopping bags had previously been discussed and the group decided not to move forward on them. Chuck Palmer will follow up on license plates with the

Esquimalt Chamber of Commerce. The suggestion was made to create a Centennial sticker to affix to the license plates as there are still some available at the Esquimalt Chamber of Commerce.

Discussion took place regarding how to distribute the 134 staff t-shirts purchased.

Moved by Sandy Rozon, seconded by Councillor McKie that the Centennial Celebrations Select Committee present the Centennial t-shirts to Directors at the first Director's meeting in the New Year and distribution to full time permanent staff will be organized.

The motion **CARRIED**.

Vice Chair Devitt noted that various groups have requested discounts on merchandise, especially the Centennial Pins. It was decided that for now, there will be no discounts given on the pins.

Concerns were raised that the profile of centennial merchandise needs to be addressed at the Recreation Centre and the Municipal Hall. The need for appropriate posters was suggested.

(2) Other Progress Reports

Vice Chair Devitt again requested that members please contact him if they have contact names for the Hudson's Bay Company.

Diane Knight reported on the Placemat Project for centennial. The Committee has received their first placemats. The project has been enthusiastically received by both students and teachers. The laminated placemats will be displayed at various events over the centennial year.

Diane Knight also reported on the first centennial event of the year, the Juan de Fuca Pathfinders Walking Club event on New Year's Eve, starting at 10:00 pm on New Year's Eve 2011. Chair Janet Jones will attend the walk as the Centennial representative.

(3) Volunteer Update

Janet Johnstone reported that the volunteers working at Celebration of Lights were kept very busy and distributed all the bookmarks they had. Volunteers assisting with a kiosk outside Country Grocer on December 17 also did very well, raising \$385. She has sent a newsletter out to volunteers and has requested input from them regarding their interest in helping with the Esquimalt Shines Project.

(4) Beautification of Esquimalt

Mayor Desjardins reported that she has had a good meeting with the "Esquimalt Shines" group and they have come up with many ideas. She reviewed the notes from the meeting including structure categories and the forms required. The group is meeting again on Friday and hoping to work out more details. The Mayor advised that she has met with a CRD representative and they may be interested in working with the municipality on this initiative. She stressed recognition of participants, possibly an ongoing short column in the local newspaper. Questions were raised regarding distribution of the application form and suggestions were made to include it with the community newsletter or tax notices.

Sherri Robinson suggested including a waiver on the application form so that Archives can store the applications.

Moved by Sherri Robinson, seconded by Celia Owen that the Centennial Celebrations Select Committee draft a letter to CUPE, and other Unions and organizations regarding their participation in Esquimalt's Centennial.
The motion **CARRIED**.

Chair Jones encouraged members of the Committee to provide staff with contacts for the above letters if they have them.

Chair Jones reported that Ritchie Morrison and herself have met with the Greater Victoria Public Library regarding centennial participation.

(5) Sponsorship Update

Chair Jones reported on behalf of Ritchie Morrison that the BC Hydro application has been completed. He has a meeting with the Ministry of Community, Sport and Cultural Development tomorrow with Bruce and has met with the Chamber of Commerce re: tier three sponsorships and smaller sponsorships in the community.

(6) Marketing of Pavers

This will be brought forward to the next meeting.

(7) Merchandise Update

Addressed in 5 (1) 6 above.

(8) Budget

Vice Chair Devitt talked about the budget and the fact that it is difficult to make plans without an approved budget. He encouraged members to attend the Council meeting on January 23rd where the budget will be presented.

Moved by Don Linge, seconded by Sandy Rozon that the Centennial Celebrations Select Committee draft a memo to Council requesting early budget approval for the September celebration portion of the 2012 Centennial Committee budget.
The motion **CARRIED**.

Chair Jones reported on grants received to date.

Mayor Desjardins reported on a meeting held with Minister Chong regarding grants. Ritchie Morrison and Vice Chair Devitt will be meeting with Ministry of Community, Sport and Cultural Development staff tomorrow to approach them about grants available for the Esquimalt Centennial. The Mayor also distributed a copy of a letter received from Esquimalt High School about a project which may be eligible for funding as a centennial project.

Moved by Mayor Desjardins, seconded by Celia Owen to include the information about the Esquimalt High School project in discussions about potential grant funding with the Ministry of Community, Sport and Cultural Development on Thursday, December 22, 2011.
The motion **CARRIED** with one **OPPOSED**.

(9) **New Year's Levee**

Diane Knight reported that the Levee will be held on New Year's Day, from 1 – 2:30 p.m. Chair Jones will be attending and she encouraged all Committee members to do so. There will be a centennial display in the foyer and banners in the Council Chambers only. The Town Crier will be making a proclamation to start the event.

6. **NEW BUSINESS**

(1) **September Celebration**

The Vision document for the September Celebration was distributed and discussed. The follow points were made:

- Focus on local talent, e.g., Esquimalt High Jazz Group;
- Get community involvement;
- Noted that with the launch, the groups had their own followers, giving Esquimalt an opportunity to showcase the municipality, past, present and future. Include an economic development component.
- Great opportunity for Esquimalt to make it big;
- Need to be cognizant of budget as it impacts the municipality;
- Include Bill Hilly Band and former NHL Players and sports stars;
- Like the idea of having constant entertainment, keeps the people there; and
- Suggestion to invite the Victoria Operatic Society in costume to sing.

Mayor Desjardins left the meeting at 8:15 p.m.

Janet Johnstone suggested that the group develop a vision for this event: what is the purpose of the event; who is the audience; and what are we trying to achieve.

Moved by Don Linge, seconded by Joe Buczkowski that the following Committee members be appointed to the "September Celebration" sub committee: Janet Johnstone, Bob McKie, Sandy Rozon, Don Linge, Graham Jackson, Dino Fiorin, Mayor Desjardins, and Vice Chair Devitt.
The motion **CARRIED**.

The first meeting will be held the evening of January 19, 2012. Members will be notified.

(2) **Involvement of Centennial in other events**

Chair Jones reviewed information from one of the event organizers regarding their expectations from the Committee for their event. The group discussed developing a policy to address requests from event organizers.

Moved by Councillor Hundleby, seconded by Janet Johnstone that in response to requests from event organizers to provide a door prize or other merchandise for their event, the standard response would be that "the Centennial Celebrations Select Committee will support your event and would appreciate you supporting the Centennial by purchasing merchandise at cost up to a maximum of three items".
The motion **CARRIED**.

Discussion took place regarding providing information to event organizers about local accommodations including the Comfort Inn, Esquimalt Bed and Breakfasts and the Delta Hotel. The suggestion was made to contact them regarding their interest in participating in centennial events and how we can work with them. Contact information is available on the Chamber of Commerce website.

(3) Marketing Plan

Chair Jones distributed and reviewed the marketing plan.

7. ROUNDTABLE

Staff will contact the City of Victoria to follow up on scheduling an information meeting with the Chair and Vice Chair of this Committee and City of Victoria staff to work together to plan a special event celebrating their 150th birthday and the Esquimalt Centennial.

Chuck Palmer suggested that the Committee contact Microsoft for sponsorship.

Councillor Hundleby suggested a public art project. It was noted by Sherri Robinson that the public art project for the Esquimalt centennial is the Memorial Walkway project.

Base Update

Vicki Laidlaw reported that the Freedom of the City will take place on Thursday, June 7th, 2012. The request for the Naden Band to participate in Buccaneer Days parade has been approved, the Centennial Banners are up in strategic locations on the Base and look good, and she will contact Ritchie Morrison regarding providing information for the calendar in the Lookout.

Margot Cutcher advised that the Base is looking for opportunities to work with the Township in Aboriginal Day celebrations. The proposal is to host canoe events at the Base and tie it into the Centennial. This event would be by special invitation and prearranged escorted groups only.

Moved by Don Linge, seconded by Celia Owen to send a letter of support to the Base for the concept of a canoe race on June 8th as part of Aboriginal Day celebrations.

The motion **CARRIED**.

8. NEXT MEETING

The next meeting will be held January 24, 2012.

9. ADJOURNMENT

Chair Jones adjourned the meeting at 9:10 p.m.

Bruce Devitt, Vice Chair
This 24th day of January, 2012



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

ADVISORY PLANNING COMMISSION

MINUTES

TUESDAY, JANUARY 17, 2012

7:00 P.M.

ESQUIMALT COUNCIL CHAMBERS

MEMBERS: Pete Hartman
Lorne Argyle
Amy Higginbotham
Wes Nelson
Joy Palmeter

REGRETS: Christopher Smith
Joanne Kimm

COUNCIL LIAISON: Bob McKie

STAFF LIAISON: Trevor Parkes, Senior Planner

SECRETARY: Karen Hay

There were no members of the public present.

1. CALL TO ORDER

The meeting was called to order by the Staff Liason, Trevor Parkes at 6:59 pm. He then introduced Councillor McKie to the group and informed the membership they needed to elect a chair person for the evenings meeting.

Motion was made by Joy Palmeter, seconded by Lorne Argyle that Pete Hartman assume the responsibility of chairperson for the evenings meeting. Pete Hartman accepted the nomination, was elected chair, unanimously, and took over the meeting.

II. LATE ITEMS

No late items.

III. ADOPTION OF THE AGENDA

Moved by Lorne Argyle, seconded by Joy Palmeter that the agenda be adopted as circulated.
The Motion **CARRIED**.

IV. ADOPTION OF MINUTES

- (1) Minutes of the Regular Meeting, of December 20, 2011 were not available at the meeting. Trevor Parkes explained that Marie Letham was away for several weeks and will prepare the December minutes on her return. The minutes should be available for the February meeting.

V. BUSINESS FROM MINUTES

No minutes available.

VI. STAFF REPORTS

- (1) **DEVELOPMENT PERMIT**
521 – 529 Comerford Street
[Lot 266, Suburban Lot 40, Esquimalt District, Plan 2854]
[Lot 267, Suburban Lot 40, Esquimalt District, Plan 2854]

Trevor Parkes advised the Commission members that this proposal was for a Development Permit including variances for siting and parking. The application is similar to the one presented to the commission in September 2011. He introduced Leonard Cole, Urban Core Ventures, owner, and Des Bazett of Vic Davies Architect Ltd.

Des Bazett proceeded to describe the proposal. He talked about the fit of the project with the neighbourhood; mentioning the existing 4 story building to the north, on Esquimalt Road, and the Official Community Plan (OCP) designation for the area to the south, allowing for up to 4 storey's.

Mr. Bazett then went on to describe the layout and features of the building; including the commercial unit, the secure parking area, how there would be a majority of bachelor units between 330 ft² and 410 ft², with several 1 and 2 bedroom units between 440 – 565 ft². All units would have a full kitchen, bathroom and an in-suite laundry. He commented that Leonard Cole has done a similar type of development in the City of Victoria.

He spoke of the buildings 9 accessible units, the front door would have an automatic door opener and how the elevator would proceed to the roof, allowing full accessibility to the 1000 ft² roof top patio. He stated that some units will have private terrace areas and all units will have access to storage lockers and bike storage.

Des Bazett also outlined the landscape plan for the members and stated they would work with the municipal parks and engineering departments to enhance the boulevard, and were suggesting a short term space for the front of the building. He described the finishes, colours and materials proposed for use on the building. He indicated that the building would be constructed to meet "Built Green" silver standard and a consultant would be hired. He described the project as a part of the "new green lifestyle"; that it would appeal to people with fewer

possessions, including no car.

Mr. Bazett spoke about the parking variances being requested. That they were proposing 23 spaces, at a ratio of .65 spaces per unit, including 1 disabled and 1 commercial space. He indicated there would be power supplied in some spaces for electric vehicles and 3 month bus passes would be supplied to new purchasers. He reasoned the limited parking was justified by the location, the ease of access to community facilities and public transit.

Leonard Cole, Owner told the members the ratio for parking had increased from the last proposal from a ratio of .43 to .65 spaces per unit. He believed Council to be very positive toward the project as they waived the 6 month restriction on submitting as new application. He also stated the bylaw allows a ratio of .5 spaces per unit in senior's apartment developments.

APC Questions:

Lorne Argyle asked if the parking spaces would be for sale. Leonard Cole explained that they would be sold, allowing them to keep the price point down on the units. Mr. Argyle asked about the storage for motor scooters. Dez Bazett stated they would have space and electrical plugs in the storage areas on each floor, and that the elevator would be large enough, as the BC Building Code requires elevators to be large enough to hold a stretcher. Lorne Argyle also made an inquiry if the developer thought the building would be non-smoking, with no barbecues allowed on the balconies. Mr. Cole said he thought that would be possible.

Joy Palmeter asked about the strata titling and would Mr. Cole keep a percent of the units for rental. Leonard Cole explained that the units would be for sale and will be rentable by the owners, and that he intends to keep some units but how many will be determined by the market. Joy Palmeter then expressed a concern about the parking numbers and the fact young tenants will have friends with cars and there is already a tight parking situation in the area. Mr. Cole stated that Boulevard Transportation Group now supports the parking numbers, though the report is not available yet. Joy Palmeter expressed concern about setting a precedent with these low parking numbers. Mr. Cole mentioned that each project is evaluated separately and on its own merits.

Wes Nelson asked about the demographics of Mr. Coles Fort Street building. Mr Cole described it as a diverse group with many single women and 75-80% owner occupied.

APC Discussion:

Lorne Argyle stated he was in favour and thought the building was a step in the right direction.

Pete Hartman stated he was not in favour of the project. At the Council meetings he attended the public was not supportive of the project. There is a lack of

street parking in the area and that a variance for any more than 1 or 2 stalls, was unacceptable.

Amy Higginbotham asked Trevor Parkes about the parking proposed for the Esquimalt Village Plan (EVP). Trevor Parkes explained that the EVP is designed to meet the current zoning requirements for parking which is 1.3 spaces per unit for residential and the spaces would be almost exclusively underground. Mr. Parkes also stated that with the scale of the subject proposal there would be practical difficulties with placing the parking underground. Amy Higginbotham asked if there are any other developments in Esquimalt that have had such large variances for parking. Trevor Parkes stated that to his knowledge there were not, and that the Skyline project at 924 Esquimalt Road has a ratio of 1.15 spaces per unit.

Amy Higginbotham indicated she felt the applicant was asking Esquimalt to conduct an experiment where they would have little recourse if this turns out badly, because the units will be individually owned. She expressed a responsibility to think about the area as a whole and a need to encourage business and to not put added stress on the parking availability in the area.

Wes Nelson indicated he also had reservations about the parking variance, that there would be little control over who buys into the building and that it was overly optimistic to think that many of the buildings residents will not require parking. He also expressed concern with the impact the lack of parking will have on the economic development in the area.

Joy Palmetter stated there is no room for overflow parking in the area.

Pete Hartman expressed concern there is no way for the municipality to control who owns the units and whether they require parking.

RECOMMENDATION:

Moved by Amy Higginbotham, seconded by Joy Palmetter, that the Esquimalt Advisory Planning Commission (APC) resolves that the application for a Development Permit limiting the form and character of development to that shown on architectural plans provided by Vic Davies Architect stamped "Received January 10, 2012", and sited as detailed on the survey plan prepared by Powell and Associates, BC Land Surveyors, stamped "Received December 2, 2011", and including the following relaxations to Zoning Bylaw, 1992, No. 2050 and Parking Bylaw, 1992, No. 2011, for the proposed development located at Lot 266, Suburban Lot 40, Esquimalt District, Plan 2854 and Lot 267, Suburban Lot 40, Esquimalt District, Plan 2854 [521-529 Comerford Street], be forwarded to Council with a **recommendation of denial**.

The motion **CARRIED: 4 In favour, 1 Opposed**

Zoning Bylaw, 1992, No. 2050, Section 24 (1) – Visibility at Intersections
– an exemption from the requirement that there shall be no obstruction to the line of vision by Buildings, Structures or vegetation between the heights of 1 metre and 3 metres above the established grade of streets within and area

bounded by the centre lines of intersecting streets and a line joining a point on each of the centre lines 25 metres from their intersection.

Parking Bylaw No. 2011, Section 11(1) – Visitor Parking – a reduction in the required number of dedicated visitor parking spaces from 1 of every 4 to 1 of every 8 [i.e. from a total of 12 visitor spaces to 6 visitor spaces]

Parking Bylaw No. 2011, Section 13(1)(a)(v) – Number Of Off-Street Parking Spaces – a reduction in the required number of parking spaces from 1.3 spaces per dwelling unit to 0.64 spaces per dwelling unit [i.e. from a total of 45 spaces to 22 spaces].

VII. PLANNER'S STATUS REPORT

Trevor Parkes, presented the following status report on recent applications.

Status of Recent Applications:

880-D Esquimalt Road: [DP for Commercial Renovation] COTW moved that the application be forwarded to Council with a recommendation of approval subject to Development Permit No. 18/2011 being presented to Council for consideration. Development Permit No. 18/2011 will be presented at the January 23, 2012 Special Meeting of Council.

1054 Colville Road: [DP for Two Family Residence] At the regular meeting held November 14, 2011 COTW moved that the application be forwarded to Council with a recommendation of approval, subject to staff completing appropriate notification and returning the Development Permit to Council for consideration. The Development Permit was approved by Council on December 12, 2011.

856/858 Esquimalt Road: [Rezoning and Development Permit] COTW supported staff recommendation that the application be forwarded to Council with a recommendation of approval, subject to preparation of amending bylaw, appropriate notification, and a public hearing being held. Staff presented the amending bylaw for 1st and 2nd reading at the regular meeting of Council on August 15, 2011. Council considered the amending bylaw and directed staff to schedule a Public Hearing, send notification, and advertise as required. The application has been placed in abeyance at the request of the applicant pending conclusion of negotiations with the neighbouring property owner relating to traffic issues.

The applicant was unable to successfully negotiate a resolution to outstanding traffic issues. Accordingly, modifications to the proposed site layout and landscaping were required. The updated amending bylaw accommodating these changes was presented to Council October 17, 2011. First and 2nd reading was given to the bylaw and staff were directed to schedule a Public Hearing, send notification, and advertise as required.

The Public Hearing occurred November 7, 2011. The amending bylaw was given 3rd reading and staff were directed not to return the amending bylaw and development permit to Council prior to the applicant entering into a legal

agreement to ensure that the developer assumes responsibility for the costs for the off-site works on Esquimalt Road and lost infrastructure on Esquimalt Road. Staff are working with the applicant to resolve this issue and return the application to Council.

616 Lampson Street: [Rezoning and DP for 1 new SFD] COTW supported staff recommendation that the application be forwarded to Council with a recommendation of approval subject to preparation of amending bylaws, completion of appropriate notification, and a Public Hearing being held. Staff presented the amending bylaw for 1st and 2nd reading at the regular meeting of Council on January 16, 2012. Council directed staff to schedule a Public Hearing, send notification and prepare a Development Permit for consideration.

APC Questions:

Chair Hartman asked Trevor Parkes about the municipality's role in civil matters between neighbours, relative to rezoning applications. Trevor Parkes explained that the municipality has very little role except that if one owner is asking the municipality for something then there may be an opportunity to facilitate an agreement.

Chair Hartman also asked about the quality of some applications versus others. Trevor Parkes explained that some applications are done by professional developers others by home owners, and that staff attempts to work with all applicants to achieve an acceptable level of presentation.

VIII. COUNCIL LIAISON

Councillor Bob Mckie conveyed that he was looking forward to attending the APC meetings, was there to listen and he could take the members comments back to Council.

IX. NEW BUSINESS

No new business.

X. NEXT REGULAR MEETING

Tuesday, February 21, 2011

XI. ADJOURNMENT

On motion the meeting adjourned at 7:54 pm.



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

For Information:

CAO Mayor/Council

RECEIVED: JAN 30 2012

Referred: *Heritage*

For Action For Response COTW

For Report Council Agenda IC

(letter)

January 16, 2012

Dear Mayor and Council:

HERITAGE WEEK 2012: FEBRUARY 20-26

Energy in British Columbia – A Powerful Past, a Sustainable Future

We invite you to join us in celebrating Heritage Week 2012 with the theme of energy and power in British Columbia. From the earliest coal-fired generators to the massive hydro-electric projects of the twentieth century and today's oil and gas industry, energy and power have been an essential and sometimes controversial part of BC's growth and prosperity.

"A Powerful Past, a Sustainable Future" is an opportunity to celebrate this remarkable history and consider the many opportunities and challenges for the future.

The enclosed poster features the 1912 Stave Falls Powerhouse. This unique interpretive centre is operated by BC Hydro and we gratefully acknowledge their generous financial assistance in producing this year's poster. Additional copies are available at no cost while supplies last: jthomas@heritagebc.ca. There is also a Heritage Week page on our website at www.heritagebc.ca.

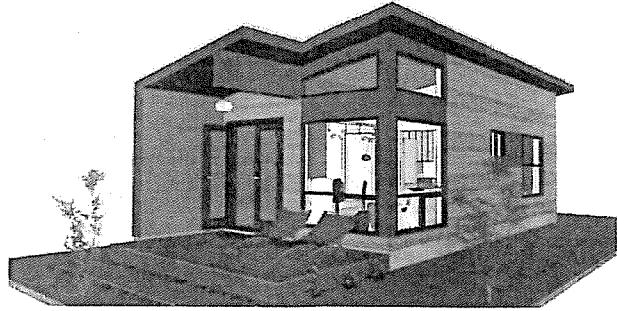
Thank you for supporting our irreplaceable heritage!

Sincerely,

Eric Pattison, President

Mayor Desjardins and Council
1229 Esquimalt Road
Esquimalt, BC V9A 3P1

January 16, 2012



Your Worship,

Small Modern Living and EcoTec Homes (a division of Westco Construction Ltd) are two local companies specializing in the design and construction of small affordable housing units. We believe strongly in the need to provide British Columbians with high quality, well designed, environmentally friendly and affordable housing. To this end, we are collaborating on a demonstration home that highlights the very best that can be achieved in affordable small design.

One of our homes will be on display at the Canadian Home Builders Association of Victoria's 2012 Home and Garden Show from March 9-11 at the Save-on-Foods Memorial Centre. We invite you, Council and staff to come out and have a look first hand.

We encourage you to consider the opportunity to put this show home on display in your municipality. It is small and mobile and we intend to move it around the Capital Regional District to give as many people as possible the opportunity to see it.

We are also available to present to Mayor and Council about our unique type of affordable housing and how it fills a gap in the existing housing market.

For more information please visit www.smallmodernliving.ca or contact us at info@smallmodernliving.ca or 250-665-7751.

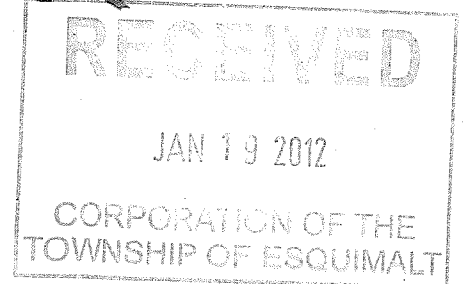
Sincerely,

Dan Boot
President
Small Modern Living

Dan Melville
Owner
EcoTec Homes by Westco Construction Ltd.



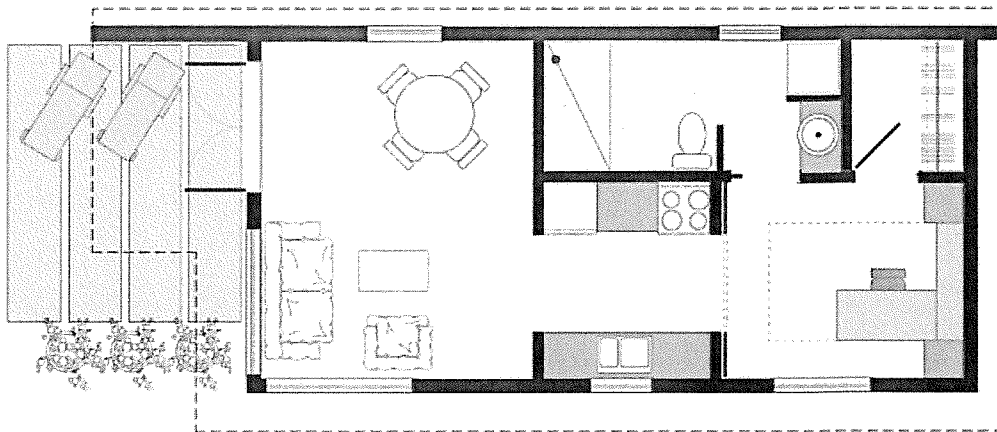
EcoTec Homes



studio37 garden pavilion



studio37 'garden pavilion' is designed to be a simple and versatile 400ft² home, **studio37** can be adapted to meet most design requirements and work on most lots. Careful attention to detail allows this unit to maximize space with an efficient interior layout. Intended to be a one bedroom self-contained living unit, this unit can also work as an office or studio.



studio37 is a showcase of how good design can transform any small space into a comfortable, modern and environmentally sensitive 'garden pavilion' home.

Design Specifications for the demonstration home:

- Natural Tongue & Groove cedar siding with 'Hardie' panel reveal exterior
- Energy Star, low-E double glazed windows
- 50 year standing seam metal roof
- 10' high vaulted ceilings
- EnerGuide stainless steel appliances
- Designer selected cabinetry and fixtures
- Granite countertops
- Durable engineered flooring
- Low VOC paint
- Covered exterior porch
- Wheel chair access throughout
- Open plan concept to enhance the space
- Wallbed with desk to maximize space in bedroom

Agenda

Diane Knight

From: FCM Conference <conference@fcm.ca>
Sent: January 19, 2012 8:21 AM
To: Diane Knight
Subject: Registration now open for FCM's 75th Annual Conference and Trade Show

Follow Up Flag: Follow up
Flag Status: Flagged



2012 FCM Annual Conference and Trade Show – register now for early-bird savings

FCM's 2012 Annual Conference and Trade Show is shaping up to be our best ever. This year's event will be held from June 1 – 4 at TCU Place in Saskatoon, Saskatchewan.

Visit our [conference website](#) for full details, including the [program](#), [study tours](#) and [companion tours](#) – and be sure to [register now](#) to save more than 15 per cent with our early-bird rates.

We hope you will join us in Saskatoon June 1 – 4. This is one event you won't want to miss!

New this year, we have updated our registration system. Each delegate requires an FCM website account in order to register for the conference. [Learn more.](#)



STRONG CITIES, STRONG COMMUNITIES, STRONG CANADA

Program

Please note: Time and session descriptions are subject to change.

[Thursday, May 31](#) | [Friday, June 1](#) | [Saturday, June 2](#) | [Sunday, June 3](#) | [Monday, June 4](#)

Thursday, May 31

2 – 8 p.m. On-Site Registration is OPEN

Friday, June 1

7 a.m. - 6 p.m.

Delegate Registration is OPEN

7 a.m. - 4 p.m.

Trade Show

7 - 8:30 a.m.

Breakfast in trade show

7:30 - 8:30 a.m.

Regional Caucus Meetings

8:45 – 10 a.m.

Opening Ceremony and Keynote

10 – 10:30 a.m.

BREAK

10:30 a.m. – 12 p.m.

Workshops

Going Green: the Economics of Municipal Sustainability

This workshop, led by FCM's Green Municipal Fund, will present an overview of the economics of municipal sustainability, highlighting strategies and successes from Canadian municipalities which are already integrating economic sustainability considerations into decision making. The workshop will provide tangible examples of why this approach is a solid value proposition for municipalities, and how it affects the municipal bottom-line and creates jobs.

Beat Sprawl, Save Money: Strategies for all communities to manage growth

Low-density development or sprawl represents net loss on municipal balance sheets. From an economic perspective, delivering assets to far-off areas (with lower property values) is expensive. It also doesn't create clusters for businesses to access workers and clients in an efficient manner. From an environmental perspective, this form of development leads to greater resources use, vehicle use and associated impacts including on air quality. It locks communities into a set of assets that are not amenable to innovations such as district energy, local renewable generation, and effective waste management strategies. Barriers to moving forward on these innovations also represents lost financial savings for municipalities. Sustainable Prosperity is developing a methodology to measure the cost of the impact of sprawl, including in smaller communities where it is common place.

Building More Rental Housing: The Solution to Canada's Housing Crunch

Economics of Policing

Industry Exchange Session

Study Tours

10:30 a.m. - 12:30 p.m.

[Up vs. Out: Growth on the Prairies](#)

[Saskatoon's Housing Plan](#)

[Saskatoon Police Headquarters](#)

Retrofitting the City for 21st Century Storms

Green Energy Park & LEED Facilities

Meewasin Valley and River Landing - the Waterfront People Place

Public Spaces & Urban Activity

Urban Reserves - From Partnerships to Prosperity

Innovative Partnerships in Leisure and Recreation

11:30 a.m. - 12:30 p.m.

Trade Show & Free Lunch

12:30 - 1:30 p.m.

Keynote

1:30 - 3 p.m.

Workshops

President's Forum on the Future of Canada's Cities and Communities

Practical Approaches to Bringing Broadband to Rural, Remote and Rural Communities

Municipalities 3.0: Social Media for Mayors and Councillors (Introductory and Advanced streams offered)

Municipal-Aboriginal Relations

Industry Exchange Session

3 - 3:30 p.m.

BREAK

3:15 - 5:15 p.m.

Study Tours

Up vs. Out: Growth on the Prairies

Saskatoon's Housing Plan

Saskatoon Police Headquarters

Retrofitting the City for 21st Century Storms

Green Energy Park & LEED Facilities

Meewasin Valley and River Landing - the Waterfront People Place

Public Spaces & Urban Activity

Urban Reserves - From Partnerships to Prosperity

Innovative Partnerships in Leisure and Recreation

6:30 – 8:30 p.m. Mayor's Welcome Reception

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Saturday, June 2

7 - 8:30 a.m. Breakfast in trade show
 7a.m. - 3 p.m. Delegate Registration
 7a.m. - 2 p.m. Trade Show
 8 – 9:30 a.m. Resolutions Plenary
 9:30 – 10 a.m. BREAK
 10 a.m. – 12 p.m.

Study Tours

Up vs. Out: Growth on the Prairies

Saskatoon's Housing Plan

Saskatoon Police Headquarters

Retrofitting the City for 21st Century Storms

Green Energy Park & LEED Facilities

Meewasin Valley and River Landing – the Waterfront People Place

Public Spaces & Urban Activity

Urban Reserves – From Partnerships to Prosperity

Innovative Partnerships in Leisure and Recreation

10 – 11:30 a.m. **Standing Committee Forums**

Environmental and Sustainable

Finance and Intergovernmental

Social Economic Development

Industry Exchange Session

Industry Exchange Session

11:30 a.m. – 12:45 p.m. Trade Show - (Cash Lunch) & Trade Show Prize Draw

1 – 2 p.m. Keynote

2:15 – 4:15 p.m. **Study Tours**

Up vs. Out: Growth on the Prairies

Saskatoon's Housing Plan

Saskatoon Police Headquarters

Retrofitting the City for 21st Century Storms

Green Energy Park & LEED Facilities

Meewasin Valley and River Landing – the Waterfront People Place

Public Spaces & Urban Activity

Urban Reserves – From Partnerships to Prosperity

Innovative Partnerships in Leisure and Recreation

2:15 – 3:15 p.m.

Standing Committee Forums

Infrastructure and Transportation

Women in Municipal Government

Safety and Crime Prevention

2:15 – 3:45 p.m.

Industry Exchange Session

3:30 – 4:30 p.m.

Industry Exchange Session

Standing Committee Forums

Rural Forum

Northern and Remote Forum

3:30 – 5 p.m.

International Relations

5:30 – 7 p.m.

CEO's Reception for International Delegates

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Sunday, June 3

7 - 8 a.m.

Registration (Scholarship Breakfast)

7 – 8:15 a.m.

Scholarship Fundraiser Breakfast - Women in Municipal Government

8 a.m. – 3 p.m.

On-Site Registration

7 – 9:30 a.m.

Continental breakfast

8:30 – 9:30 a.m.

Keynote

9:30 – 10 a.m.

FCM Awards of Excellence

10 a.m. – 12 p.m.

Annual General Meeting and Election of Officers

12:30 – 2 p.m.

Election of National Board of Directors (working lunch)

2:15 – 2:45 p.m.

Election of Regional Chairs

3 – 4 p.m.

Keynote

5 - 6:30 p.m.

Vancouver Reception for new Board Members

5:30– 11:30 p.m.

Host City Gala Evening

[Back to Top](#)

Monday, June 4

8 – 10 a.m.
8:30 – 9:30 a.m.
12 – 12:45 p.m.
11 a.m. – 12:30 p.m.

Registration
Farewell to Saskatchewan Breakfast
Keynote - President's Forum on the Future of Canada's Cities and Communities & Closing Ceremony

Workshops

Building Canada's Long-term Infrastructure Plan: municipal input to the next generation of federal infrastructure programs

Exploring FCM: An interactive workshop to explore and discuss how FCM and the Conference deliver results to Canadian municipalities

Growing Rural Economies: making local economic development work in small communities

For over 10 years, FCM has built a network of Canadian local economic development (LED) experts who have been the backbone of our international programs, helping municipalities around the world, attract investment and skilled labour. This workshop applies that expertise to the Canadian context – where experts will provide tools and case examples of successful LED policies and programs for medium and small communities. Participants will be equipped with tools can join an online forum for further LED idea exchange (done through the log in section of the site).

25 years FCMI

Disaster Ready

Page Updated: 19/01/2012
Federation of Canadian Municipalities
24 Clarence Street
Ottawa, Ontario
K1N 5P3
T: 613-241-5221
F: 613-241-7440
Email: info@fcm.ca

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STRONG CITIES, STRONG COMMUNITIES, STRONG CANADA

Registration Fees

Registration Type	Early Bird Price	Regular Price
Full Conference, FCM Member	\$719	\$850
Full Conference, Non-Member	\$849	\$1,015
Exhibitor*	\$635	\$769
Students	NA	\$199

Credit card only (VISA, AMEX or MasterCard)
Fees (HST is not applicable)

Early Bird Rate ends March 30, 2012

Full Conference - FCM Member and Non-Member

Our low registration price gives you access to all conference and trade show activities, including keynotes, seminars, workshops, study tours, the welcome/cocktail reception, breakfast, lunch and more. Register by March 31 to receive our early bird discount!

Exhibitors

* Only registered Exhibitors are eligible for these fees; not eligible for study tours.

Students

For just \$199, full-time students can attend all conference sessions and activities except for social events and study tours. Access to social events can be purchased separately.

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Diane Knight

From: FCM Registration/Inscription FCM <register@fcm.ca>
Sent: January 9, 2012 12:28 PM
To: Diane Knight
Subject: Get ready for FCM's 2012 Annual Conference registration

Follow Up Flag: Follow up
Flag Status: Flagged



FCM's 75th Annual Conference and Trade Show

Get set to register – create your web account now. Registration opening soon.

Mark your calendars! FCM's 75th Annual Conference and Trade Show is less than five months away, and will run from June 1-4, 2012 in Saskatoon.

Registration will begin shortly, but you can prepare for it now by setting up your FCM website account (see steps below). We'll alert you by email as soon as registration opens.

This year, we are updating our registration system to provide added security and self-service features. These changes will enable you to register online at your convenience, without having to call us for assistance.

Also new this year, every delegate now requires an FCM website account to register for the conference. This means admins and other municipal staff who register on a delegate's behalf must obtain access to that account from the account holder. Multiple registrations under a single account are no longer available.

Get ready now to register

Take steps today to ensure you have an FCM website account, so that you're set up and ready when conference registration opens. Follow the instructions below to verify you have an active account.

If you have previously attended an FCM event

Members who have previously attended an FCM event already have a web account. If you do not know your password, follow these steps:

1. Visit the [FCM website](#) and click **Login** (top-right of the screen)
2. Click **Send me my password**
3. Enter your email address and click **Submit**
4. An email with your password will be sent to you
5. Return to the FCM website, click **Login** and use your password to verify your login is working

If you are a first-timer

If this is your first FCM event, you can create a new web account as follows:

1. Visit the [FCM website](#) and click **Login** (top-right of the screen)
2. Click **Create one now**
3. Follow the steps to request an account
4. An email with your account activation link will be sent to you
5. Follow the email instructions to complete your account creation
6. Return to the [FCM website](#), click **Login** and use your password to verify your login is working

Don't wait! Set up your FCM web account today to ensure fast and easy registration for FCM's 2012 Annual Conference and Trade Show. Visit the [FCM website](#) now.

Registration Desk | Bureau d'inscription

Corporate Events and Partnership – Operations
Événements et partenariats - Opérations



FEDERATION
OF CANADIAN
MUNICIPALITIES

FÉDÉRATION
CANADIENNE DES
MUNICIPALITÉS

24, rue Clarence Street, Ottawa, Ontario K1N 5P3
T. 613-907-6212 | F. 613-244-1500



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

COUNCIL POLICY

TITLE: Conference Attendance by Elected Officials

NO. ADMIN - 38

The Township of Esquimalt shall maintain memberships, attend conferences and fully participate in forums, workshops, business meetings, committees and functions of relevant municipal associations and organizations. Individual Council Members are encouraged to assume executive and leadership roles in such associations and committees.

Funding must be available within the budget prior to participation and, except where noted, participation must be authorized in advance by resolution of Council.

Policy

- 1. The Township will maintain membership in the following organizations and all members of the Township Council are authorized to attend the annual conference.
a. Union of British Columbia Municipalities (UBCM): This organization is the Provincial Association representing 100% membership of all B.C. municipalities and its regional districts and Islands Trust.
b. Association of Vancouver Island and Coastal Communities (AVICC); This organization is a regional chapter of the parent UBCM referred to as the AVICC Municipalities and regional districts within this area are members and the organization holds an annual conference each year in a member municipality.
2. The Township will maintain a membership in the Federation of Canadian Municipalities (FCM). Members of Council may attend the annual or other like national conferences once per three year term.
3. The Township shall provide for representation and participation in meetings, workshops or conferences that are beneficial to the Township's interests, outside the Greater Victoria area but within the British Columbia and all members of Council may attend a conference within the Province.
4. The Township shall provide for representation and participation in meetings, workshops or conferences that are beneficial to the Township's interests within the Greater Victoria area and all members of Council may attend any local conference/workshop within the Greater Victoria area.
5. Council members are encouraged to participate in the formation of policy related to matters of interest to the Township via membership on relevant committees and boards.
6. The Mayor may attend at his/her discretion additional conferences, or allocate funding towards conferences/events hosted by the Municipality, where the maximum combined expenditure of all additional conferences shall not exceed \$2,000.00 per year.
7. Council members attending events under this policy must provide a written report at a public meeting.

EFFECTIVE DATE: July 11, 2011

APPROVED BY: Council

REF: FIN-11-022

AMENDS NO: October 16, 2006

PAGE 1 OF 1

Kim Maddin

From: avicc@ubcm.ca
Sent: January 23, 2012 11:27 AM
To: Council
Cc: Anja Nurvo
Subject: 2012 AVICC AGM & Convention Program Brochure & Registration Form.docx
Attachments: FINAL_AVICC_2012_Brochure.pdf; AVICC-2012 Delegate Reg Form.docx

CORPORATION OF THE TOWNSHIP OF ESQUIMALT		
For Information:		
<input type="checkbox"/> CAO	<input checked="" type="checkbox"/> Mayor/Council	
RECEIVED: JAN 23 2012		
Referred: Anja/Diane		
<input type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input checked="" type="checkbox"/> Council Agenda	<input type="checkbox"/> IC

Dear ,

Please distribute to all AVICC elected officials, the Chief Administrative Officer and their support staff.

Dear AVICC Member:

Attached is the program brochure and delegate registration form for the 2012 AVICC AGM & Convention.

The AVICC Executive is very pleased to once again present an informative and thought provoking program. Ucluelet, this year s host community, will allow delegates to experience the rich culture and stunning scenery of Vancouver Island s west coast. We extend special thanks to Mayor Bill Irving and Council for hosting this year s event and to the local organizing committee who have been working diligently with planning and preparation. As a small community, it takes commitment and hard work to make an event of this scale the memorable west coast experience we expect it is going to be.

Registering as early as possible assists organizers to effectively prepare for the event. Please note that the Saturday evening banquet is limited to approximately 230 guests and tickets will be processed on a first-come, first-serve basis. Thank you for your assistance in forwarding completed registration forms as soon as possible. Note that March 23 is the early bird deadline.

The Pre-Convention Newsletter and Annual Report and Resolutions Book will be distributed in late March.

Members are reminded to check www.AVICC.ca for more in-depth information and from time-to-time for program updates.

We look forward to seeing you in Ucluelet!

Iris Hesketh-Boles
AVICC Executive Coordinator
Union of BC Municipalities
Local Government House
525 Government St, Victoria, BC V8V 0A8
Tel: 250-356-5122 Fax: 250-356-5119
www.AVICC.ca



ASSOCIATION OF VANCOUVER ISLAND AND COASTAL COMMUNITIES

2012 AGM & CONVENTION

Ucluelet, BC
April 13-15, 2012

BRIEF PROGRAM OVERVIEW

FRIDAY, APRIL 13, 2012

- 10:30 am Pre-Conference Study Tours
2:00 pm Official Opening, Keynote Address, Provincial Representatives Addresses, AGM & Presentations
5:30 pm Welcome Reception

SATURDAY, APRIL 14, 2012

- 7:45 am Deluxe Continental Breakfast
8:30 am Elections, UBCM President's Address, Resolutions & Presentations
Noon Delegates Luncheon
1:30 pm Concurrent Workshop Sessions
6:00 pm Reception, Dinner & Entertainment

SUNDAY, APRIL 15, 2012

- 7:30 am Hot Breakfast
8:30 am Elections, Presentations, Address by the Leader of the Opposition, Resolutions & Late Resolutions, Closing Session, Installation of New Executive & Grand Prize Award
12 noon Adjournment

Executive is pleased to advise that program plans are firming up nicely and registration for the 2012 AVICC AGM & Convention is now open.

Ucluelet, this year's host community, will allow delegates to experience the rich culture and stunning scenery of Vancouver Island's west coast. The main Convention venue will be the Ucluelet Community Centre, a state-of-the-art facility that opened in April 2010. An enthusiastic and hard working local organizing committee is working diligently with AVICC Executive and staff to provide delegates, sponsors and exhibitors with a memorable west coast Convention experience.

THE PROGRAM FORMAT

Based on a successful tradition, the 2012 program will integrate the regular business of the annual general meeting, debate on resolutions and holding of elections with a variety of presentations and workshops on topical issues, addresses by key political speakers and networking opportunities. Pre-convention program activities include study tours of the Wild Pacific Trail and the brand new Ucluelet Aquarium scheduled to open later this spring.

A draft of the detailed program will be available by mid-February on the www.AVICC.ca website. In order to accommodate emergent issues the program does not become final until just prior to the AGM & Convention.



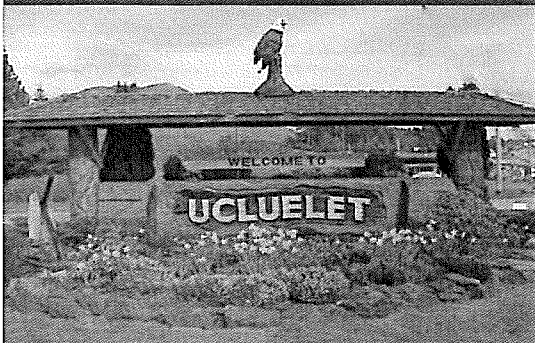
KEYNOTE SPEAKER

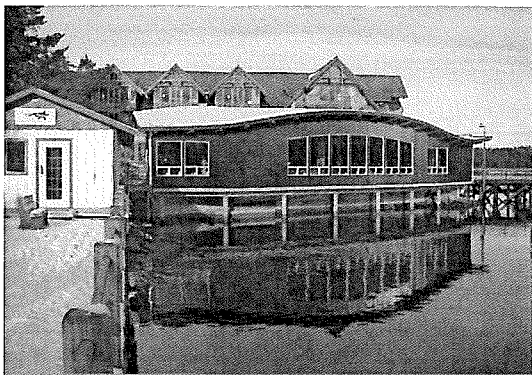
Dr. Kate Moran, Director, NEPTUNE Canada

Dr. Kate Moran joined NEPTUNE Canada as Director in September 2011. NEPTUNE Canada is the world's first regional-scale cabled observatory network and is located off the west coast of Vancouver Island.

Formerly Dr. Moran served a two-year term as an assistant director in the White House Office of Science and Technology Policy in Washington, DC where she advised the Obama administration on the oceans, the Arctic and global warming. Dr. Moran has led several major oceanographic expeditions, including the first drilling expedition to the Arctic Ocean in 2004. The following year she led the first expedition to find the source of the earthquake that caused the 2004 Indian Ocean tsunami. She has also made major contributions to the assessment of hazards in Canada's offshore regions.

Holding degrees in marine science and engineering from the University of Pittsburgh, the University of Rhode Island and Dalhousie University, Dr. Moran's research focuses on marine geotechnics and its application to the study of paleoceanography, tectonics and seafloor stability. She has authored more than 45 publications.





FRIDAY MORNING PRE-CONFERENCE PROGRAM

2012 AGM & CONVENTION

Ucluelet, BC
April 13-15, 2012

PAGE 2 OF 6

ELECTIONS

The membership elects directors during the AGM & Convention to ensure the directions set by the general membership are carried forward. The Executive also provides direction to AVICC between Conventions.

The following positions are open for nomination:

- President
- First Vice-President
- Second Vice-President
- Director at Large (3 positions)
- Electoral Area Representative

To be included in The Report on Nominations, nominations must be received by February 24, 2012.

For further information on the elections process or to submit a nomination, please contact:

Chair, 2012 Nominating Committee
c/o AVICC, 525 Government Street
Victoria, BC V8V 0A8
Fax: 250-356-5119
EM iheskethboles@ubcm.ca
or visit our website at www.AVICC.ca



To accommodate those planning to travel up in the morning, two late morning study tours are planned. Delegates must pre-register for both using the conference registration form. Light refreshments will be available at the start of each tour.

STUDY TOUR OF THE NEW UCLUELET AQUARIUM

10:30 – 11:30 am

Meet at the Ucluelet Aquarium, Main Street Waterfront Promenade

Cost: \$10

Take an insider's look at the newest building on the West Coast! Ucluelet Aquarium Society (UAS) executive director, Dave Hurwitz, will lead a tour of the new Ucluelet Aquarium as staff and volunteers ready the exhibits for the aquarium's grand opening in late spring of 2012. This facility is a shining example of community pride and represents a considerable amount of volunteer determination. Dave will discuss the history of the UAS and the evolution of the "mini-aquarium" pilot project that led to the construction of this jewel on Ucluelet's harbourfront. Dave will cover the aquarium's significance as a draw for visitors to our region and the partnerships that helped bring this idea to fruition. Fostering symbiosis with both the tourism and educational sectors has been a big part of the Ucluelet Aquarium's success and Dave will explain the value of our local government's support in helping bring this dream to fruition. Non-profits are the fastest growing sector of the Canadian economy and their role in creating jobs and the subsequent fundraising advantages they provide will be discussed. A question and answer period with Dave will round out the tour.

STUDY TOUR OF THE WILD PACIFIC TRAIL WITH 'OYSTER JIM' MARTIN

10:30 am – Noon

Meet at the Ucluelet Community Centre, 500 Matterson Drive

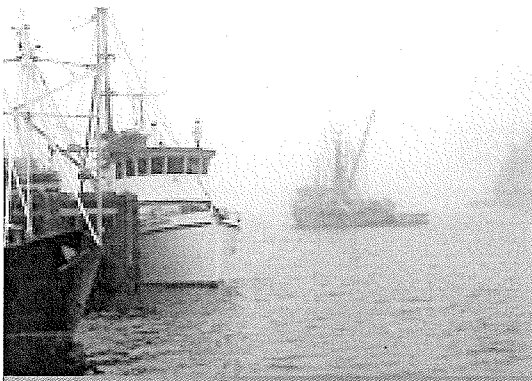
Cost: \$10

The Wild Pacific Trail is Oyster Jim's 20-year quest to make his vision a reality. Undertaking public interest projects then and now and why it is crucial to not only remove roadblocks, but also be proactive in seeing that projects such as these get completed will be discussed.

The Wild Pacific Trail located in the District of Ucluelet is a seven-phase trail system skirting the rugged cliffs and shoreline of the west coast of Vancouver Island. The trail offers spectacular shoreline panoramas and seaward vistas through ancient cedar forests and from spruce-framed viewing platforms. Three sections of the trail are now complete. The trail is available free of charge to hikers and is appropriate for all fitness levels.

This tour will begin indoors at the Ucluelet Community Centre with an overview and discussion of the history, granting, land and community partnering that has been and continues to be involved in building the trail. Oyster Jim will then take participants down to join the trail behind the Black Rock Resort where he will point out various highlights of the trail system. There will be plenty of opportunities for questions and answers.

Please wear footwear and clothing appropriate for a light hike, and bring an umbrella and raincoat.



PROGRAM

2012 AGM & CONVENTION

Ucluelet, BC
April 13-15, 2012

PAGE 3 OF 6

RESOLUTIONS

Resolutions received prior to the February 24, 2012 deadline will be processed and included in the Annual Report and Resolutions book that will be mailed to members in late-March. See www.AVICC.ca for more information on the resolution process and requirements.

Late Resolutions:

Resolutions received after the deadline are considered "late" but will be accepted by the Executive Coordinator up until noon, Wednesday, April 11, 2012.

Members are reminded that, to be admitted for debate, a resolution must be deemed to be of an urgent or emergency nature and should address an issue that has arisen after the February 24 deadline date.

The Resolutions Committee will review all late resolutions and prepare a report to the Convention including a recommendation as to whether the resolution meets the criteria and should be admitted for debate.

Reminder

Resolutions and Nominations
Deadline - February 24, 2012
See www.AVICC.ca for submission
requirements and nomination forms.



Some program highlights that have been confirmed are:

SHARED JURISDICTIONAL ROLES FOR MANAGING AQUACULTURE

A short summary of the changes to the Provincial authority for managing aquaculture post the Supreme Court Decision of 2009 (Hinkson) and an open dialogue with delegates to explore the potential to collaborate on a pilot project to harmonize local government and Provincial approval processes related to the aquaculture industry.

BC AQUACULTURE REGULATORY PROGRAM

This workshop will provide an update on the British Columbia Aquaculture Regulatory Program's (BCARP) implementation, as well as engage participants in a forward-looking discussion regarding DFO's Aquaculture Management Framework and the role of local government. Key elements of the Aquaculture Management Framework will be presented to provide participants with the opportunity to explore how regional districts can effectively engage with DFO and other partners in the management of the aquaculture industry.

ROLE OF LOCAL GOVERNMENTS DURING OIL SPILL RESPONSE

Islands Trust Council Chair Sheila Malcolmson will introduce the session followed by Graham Knox of the provincial Environmental Emergency Program who will provide an overview of: roles and responsibilities during oil spill incident responses; the differences in response management between natural disaster incidents and oil spills where a responsible party (spiller) is required to manage the incident; how local governments can participate and engage in the oil spill response; and provincial proposals for improving spill prevention, preparedness, response and recovery in the province.

BC JOBS PLAN UPDATE

In follow-up to the presentation to the 2011 UBCM Convention delegates which followed the launch of the Jobs Plan, senior staff from the Ministry of Jobs, Tourism and Innovation will update AVICC delegates on the progress of the BC Jobs Plan, community involvement to date on Jobs Plan initiatives and the opportunities for future engagement.

Additional presentations and workshops from the following organizations on topics that are on the minds of AVICC members are in the process of being confirmed:

- Agricultural Land Commission
- Coastal Communities Network
- Island Corridor Foundation
- BC Hydro
- FortisBC

Descriptors for individual sessions and biographies of speakers will be published on www.avicc.ca as they become available.

POLITICAL SPEAKERS

Invitations have been extended to Premier Christy Clark; Mr. Adrian Dix, Leader of the Official Opposition; Community, Sport and Cultural Development Minister Ida Chong; and UBCM President, Director Heath Slee.

NETWORKING AND SOCIAL ACTIVITIES

2012 AGM & CONVENTION

Ucluelet, BC
April 13-15, 2012

PAGE 4 OF 6

OUR SPONSORS

The AVICC AGM & Convention benefits from the significant contributions of our sponsors – some who have been sponsoring this event for many years.

2012 committed sponsors include:

FortisBC

Delegate Luncheon

University of Victoria

Keynote Speaker

BC Hydro

Delegate Gift

Association of Mining Exploration BC/ Mining Association of BC

Co-sponsors of the Annual Banquet Dinner

BC Lottery Corporation

Annual Banquet Entertainment

Vancouver Island University

Welcome Reception

Municipal Insurance Association

Sunday Morning Hot Breakfast

ICBC

Saturday Morning Breakfast

Alberni-Clayoquot Regional District

Saturday Evening Pre-Banquet Reception

Private Forest Landowners, Timberwest and Islands Timberland

Friday Afternoon Refreshment Break

Shaw Communications

Partners Program

Lorena P.D. Staples Law Corporation

Parliamentary Services

Sponsors are thanked for their generosity. Delegates will look forward to various opportunities provided by the AGM & Convention to learn about your organization's new programs or services and plans for the future.



WELCOME RECEPTION

The Welcome Reception will be held from 5:30-7:30 pm Friday evening at the Black Rock Oceanfront Resort which is known for its phenomenal culinary and aesthetic experiences. The foyer, atrium and Float Lounge will allow delegates to not only enjoy amazing food but an incredible venue that showcases the rugged shoreline of Ucluelet. Local musicians, artists and artisans will round out the overall experience.

ANNUAL BANQUET

Locally renowned Chef Richard Norwood will be heading up the culinary team preparing for Saturday night's banquet. The evening begins with a pre-banquet reception with dinner and entertainment to follow. The banquet will be in Ucluelet's main hall at the new Ucluelet Community Centre which features beautiful post and beam woodwork, high ceilings and amazing glimpses into the west coast scenery. The menu plan includes cedar plank local salmon, west coast style free-run chicken and carved prime rib of beef. Preliminary plans for the evening's entertainment include a local First Nations dancing group, Japanese drummers and will conclude with the jazzy, folksy sounds of local artists Left of the Junction.

MINI MARKETPLACE/TRADESHOW

As in past years, AVICC will host a small tradeshow. Many of our sponsors will be staffing information booths. In addition, a number of other organizations have been invited to participate.



Our host community for the 2012 AGM & Convention is the District of Ucluelet. Mayor Bill Irving and Council are thanked for their generous hospitality.

Councillor Dario Corlazzoli provides Council liaison to the local host planning committee led by Abigail Fortune, Director of Recreation with colleagues Nicole Laderoute, Recreation Assistant; Barb Gudbranson, Finance and Admin Assistant, and associates Katherine Loiselle, Sales and Events Manager with the Black Rock Oceanfront Resort, Sue Payne, Manager of the Ucluelet Chamber of Commerce and Kathy DeVries, Tourism Ucluelet.

An event of this size and caliber takes a small community like Ucluelet working together to achieve success. All local contributors are thanked for their contribution in making the 2012 AGM & Convention a terrific west coast experience.

ACTIVITIES FOR PARTNERS

2012 AGM & CONVENTION

Ucluelet, BC
April 13-15, 2012

PAGE 5 OF 6

Local businesses will be offering discounted activities and services. Please contact them directly mentioning you are an AVICC delegate.

Whale Watching Tour - Jamie's Whaling Station

www.jamies.com

12:00 noon; Sat, April 14th

The tour offers engaging commentary by experienced, knowledgeable crew. Resident Gray Whales feed in Clayoquot & Barkley Sound starting in April with possible sighting of Humpbacks, Orcas, sea lions, and otters to be had as well.

Harbour Tours - Majestic Ocean Kayaking

www.oceankayaking.com

9:00 am or 1:00 pm; Sat, April 14th

Within the sheltered harbour, participants will paddle up to a beautiful hidden waterfall or visit the local fish hatchery with opportunity to view plenty of wildlife including black bears along the shoreline, eagles circling overhead, harbour seals and sea lions.

Nurture Day Spa

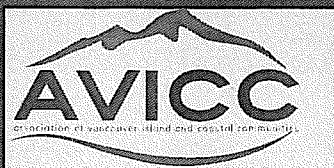
www.nurturewestcoast.com

Enjoy a holistic spa experience that incorporates wellness & balance to generate mind and body recovery.

Other opportunities include:

- Black Rock Day Spas
- West Coast Wild – Zipline, Kayaking and Flight Tours
- Wild Pacific Sailing Tours or Harbour Tours
- Golfing at the Long Beach Golf Course
- Pacific Rim National Park

Go to www.ucluelet.ca and click on AVICC for current information.



Partners and other guests are encouraged to join delegates as Ucluelet is offering a variety of local activities and events for your enjoyment. We also look forward to your participation in both the Evening Welcome Reception and the Saturday Evening Banquet.

Please register partners for these activities on the regular Delegate Registration Form.

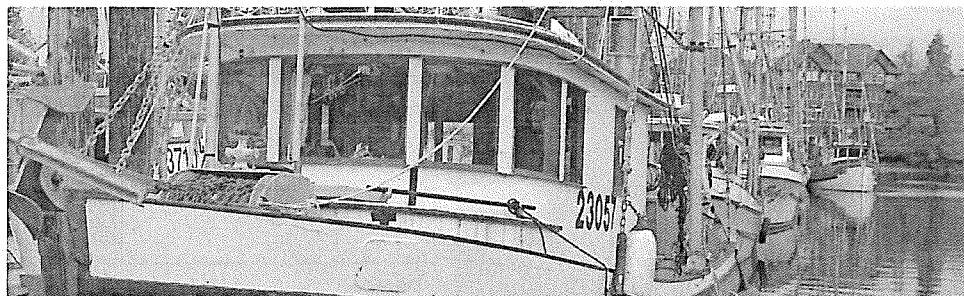
UCLUELET HERITAGE TOUR

10:00 am – noon, Saturday, April 14th

Meet at the Ucluelet Community Centre

Cost: \$30.00

Join Lisa Brisco, President of the Ucluelet & Area Historical Society on a guided tour of Ucluelet's historical highlights including the gardens of world-renowned hybridizer George Fraser. Enjoy stories on how Ucluelet developed as a community, the devastating shipwrecks of our past, the creation of the lighthouse, and the impacts of World War II. In order to proceed with the Heritage Tour there will be a minimum registration requirement of 12 participants by March 23.



WILD PACIFIC TRAIL GUIDED WALKS

2:00 – approx. 3:30 pm, Friday, April 13th and Saturday, April 14th

Meeting Place: TBA

Cost: \$10.00 each

Join Jim Martin, better known as "Oyster Jim" as he escorts you on one of two guided walks along the Wild Pacific Trail past rugged shoreline and spectacular views. Listen to tales of local lore, learn about our flora and fauna and don't forget your cameras in case you spot a migrating Gray Whale. The Wild Pacific Trail was noted in the New York Times as one of the 31 places to go in 2010. Please wear proper footwear and clothing for a light hike and bring an umbrella and raincoat.

LOGISTICS

2012 AGM & CONVENTION

Ucluelet, BC
April 13-15, 2012

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TRAVELLING TO UCLUELET

- From Port McNeill – 440 km, 5.25 hours driving
- From Comox – 210 km, 3 hours driving
- From Nanaimo – 180 km, 2.5 hours driving
- From Victoria – 288 km, 4 hours driving
- From Vancouver – 196 km, 2.75 hours driving and 1.5 hours ferry

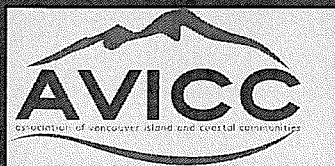
When traveling north from Nanaimo, exit west on Provincial Highway 4 towards Port Alberni, Tofino and Ucluelet. Eventually, you will arrive at the junction of Highway 4 and the Pacific Rim Highway, which runs south 8 kilometres to Ucluelet or north through the Pacific Rim National Park Reserve to Tofino. Turn left at the junction.

Although unlikely, delegates should be prepared for the possibility of a late winter storm that can affect driving conditions on the Pacific Rim Highway. Updated driving conditions are available on <http://www.drivebc.ca> including a web cam on the Sutton Pass.

PREPARE FOR THE WEATHER

Ucluelet is dominated by its weather. Its location on the Estevan Coastal Plain, wedged between the sea and the mountains, creates a maritime climate unique to Canada. Delegates should expect an average high temperature of 12°C with a low of 4°C and the possibility of heavy precipitation (the average for Ucluelet in April is 244mm).

Delegates and their guests are asked to bring suitable clothing, footwear and an umbrella as it will be necessary to move between the Ucluelet Community Centre and the Black Rock Resort (a short 5-7 min walk).



ACCOMMODATIONS

Ucluelet has a wide variety of accommodations available for delegates. For a list, please visit www.avicc.ca.

THE VENUES

Business Meetings, Mini Marketplace, Delegate's Lunch, Saturday Evening Banquet – Ucluelet Community Centre, 500 Matterson Drive
Welcome Reception – Black Rock Resort, 596 Marine Drive

PARKING

Sufficient parking for all delegates is not available at the Ucluelet Community Centre. Delegates staying at the Black Rock Resort are asked to park and leave their vehicles at the hotel for the duration of the Convention. Delegates staying at other locations are asked to carpool to the Ucluelet Community Centre. Shuttle buses will be available to transport delegates and their guests to and from the Saturday evening reception and banquet.

Shuttle transportation between the Black Rock Resort and the Community Centre will be available for those who require assistance.

HOW TO REGISTER

Registration forms are available on the www.AVICC.ca website or by emailing avicc@ubcm.ca. As in the past, there is an early bird and cancellation deadline of March 23, 2012.

	Early (Before March 23)	Late (After March 24)
Delegate Fees	\$127	\$152
Banquet	\$44	\$53
Reception	\$27	\$34

FOR MORE INFORMATION

The most current information will be posted on the www.AVICC.ca website. Please check back regularly for updates. For specific questions, contact:

Iris Hesketh-Boles, AVICC Executive Coordinator
Email: iheskethboles@ubcm.ca
Telephone: 250-356-5122



2012 AGM & CONVENTION

April 13-15, 2012 Ucluelet, BC

DELEGATE REGISTRATION FORM

IMPORTANT: If completing by hand, please print. For electronic completion, download the Word form document from www.AVICC.ca and use only the tab key (not the return key) to move through the fields and a mouse click to check the boxes. Thank you.

Delegate Surname: _____ First Name: _____
(to appear on nametag)

Partner/Guest Surname: _____ First Name: _____
(to appear on nametag)

Delegate Title: _____
(e.g. Mayor, Councillor, Chair, Director, Administrator, CAO, Clerk, Treasurer)

		For AVICC Use	
Municipality/RD/Ministry/Org:	_____	Cheque #:	_____
Hotel/Motel/B&B Where Delegate is Staying:	_____	Date:	_____
Delegate Email Address:	_____	Amount:	_____
Food Allergies/Intolerances	_____		
	Delegate		Partner

REGISTRATION FEES

<i>Delegate: (Member - Voting & Non-voting, and Non-Member)</i>	<i>Postmarked by March 23, 2012</i>	<i>Postmarked after March 24, 2012</i>	<i>Amount Enclosed</i>
<input type="checkbox"/> Delegate Business Sessions	\$127	\$152	_____
<input type="checkbox"/> Delegate Banquet (Saturday evening)	\$44	\$53	_____
<input type="checkbox"/> Delegate Welcome Reception (Friday evening)	\$27	\$34	_____
<input type="checkbox"/> Delegate Pre-Conference Aquarium Study Tour	\$10	\$12	_____
<input type="checkbox"/> Delegate Pre-Conference Wild Pacific Trail Study Tour	\$10	\$12	_____
Partner or Guest:			
<input type="checkbox"/> Partner/Guest Welcome Reception (Friday evening)	\$27	\$34	_____
<input type="checkbox"/> Partner/Guest Banquet (Saturday evening)	\$44	\$53	_____
<input type="checkbox"/> Partner/Guest Ucluelet Heritage Tour (Saturday)	\$30	\$36	_____
<input type="checkbox"/> Partner/Guest Walk With Jim on the Wild Pacific Trail (Friday)	\$10	\$12	_____
<input type="checkbox"/> Partner/Guest Walk With Jim on the Wild Pacific Trail (Saturday)	\$10	\$12	_____
	Registration Fees Sub-total		_____
	Add 12% HST (82945 4362)		_____
	TOTAL FEES ENCLOSED		_____
	<small>(Payment must accompany registration.)</small>		

CANCELLATION POLICY

Full Refund: Notice of cancellation must be received by **March 23, 2012**.
 Non-Refundable: Notice of cancellation received after **March 24, 2012**.
 Note: Please forward notifications by email to iheskethboles@ubcm.ca even if fees are non-refundable. Any refunds owing will be processed after the AGM & Convention.

PLEASE RETURN FORM AND MAKE CHEQUE PAYABLE TO:

Association of Vancouver Island and Coastal Communities (AVICC)
 525 Government Street
 Victoria, BC V8V 0A8

For program, registration or other information please see www.AVICC.ca, or email avicc@ubcm.ca or call 250-356-5122.

Esquimalt Ministerial Association
c/o #202 - 520 Foster Street
Victoria, BC V9A 7P5

Township of Esquimalt,
Mayor and Council
1229 Esquimalt Road
Victoria, BC V9A 3P1

January 2012

CORPORATION OF THE TOWNSHIP OF ESQUIMALT		
For Information:		
<input type="checkbox"/> CAO	<input type="checkbox"/> Mayor/Council	
<input type="checkbox"/>		
RECEIVED: JAN 20 2012		
Referred:		
<input type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input checked="" type="checkbox"/> Council Agenda	<input type="checkbox"/> IC

Dear Mayor and Councillors,

On behalf of the member churches and ministries connected with the Esquimalt Ministerial Association, we congratulate each of you, Barb in her acclamation as Mayor and each of you in your recent election to council.

We look forward to assisting and working with you in this centennial year. Please do not hesitate to contact us if we can serve you in any way.

Be assured of our prayers for you and your families, as you lead our community in times that will no doubt be challenging.

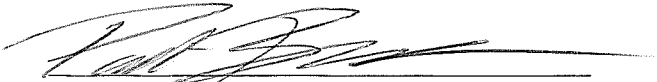
In the Christian faith, the number twelve signifies perfection in government and all that has to do with rule. It is particularly encouraging that our centenary is in 2012 and that you will be leading us and laying foundations for generations to come.

Sincerely,



Cameron Aitken

Esquimalt Youth Outreach



Paul Bergmann

HarbourView Community Church



Ed Cawley

Esquimalt United Church




Barry Goodwin

Esquimalt Nazarene Church



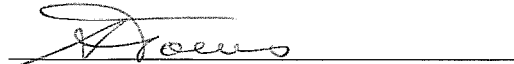
Graham Jackson

Youth With A Mission



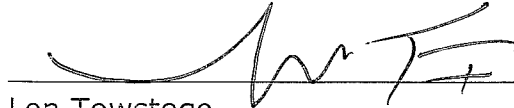
Bill Southward

Temple Yeshua



Arnie Toews

Pacific Rim Care Counselling



Lon Towstego

St. Paul's/St. Peter's Anglican Church

P.S. For contact with the ministerial, please contact any of the following.

Barry Goodwin, chair	250-888-2409
Graham Jackson, centennial rep	250-516-7042
Arnie Toews, secretary/treasurer	250-516-8455

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

For Information:

CAO Mayor/Council

Piane

RECEIVED: JAN 24 2012

Referred: Agenda

For Action For Response COTW

For Information For Regulation IC

Kim Maddin

From: avicc@ubcm.ca
 Sent: January 24, 2012 12:47 PM
 To: Council
 Cc: Anja Nurvo
 Subject: Follow-up: November 22, 2011 Consultation on Aquaculture Regulation
 Attachments: Nov 22-11 Mtg Record.pdf; Aquaculture Reg Questionnaire.pdf

Dear ,

Please distribute to AVICC elected officials, the Chief Administrative Officer and any staff who may be interested or involved in aquaculture issues. A copy of this information will also be sent by separate email to the participants of the November 22, 2011 meeting.

Attached are the draft Meeting Minutes prepared by Department of Fisheries and Oceans of the November 22, 2011 Consultation on Aquaculture Regulation held in Courtenay. 20 local government representatives took the opportunity to attend this meeting.

In follow-up, two workshops have been incorporated into the AVICC AGM & Convention program for Saturday, April 14th afternoon in Ucluelet:

BC AQUACULTURE REGULATORY PROGRAM

This workshop will provide an update on the British Columbia Aquaculture Regulatory Program's (BCARP) implementation, as well as engage participants in a forward-looking discussion regarding DFO's Aquaculture Management Framework and the role of local government. Key elements of the Aquaculture Management Framework will be presented to provide participants with the opportunity to explore how regional districts can effectively engage with DFO and other partners in the management of the aquaculture industry.

SHARED JURISDICTIONAL ROLES FOR MANAGING AQUACULTURE A short summary of the changes to Provincial authority for managing aquaculture post the Supreme Court Decision of 2009 (Hinkson) and an open dialogue with delegates to explore the potential to collaborate on a pilot project to harmonize local government and Provincial approval processes related to the aquaculture industry.

Also attached is a questionnaire with 6 strategic questions on the key elements of the Aquaculture Management Framework, primarily on the Integrated Management of Aquaculture Plans should you wish to provide additional comment at this time. The completed document should be submitted to:

Fisheries and Oceans Canada
 c/o Gabrielle Kosmider
 1965 Island Diesel Way
 Nanaimo, BC V9S 5W8
 Fax: 250-949-6755
 Email: IMAPS2dfo-mpo.gc.ca

 Iris Hesketh-Boles
 AVICC Executive Coordinator
 Union of BC Municipalities



Meeting Record

November 22, 2011 (1:00 – 3:30)
Association of Vancouver Island Coastal Communities (AVICC)
Courtenay, BC

Meeting Objectives:

To engage with AVICC on the BC Aquaculture Regulatory Program, provide updates on program activities including consultation and engagement on the development of Integrated Management of Aquaculture Plans, existing Conditions of Licence and management approaches.

Attendees:

Executive and Members of the AVICC

DFO:

Andrew Thomson, Director AMD

Corey Jackson, Manager, Aquaculture Programs

Kamaljeet Guram, Sr. Engagement Officer, Aquaculture Programs

Province of BC:

Sean Herbert, Associate Director for Tenure Operations, Ministry of Forests, Lands and Natural Resource Operations

Materials Distributed (list):

BC Aquaculture Regulatory Program presentation
Marine Finfish IMAP Discussion Document
Shellfish IMAP Discussion Document
Marine Finfish Conditions of Licence
Shellfish Conditions of Licence

Key Issues Discussed:

- Summary:
 - The meeting was chaired by Mr. Stanhope, AVICC Executive and had two parts: the presentation and a question and answer period. Overall, the discussion revolved around the topics presented in the BC Aquaculture Regulatory Program Update. The presentation provided an overview of the transfer in jurisdiction from the Province of BC to Fisheries and Oceans Canada in 2010, the structure of the aquaculture directorate including office locations and staff, and the key elements of the BC aquaculture framework: Integrated Management of Aquaculture Plans, existing Conditions of Licence and Management approaches (policies).

- Integrated Management of Aquaculture Plans





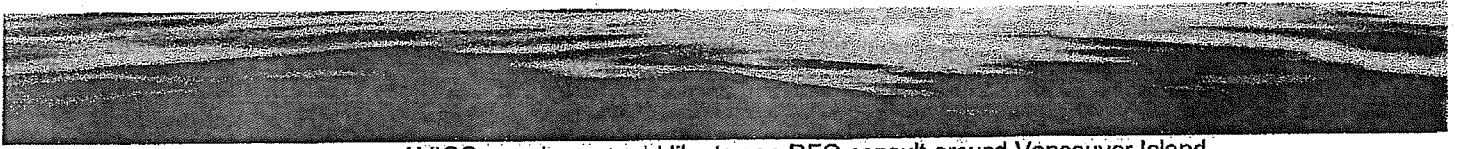
- DFO is urged to consider aquaculture economic impact analysis already completed in Mount Waddington
- AVICC members sought clarity on the scope, application, content and duration of the IMAP, specifically:
 - how the IMAP would address cumulative impacts on nearby ecosystems, how overuse of an area, or production levels beyond an ecosystem's carrying capacity would influence ongoing approval of aquaculture operations;
 - how the IMAP could be adopted by municipalities' economic development strategies;
 - how would IMAP be responsive to regional district decisions on zoning, land use planning, and the enforcement of new by-laws.
- **Action Item:** C.Jackson to follow up the report for Mt.Waddington

- Conditions of Licences
 - Significant discussion took place on the licence application process. In particular:
 - how it has changed from the process that the Province of BC managed;
 - greater clarity was sought around what the new process entailed, what portions of the application were approved by the Province and what portions were approved by DFO;
 - AVICC members also indicated that they would like to provide input into the licence application decision process in the granting of an aquaculture tenure and operation licence. This level of engagement should also be reflected in the IMAP.
 - AVICC also requested clarity on the different roles and responsibilities of the Province and DFO in the harmonized licence application process. There is a potential for conflict on the tenure approval process between the province and the regional districts.
 - Further clarity is also required on the regional district's level of authority with respect to aquaculture operations abiding by existing municipality by-laws.
 - Members also voiced concern that the licence application process should consider the zoning by-laws of a municipality and that the conditions of licence should reflect that need for a proponent to abide by these by-laws.
 - A regional district's environmental assessments on these sites should be considered as well.
 - **Action Item:** S.Herbert encouraged AVICC members to follow up with him to discuss how local governments could provide input into the tenure approval process when assess a proponents' application for an aquaculture site.

- Management Approaches
- Other:
 - Consultation and engagement processes for the development of the IMAP and licence application process should include regional districts, as well as other federal and provincial departments, such as Transport Canada.
 - Lease transfers require local government input, particularly when transfers occur between the provincial and federal government
 - There was discussion on the extent and application of various zoning decisions

- Moving forward
- AVICC would like to continue consulting with DFO and the Province on the issues raised at this meeting. In particular,
 - AVICC would like DFO to attend the UBCM convention in Ucluelet





- AVICC members would like to see DFO consult around Vancouver Island, particular in the Northern area of VI.
- Continue meeting with AVICC
- DFO should invite AVICC reps to provide input into the development of the BCARP program

Action Items:

Rod Vissor to provide agenda and suggested dates for the next meeting
Amber requested feedback on AIUS concern tracking table Draft 2



BC Aquaculture Management Framework

IMAP, Conditions of Licence and Management Framework Strategic Questions for First Nations, Industry, & Stakeholders

Fall Consultations 2011

Please assist us by identifying your affiliation:

First Nations
 Industry
 Stakeholder
 Other: _____

Please provide your contact information (optional):

Name: _____

Phone Number: _____

Mailing Address:

Email Address: _____

The department of Fisheries and Oceans Canada (DFO) plans to initiate the development of Integrated Management of Aquaculture Plans (IMAPs) to assist in structuring the management framework for aquaculture in British Columbia. These will include IMAPs for marine finfish and shellfish in 2012, followed by freshwater. IMAPs are intended to outline the framework and objectives for management related to each type of aquaculture. DFO intends to take a phased approach to development and implementation of the IMAPs, with initial discussions about the governance, structure and content of IMAPs taking place in 2011 and 2012 and the marine finfish and shellfish plans being completed in 2012.

There are many items in the draft IMAPs which will require discussion and consultation among governments, First Nations, industry, and stakeholders. Some may be things that can be completed within the next year, but likely other issues will need to be tackled over a longer period of time.

This document is intended to help facilitate dialogue and to solicit input into the process for developing IMAPs, and to seek input on the proposed outline of the IMAP documents themselves (including backgrounders). Additional opportunities for review and consultation of the draft IMAPs will be provided over the course of the next year.

As a part of the development of IMAPs, DFO's goal is to design advisory processes which will support groups working together toward continuous adaptive management and ongoing improvements in aquaculture management.

Question #1:

- a) *How do you think DFO should bring together the key groups with interests related to aquaculture in order to develop effective advisory processes?*

Question #2:

- a) *How do you see yourself engaging most effectively in advisory processes for aquaculture?*
- b) *How should advisory processes could be structured in the most effective, efficient and cost-efficient manner?*

Question #3:

- a) *How should discussions about IMAP development take place over the next year?*
- b) *Do you prefer the opportunity to read and respond to materials, public meetings, meetings with associations/ councils, or technical discussions?*
- c) *Do you prefer to have DFO discuss these items with your interest group one-on-one or in multi-stakeholder meetings?*

To be consistent with other Integrated Fisheries Management Plans, DFO is considering building the core IMAPs to be ‘evergreen’ documents (to provide information that will stay current for a number of years). The evergreen IMAPs would structure a way to identify management issues and associated objectives/actions and evaluative criteria. These may be focussed on both a coast-wide and smaller area scale.

Question #4:

- a) Do you feel that there are any gaps in the management framework at present that should be addressed through the IMAP (and backgrounders), which are not included in the draft materials?

DFO is committed to implementing an ecosystem approach to management and acknowledges the importance of engaging people and developing plans at a scale smaller than that of the Pacific coast. Within the Pacific Region, DFO anticipates working in cooperation with First Nations, industry, and other stakeholders to develop **Area-Based Operational Plans**. These plans may relate to local issues and would involve engagement at a more local scale. For example, Area-Based Operational Plans could bring together objectives related to an ecosystem approach, adaptive management, and First Nations/ community engagement in siting, management, science/local knowledge and enforcement. Determination of what an appropriate scale would be for these efforts would be a part of work to take place as the IMAP is developed.

Question #5:

- a) How can development of areas play a role in the effective management of aquaculture in B.C.?
- b) What criteria could be used to develop the area management scale?
- c) What scale (how large or small) should areas be?
- d) What management functions are best undertaken at the area scale?

Question#6:

a) Do you have any initial thoughts about the type of Management Issues that should be a priority for discussion under the IMAP framework?

Thank you for your participation.

Please submit your completed response in order for us to include your comments in the Conditions of Licence for next year. We are always interested in your input – any comments on the IMAPs, Conditions of Licence and Management Approaches can be forwarded to us at any time. We will review and consider any information that you

provide to us as a part of the overall planning process. Your response can be submitted by:

e-mail: IMAPS@dfo-mpo.gc.ca

mail: Fisheries and Oceans Canada
c/o Gabrielle Kosmider
1965 Island Diesel Way
Nanaimo, BC V9S 5W8

fax: (250) 949-6755

For more information on **marine finfish** IMAPs please contact Brenda McCorquodale at (250) 949-6434 in Port Hardy. For more information on **shellfish** IMAPs please contact Gabrielle Kosmider at (250) 754-0404 in Nanaimo.



BRITISH COLUMBIA

JAN 24 2012

Ms. Helen Martin
107 - 1188 Esquimalt Road
Victoria BC V9A 3N9

Dear Ms. Martin:

Thank you for your letter regarding policing services in the Township of Esquimalt and surrounding municipalities.

Mr. Clayton Pecknold, Assistant Deputy Minister and Director of Police Services, Policing and Security Programs Branch, has initiated a review of the current policing arrangement between the Township of Esquimalt and the City of Victoria in an attempt to resolve some of the challenges posed by this arrangement. The overall mandate of the review is to identify and analyze the issues and look for and report on mutual solutions and recommendations in the following areas of the policing arrangement: governance issues and structure; decision making with respect to financing; methods for dispute resolution; and challenges affecting the ability of the municipal police board to work effectively.

Jean Greatbatch, Certified Human Resources Professional, is undertaking the review with the clear and full consultation of both the Township of Esquimalt and the City of Victoria and will prepare a final report to be submitted to the Police Services Division by January 30, 2012. No decisions regarding police service delivery will be made until after this report has been thoroughly considered.

My ministry will continue to work with municipalities and police agencies in the region to find efficiencies and provide better service through integration.

Thank you once again for writing and sharing your views.

Sincerely,

Original Signed
by Minister

Shirley Bond
Solicitor General and
Attorney General

pc: ✓ Her Worship Barbara Desjardins

Ministry of
Public Safety
and Solicitor General

Office of the
Minister

Mailing Address:
PO Box 9053 Stn Prov Govt
Victoria BC V8W 9E2

LH

CORPORATION OF THE TOWNSHIP OF ESQUIMALT		
For Information:		
<input type="checkbox"/> CAO	<input type="checkbox"/> Mayor/Council	
<input type="checkbox"/>		
RECEIVED: JAN 30 2012		
Referred: <u>Police Panel agenda</u>		
<input type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input checked="" type="checkbox"/> Council Agenda	<input type="checkbox"/> IC



CANADIAN UNION OF PUBLIC EMPLOYEES
BRITISH COLUMBIA DIVISION

510 - 4940 Canada Way, Burnaby, British Columbia V5G 4T3
www.cupe.bc.ca
Tel: 604-291-9119 Fax: 604-291-9043

January 24, 2012

Mayor & Council
Township of Esquimalt
1229 Esquimalt Road
Victoria BC V9A 3P1

Dear Mayor & Council:

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

For Information:

CAO Mayor/Council

RECEIVED: JAN 30 2012

Referred:

For Action For Response COTW

For Report Council Agenda IC

There is no question that the rebuilding of infrastructure in Canada's municipalities is one of our most pressing issues. For that reason, as the Federation of Canadian Municipalities has said,

All governments - federal, provincial, territorial and municipal - must work together and with the private sector to make immediate infrastructure repairs to protect public health and safety. They must act now to establish a fully funded, long-term plan to build roads, water systems, community facilities and transportation systems Canada needs to support businesses and families, enrich our quality of life and maintain competitiveness in international markets.

The Federal government has said it wants to work with municipalities and provinces to develop a long-term infrastructure plan. The Canadian Union of Public employees believe it is critical that municipalities play a role in designing such a program.

It is also critical that the federal government be discouraged from imposing a unilateral program that forces municipalities to privatize operation of their facilities and which is subject to change at the government's whim. This is exactly the situation municipalities face today.

Two prominent recent examples of this problem happened in Abbotsford and in Calgary. In both of those communities Councils sought funding from the federal PPP (Public Private Partnership) Canada fund for community projects. They sought the funding not because the community supported it or because they were enthusiasts for PPPs or as they are also called, P3s – they sought it because there was no other source of federal infrastructure funding. Funds for other infrastructure programs developed during the recession had been depleted and not replaced. "That money's all spent," Abbotsford Conservative MP Ed Fast told the Abbotsford Times.

Neither Abbotsford nor Calgary will receive federal funding. In Abbotsford the community voted by a 75% margin not to hand their water system over to a private company in a P3. In Calgary the community spent \$3 million on a P3 proposal for recreation centers only to have the federal government change its policies at the last minute to deny funding for such centres. Surely, given these results, this is no way to run an infrastructure program.

Regardless of what people think of P3s, municipalities must be given other options. On September 6th, 2011 the District of Mission, which had been involved in early discussion of a possible Abbotsford water P3, passed the following resolution:

Barry O'Neill, President
Mark Hancock, Secretary-Treasurer

.../2



RESOLVED: That Council write to the federal government requesting that funding be made available for non-P3 water infrastructure projects to the same degree as P3 infrastructure projects, and further that a copy be given to Mission's Member of Parliament and Members of the Legislative Assembly."

We believe this resolution was an important development. We hope other municipalities will consider similar resolutions that go even further by requesting alternatives to P3 funding for all infrastructure projects, not just water projects.

If you are interested, we have attached a possible draft resolution which expands on the Mission resolution.

Another federal initiative that will limit the autonomy of local governments is the proposed Canada European Union Trade Agreement (CETA). The EU is insisting on full access to procurement from local governments. The Province, which has jurisdiction over local governments, has not indicated just what it will be giving up in the trade deal, including local government powers. It is time for BC to share the details of its "offer" to the EU.

Such an action would be one more power seized from local governments without their consent in British Columbia. Some local governments have passed resolutions on CETA relating to water. Again, if you agree we believe it is important to go further and a possible resolution is also attached.

The Community Charter says that local governments are a full order of government within their own jurisdictions. Actions such as only making infrastructure funding available as P3s and the giving up of powers through the signing of CETA will continue to erode these powers.

We hope that you will agree that the role of local governments for our communities is too important to have these powers eroded. We hope you will consider these resolutions.

Yours sincerely,



Barry O'Neill
President
CUPE BC Division

BON/LW
COPE-378

P:/2012/legislative mailings/12-01-23.p3s and ceta.2

Possible resolution on alternatives to Federal funding of infrastructure through Public Private Partnerships

WHEREAS the Federal Government has indicated it wishes to enter into discussions on a new national infrastructure program, and

WHEREAS currently there is no federal infrastructure money available to local governments other than through public private partnerships (P3s), and

WHEREAS local governments should have choices as to the structure of the development of infrastructure projects and not be limited to public private partnerships,

THEREFOR BE IT RESOLVED that council write to the Federal Government requesting that the federal government not limit its infrastructure funding for local governments to public private partnerships and asking that, in all cases for infrastructure projects, that local governments be given a choice of funding arrangements that does not involve a public private partnership; and

BE IT FURTHER RESOLVED that this resolution be sent to the Union of BC Municipalities and the Federation of Canadian Municipalities for consideration at their next convention as policy for those bodies, and

BE IT FURTHER RESOLVED that a copy of this resolution be distributed to local Members of Parliament and Members of the Legislative Assembly.

COPE-378

Possible Resolution on the Proposed Canada European Union Trade Agreement (CETA)

WHEREAS the Canadian government is close to concluding negotiations with the European Union (EU) on a Comprehensive Economic and Trade Agreement (CETA), with participation from the provinces and territories; and

WHEREAS the EU is insisting on full access to procurement by local governments which could significantly reduce the ability of local governments to hire or source locally or use public spending as a tool for economic development, environmental protection and support for local farmers and small businesses; and

WHEREAS government procurement rules combined with investment protections related to transit, water, electricity and other public services delivered locally may lock in privatization and make it prohibitively expensive to apply new regulations, to re-municipalize services, or create new municipal programs; and

WHEREAS local governments in British Columbia already have open and fair procurement policies;

THEREFORE BE IT RESOLVED that Council:

- Request the BC government to issue a clear, permanent exemption for BC local governments from the Canada-EU CETA agreement, and that it otherwise protect the powers of local governments; and
- Request the BC government to disclose what it is putting on the table regarding procurement, services and investment as part of CETA discussions, explain the impacts CETA would have on municipal governance, and give local governments the freedom to decide whether or not they will be bound by the agreement.
- Send this resolution to the Union of BC Municipalities, the Federation of Canadian Municipalities, and to local Members of Parliament and Members of the Legislative Assembly with a request that this policy be adopted.

Kim Maddin

From: avicc@ubcm.ca
Sent: January 30, 2012 10:05 AM
To: Council
Cc: Anja Nurvo
Subject: AVICC Member Update
Attachments: HFBC Communities LG Consultation Invitation Letter.pdf

CORPORATION OF THE TOWNSHIP OF ESQUIMALT
For Information:
 CAO Mayor/Council

RECEIVED: JAN 30 2012
Referred:
 For Action For Response COTW
 For Report Council Agenda IC

Dear ,

Please forward this message to AVICC elected officials and the CAO.

Healthy Families BC Communities Initiative Consultation Last week you should have received the attached invitation to the Healthy Families BC Communities Initiative Consultation through the UBCM distribution service.

I wanted to ensure that your attention was drawn to the timing as the consultation for Vancouver Island Health is coming up very quickly. The two dates identified for this region are:

Monday, February 13 in Courtenay
Thursday, February 22 in Victoria

The consultation for the Vancouver Coastal Health region is set for May 9 in Whistler.

To register to attend, please go to
www.civicinfo.bc.ca/302e.asp?eventID=3005

For registration or other questions, please contact Gail Lucier at
glacier@fraserbasin.bc.ca

New Appointments to the AVICC Executive

My apologies as I have been remiss in communicating with the membership regarding the recent appointments to fill the three vacancies on the Executive created by the November elections. Executive was pleased to welcome Mayor Graham Hill, View Royal; Councillor Barbara Price, Town of Comox; and Chair Colin Palmer, Powell River Regional District at their January 13 regular meeting. Thank you to all who expressed an interest in serving.

Final Reminder February 24 Resolutions & Nominations Deadline
Thank you to those members who have already submitted resolutions and/or nominations. This is a final reminder that the deadline for nominations that are to be included on the Report on Nominations and for resolutions is February 24.

Iris Hesketh-Boles
AVICC Executive Coordinator
Union of BC Municipalities
Local Government House
525 Government St, Victoria, BC V8V 0A8
Tel: 250-356-5122 Fax: 250-356-5119
www.AVICC.ca



January 24, 2012

915185

Dear Local Government Elected Officials and Chief Administrative Officers:

As you may be aware, Premier Christy Clark announced the Healthy Families BC strategy in May 2011. As part of the strategy, the Honourable Michael de Jong, Minister of Health, announced the Healthy Families BC Communities initiative in September 2011, with the intent to foster partnerships between local governments and health authorities to help families and individuals live healthier lifestyles.

Local governments are already leaders and promoters of healthy living in their communities. To build on this momentum, the Province is developing an approach to provide greater support to communities in prioritizing health actions that will reduce the incidence of chronic disease and promote healthy weights.

The development of this initiative involves a comprehensive province-wide consultation process with the Union of BC Municipalities and local government to ensure it meets local community needs in all regions of the Province. These consultations will take place between February and May 2012.

I would like to cordially invite you as members of your municipal councils, regional district boards or as senior staff to participate in a Healthy Families BC Communities consultation session scheduled in your region. Please refer to the enclosed *Healthy Families BC Communities Initiative Consultation Overview and Registration* document for more information about the consultations.

I look forward to your participation in the sessions and to the forthcoming discussions, feedback and partnerships that will emerge to support the health of British Columbians.

Yours sincerely,

Arlene Paton
Assistant Deputy Minister
Population and Public Health

Enclosure

...2

pc: Dr. Paul Van Buynder, Chief Medical Health Officer, Fraser Health Authority
Dr. Andrew Larder, Chief Medical Health Officer, Interior Health Authority
Dr. Ronald Chapman, Chief Medical Health Officer, Northern Health Authority
Dr. Patricia Daly, Chief Medical Health Officer, Vancouver Health Authority
Dr. Richard Stanwick, Chief Medical Health Officer, Vancouver Island Health Authority
Dr. Perry Kendall, Provincial Health Officer, Provincial Health Officer's Office
Lydia Drasic, Acting Executive Director, Population & Public Health,
Provincial Health Services Authority
Grant Hollett, Director, Planning and Community Engagement,
Vancouver Island Health Authority
Doug Quibell, Northwest Area Manager, Public Health Protection,
Northern Health Authority
Jami Brown, Manager, Healthy Living/Healthier Communities, Fraser Health Authority
Lex Baas, Practice Lead, Promotion and Prevention Community,
Interior Health Authority
Claire Gram, Population Health Policy Consultant, Vancouver Health Authority

Healthy Families BC Communities Initiative Consultation Overview and Registration Information

Local governments are already leaders and promoters of healthy living in their communities. Many local governments have the health and well being of their community embedded into the services they offer, establishing bylaws that protect the health of their community and also placing the improvement of quality of life at the core of their strategic plans.

The Healthy Families BC Communities Initiative focuses on increasing support at the local government and health authority level to create environments that support people to make healthy choices the easy choice. Many local governments have made strides in building healthy communities, and through enhanced collaboration with their health authority, they will be able to jointly identify and align health promotion initiatives that will further improve the health of their citizens.

Healthy Families BC Communities Initiative is intended to support communities and local governments in prioritizing health actions in areas such as physical activity, healthy eating, tobacco reduction, healthy built environments, and priority populations/key settings to reduce chronic disease and promote healthy weights.

There will be an online portal to include a 'one-stop' directory for accessing health authority contact information and sharing of best practices/successes throughout different communities. Additionally, tools will be available via an online portal, to assist local governments in the development of community health profiles and community baseline assessments to identify the priority actions.

Local Government Consultations

There is no "one size fits all" approach to creating a healthy community. Each region has different characteristics and each community has a unique history of supporting collective health and well-being. To that end, the Ministry of Health is consulting with local governments and health authorities on the development of the Healthy Families BC Communities Initiative to ensure that it meets local community needs.

The Objectives of the consultations are to:

- Provide participants with an overview of the proposed Healthy Families BC Communities Initiative;
- Receive feedback from local governments on the proposed Healthy Families BC Communities Initiative; and
- Facilitate discussions between local governments and health authorities to identify how they can build on their existing partnership to reduce chronic disease and obesity risk factors.

The issues to be addressed during the consultations are:

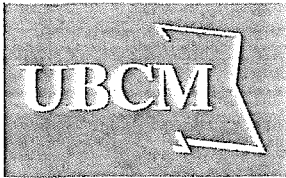
- the impacts of chronic disease in BC communities;
- the benefits of collaborative action;
- the roles and responsibilities of local governments and health authorities in improving the health of their community;
- the role of the Provincial government; and
- options for partnerships, resources and recognition.

Based on the feedback received from the Union of BC Municipalities and Area Associations, we have organized a series of regional consultations with local governments to gather input and feedback on the development and implementation of the Healthy Families BC Communities Initiative. Given that the primary focus of the Initiative is to foster partnerships between local governments and their regional health authority, we encourage you to attend the session that is specific to your Health Authority Region.

The consultation dates and locations are as follows:

Health Authority Region	Consultation Session
Vancouver Island Health	Monday, Feb. 13, 2012 – Courtenay or Thursday, Feb. 22, 2012 – Victoria
Interior Health	Monday, Feb. 20, 2012 – Kamloops or Monday, Feb. 27, 2012 - Kelowna or (in conjunction with the Building Sustainable Communities Conference) or Wednesday, Apr. 18, 2012 – Rossland (pre-conference session at the AKBLG Area Association conference)
Northern Health	Wednesday, May 2, 2012 - 100 Mile House (pre-conference session at the NCLGA Area Association conference)
Fraser Health	Wednesday, May 9, 2012 – Whistler (pre-conference session at the LMLGA Area Association conference)
Vancouver Coastal Health	Wednesday, May 9, 2012 – Whistler (pre-conference session at the LMLGA Area Association conference)

Please confirm your attendance by registering at www.civicinfo.bc.ca/302e.asp?eventId=3005
Further details regarding exact times and locations of the consultation sessions are available at this site. If you have any questions regarding registration, please contact Gail Lucier at glucier@fraserbasin.bc.ca.



MEMBER RELEASE

January 24, 2012

TO: Mayor & Council | Chair & Board | Senior Staff
FROM: UBCM Secretariat
RE: **Healthy Families BC Communities Consultation Sessions**

In May 2011, the Province launched a Healthy Families BC Strategy. This is a \$68 million health promotion program with 4 key areas- Healthy Lifestyles, Healthy Eating, Healthy Start and Healthy Communities. Local governments are included in the 4th area- Healthy Communities.

The Healthy Families BC Communities Initiative is intended to support communities and local governments in prioritizing health actions in areas such as physical activity, healthy eating tobacco reduction, healthy built environments and priority populations/key settings to reduce chronic disease and promote healthy weights.

UBCM has been working with the Ministry of Health to develop a comprehensive consultation plan for the Healthy Families BC Communities Initiative. Consultation sessions are open to local government elected officials and senior staff; and as one of the goals for this initiative is to build relationships between local governments and health authorities, please attend a consultation that is specific to your Health Authority Region. The dates and locations are below:

Health Authority Region	Consultation Sessions
Vancouver Island Health	Courtenay February 13, 2012 Victoria February 22, 2012
Interior Health	Kamloops February 20, 2012 Kelowna February 27, 2012 Rossland April 18, 2012 (AKBLG area association conference)
Northern Health	100 Mile House May 2, 2012 (NCLGA area association conference)
Fraser Health & Vancouver Coastal Health	Whistler May 9, 2012 (LMLGA area association conference)

Please find attached a letter of invitation from the Ministry of Health, along with a consultation overview and registration information.

If you have questions about the Initiative or the consultation sessions, please contact Marylyn Chiang at mchiang@ubcm.ca or 604 270 8226 x110.

www.ubcm.ca



RISE AND REPORT

From: *In Camera* Meeting of January 25, 2012

To: Meeting of Municipal Council – February 6, 2012

Item:

- (a) Director of Development Services Position

At the Special *In Camera* meeting of Council held on January 25, 2012, Council passed the following resolution:

That Council appoints Bill Brown as the Township of Esquimalt's Director of Development Services and Statutory Approving Officer effective February 27, 2012.