



CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Municipal Hall
1229 Esquimalt Road
Esquimalt, B.C. V9A 3P1

Staff Report

File #:20-310

REQUEST FOR DECISION

DATE: June 30, 2020

Report No. DEV-20-041

TO: Laurie Hurst, Chief Administrative Officer

FROM: Karen Hay, Planner and Bill Brown, Director of Development Services

SUBJECT:

Zoning Text Amendment - Beverage Manufacturer Liquor Lounge (Lighthouse Brewing, 836 Devonshire Ave)

RECOMMENDATION:

1. That Council resolves that Zoning Bylaw, 1992, No. 2050, Amendment Bylaw No. 3003 [Appendix A] as attached to Staff Report DEV-20-041, which would amend Zoning Bylaw, 1992, No. 2050, by adding text as detailed in the contents of amending Bylaw No. 3003, be given first and second readings; and
2. That Council waive the Public Hearing pursuant to Local Government Act, Section 464(2) for Zoning Bylaw, 1992, No. 2050, Amendment Bylaw No. 3003 and direct staff to proceed with appropriate public notification and return the bylaw to Council for consideration of third reading and adoption.

RELEVANT POLICY:

Liquor Control and Licensing Act

Local Government Act

Declaration of Climate Emergency

Official Community Plan Bylaw, 2018, No. 2922 [OCP]

Zoning Bylaw, 1992, No. 2050

Parking Bylaw, 1992, No. 2011

Development Application Procedures and Fees Bylaw, No. 2791, 2012

Advisory Planning Commission Bylaw, 2012, No. 2792

Subdivision and Development Control Bylaw, 1997, No. 2175

STRATEGIC RELEVANCE:

This Request for Decision supports the following specific strategic objective:

Boost investment in the local economy and promote the growth and diversity of businesses.

BACKGROUND:

Appendix A: Bylaw No. 3003, Text Amendment Beverage Manufacturer Liquor Lounge

Appendix B: Light Industrial zone text, map, air photo Lighthouse Brewing location

Appendix C: Applicant's Letter and Lounge plans

Appendix D: Applicant's neighbourhood consultation, and supporting emails

Appendix E: Applicant's PowerPoint presentation

Purpose of Application:

The Lighthouse Brewing Company has requested a change to the Light Industrial zone to allow the conversion of their 'Tasting room' to a 'Liquor Lounge' at their existing Brewery. Staff have written an amendment bylaw that could allow a small (60 m²) 'Liquor Lounge', as a permitted use at any Light Industrial location that manufactures beverages.

Evaluation of this application should focus on issues relevant to zoning such as the appropriateness of the proposed uses, parking, how the use relates to adjacent and surrounding sites and whether the proposal is generally appropriate and consistent with the overall direction contained within the Official Community Plan.

Official Community Plan (OCP) Analysis:

As the proposal would continue the manufacturing type of business, with a proposed ancillary liquor lounge, this use would continue to conform to the Industrial designation of the site.

Section 7.2 of the OCP provides policies that support the expansion of business opportunities on lands designated 'Industrial' on the Present Land Use Designations map and 'Business' on the Proposed Land Use Designations map, including:

OBJECTIVE: To encourage the maintenance and viability of the business sector within Esquimalt to provide for local employment and a diversified tax base.

- Policy: Consider innovative proposals that intensify the light industrial uses.
- Policy: Support public and private initiatives that enhance the aesthetics and identity of the Esquimalt Business Park.

Zoning Analysis:

The Lighthouse Brewery has operated at the Devonshire Road location since 1998. The brewery has operated a 'tasting room' since 2017, and a 'picnic area' since 2018. Provincial liquor licensing regulations put strict limits on beverage sizes and amounts that can be served to each patron within these areas [see the applicant's letter]. The new manufacturer liquor lounge would occupy the same space as the Tasting Room, which measures 59 square metres (636 square feet) including the washrooms.

The zoning bylaw has several 'Commercial' zones that allow for 'Licensed Liquor Establishments', and the proposed 'Liquor Lounge' would be very similar to those existing permitted uses; therefore, it

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has been determined that a change in the zoning is warranted to accommodate the proposed liquor lounge use in this 'Light Industrial' zoned location.

Esquimalt has had breweries in the Light Industrial zoned area for many years though that use is not found in the zoning bylaw. Staff assume that the uses "light manufacturing and processing" or "food preparation" were used to allow the first brewery to open for business. For clarity, staff are proposing to add two new uses to the Light Industrial zone; including 1) Beverage Manufacturing, and 2) Beverage Manufacturing with Liquor Lounge. This would accommodate the existing and future breweries; plus possible future distilleries, cideries, pop, kombucha manufacturing, etcetera. The liquor lounge would have a limited floor space (60 square metres) and it would only be permitted with a beverage manufacturing use.

Parking Analysis:

This change of use of the Tasting Room to a Liquor Lounge would not increase parking requirements beyond the requirements for the picnic area and tasting room seating combined, that have been confirmed to comply with Parking Bylaw 1992, No. 2011.

Comments from the Advisory Planning Commission:

This application was considered at the regular meeting of the Advisory Planning Commission [APC] held on June 16, 2020. The APC members supported this application and recommended the following:

"That a 50 square metre Liquor Lounge be a permitted use for every Beverage Manufacturing operation in Esquimalt be forwarded to Council with a recommendation to approve as a liquor lounge in the Light Industrial Zone will support the Township's economic activity and local businesses."

Note: After the APC meeting, it was discovered that the Lighthouse Brewing tasting room is closer to 60 square metres.

Time Line:

March 2, 2020 - Rezoning application received (staff request revisions)
April 30, 2020 - Neighbourhood consultation package mailed
June 16, 2020 - Advisory Planning Commission provides a recommendation

ISSUES:**1. Rationale for Selected Option**

The addition of small manufacturer liquor lounges at brewing operations has become a fairly normal development in other jurisdictions in recent years. The addition of this use has the potential to boost investment in the local economy and promote the growth and diversity of businesses in Esquimalt. The Advisory Planning Commission has endorsed the use of a small manufacturer liquor lounge with any current and future beverage manufacturing facility that may operate in Esquimalt's Light Industrial zone.

As an alternative to adding the manufacturer liquor lounge use to the entire Light Industrial zone the use could be considered for just the 836 (834) Devonshire Road property.

2. Organizational Implications

This Request for Decision has no significant organizational implications.

3. Financial Implications

This Request for Decision has no significant financial implications.

4. Sustainability & Environmental Implications

This Request for Decision has no sustainability & environmental implications. Providing improved services in Esquimalt means residents can spend less time traveling to businesses outside the municipality.

5. Communication & Engagement

Public Notification

As this is a text amendment application to the entire Light Industrial zone, whether it proceeds to a public hearing or Council waives the public hearing, a notice would be placed in two editions of the Victoria News. Since the amendment would apply to more than ten properties, mailing of notices is not required and signage is not required on the property.

Applicant's neighbourhood consultation

In lieu of a neighbourhood meeting, at the direction of the Director of Development Service and with the assistance of staff, on April 30, 2020 a letter was mailed on behalf of the applicant to the owners and residents of properties located within 100 metres of the subject property, providing them with an opportunity to telephone or email the applicant with any comments or concerns; in order to comply with the public consultation procedures of Development Application Procedures and Fees Bylaw, 2012, No. 2791.

The applicant has indicated that they contacted all residents and property owners within 100 metres of the 836 (834) Devonshire Rd. property, providing them with the opportunity to comment by email or phone, in order to comply with the public consultation procedures of Development Application Procedures and Fees Bylaw, 2012, No. 2791 [Appendix D].

ALTERNATIVES:

1. That Council give Bylaw No. 3003 first and second readings and that Council waive the Public Hearing and direct staff to proceed with appropriate public notification, and return the bylaw to Council for consideration of third reading and adoption.
2. That Council give Bylaw No. 3003 first and second readings, and authorize the Corporate Officer to schedule a Public Hearing.
3. That Council proceed with alternative 1 or 2 for the 836 (834) Devonshire Road property only, instead of the entire Light Industrial zone and direct staff to update Bylaw No. 3003.
4. Council postpone consideration of Bylaw No. 3003 pending receipt of additional information.

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

BYLAW NO. 3003

A Bylaw to amend Bylaw No. 2050, cited as the
“Zoning Bylaw, 1992, No. 2050”

THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF
ESQUIMALT, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the “*ZONING BYLAW, 1992, NO. 2050, AMENDMENT BYLAW NO. 3003*”.
2. That Bylaw No. 2050, cited as the “Zoning Bylaw, 1992, No. 2050” be amended as follows:

- (1) at **PART 1 – INTERPRETATION Section 2. DEFINITIONS** by adding the following definitions:

“**Beverage Manufacturer**” means the use of land or a building or structure for the production of any liquid that is a ready-to-serve drink including the brewing, fermentation, and/or distilling of alcohol for human consumption.

“**Beverage Manufacturer with Liquor Lounge**” means a Beverage Manufacturer where part of a building thereof including decks, patios and balconies is used as a licensed manufacturer lounge subject to the *Liquor Control and Licensing Act*, as amended.

- (2) at **PART 5 – ZONING DISTRICTS Section 53. LIGHT INDUSTRIAL [I-1]: (1) Permitted Uses** by adding the following text in alphabetical order:

- “Beverage Manufacturer”
- “Beverage Manufacturer with Liquor Lounge”

- (3) at **PART 5 – ZONING DISTRICTS Section 53. LIGHT INDUSTRIAL [I-1]:** by adding the following text:

- (3) **Floor Area: Liquor Lounge**

The floor area of a liquor lounge shall not exceed 60 square metres including washrooms, and food and drink service preparation areas.

and renumbering the remainder of Section 53, accordingly.

READ a first time by the Municipal Council on the ___ day of _____, 2020.

READ a second time by the Municipal Council on the ___ day of _____, 2020.

Public Hearing was waived pursuant to Sections 464, 467 and 468 of the Local Government Act on the _____day of _____, 2020.

READ a third time by the Municipal Council on the ___ day of _____, 2020.

ADOPTED by the Municipal Council on the ___ day of _____, 2020.

BARBARA DESJARDINS
MAYOR

RACHEL DUMAS
CORPORATE OFFICER

DIVISION 3 - INDUSTRIAL ZONES

53. LIGHT INDUSTRIAL [I-1]

The intent of this Zone is to accommodate light industrial establishments and related Uses.

(1) **Permitted Uses** [*Amendment, 2018, Bylaw No. 2938*]

The following Uses and no others are permitted:

- (a) Accessory residential subject to Section 26
- (b) Arts and film studio and production
- (c) Arts and Wellness Teaching Centre
- (d) Auction
- (e) Automobile, recreational vehicle and trailer repair, servicing and body shop
- (f) Automobile, recreational vehicle and trailer sales
- (g) Building supply store or lumber yard
- (h) Business or professional office
- (i) Car wash
- (j) Catering Service
- (k) Charitable Organization Office
- (l) Club House
- (m) Cold storage plant
- (n) Commercial instruction and education
- (o) Commercial laundry or drycleaning plant
- (p) Commercial parking
- (q) Fitness centre
- (r) Food preparation
- (s) Laboratory and clinic
- (t) Light manufacturing and processing, including accessory retail
- (u) Personal Service Establishment, excluding Body Painting Establishment, Body Rub Parlour, Dating Service and Escort Service
- (v) Printing and publishing
- (w) Repair shop provided that all work takes place within the Principal Building
- (x) Research establishment
- (y) Restaurant or coffee shop
- (z) Trade contractor establishment
- (aa) Transportation and trucking
- (bb) Veterinary Clinic
- (cc) Warehouse Sales
- (dd) Warehousing and storage
- (ee) Wholesaling and Wholesale Distribution, including Accessory Retail

(2) **Conditions of Uses**

Notwithstanding Section 53(1), a Use which is an offensive trade within the meaning of the *Public Health Act* or *Waste Management Act* and amendments thereto, or which is noxious or offensive because of odour, dust, smoke, gas, noise, vibration, heat, glare, electrical interference, or is a nuisance beyond the limits of the Parcel on which the Use is located, shall not be permitted.

(3) **Floor Area: Accessory Retail**

The Floor Area of an accessory retail Use shall not exceed 30% of the Floor Area of the Principal Use.

(4) **Building Height**

No Building shall exceed a Height of 10 metres.

(5) **Siting Requirements**

(a) No Building shall be located within 7.5 metres of a Lot Line that is shared with a Parcel Zoned for a residential Use.

(b) Front Setback: No Building shall be located within 7.5 metres of the Front Lot Line.

(c) Side Setback: No Building shall be located within 4.5 metres of an Exterior Side Lot Line.

(6) **Screening and Landscaping**

(a) Screening and Landscaping shall be provided in accordance with Section 23.

(b) Landscaping shall occupy not less than 5% of the land area of the Parcel and shall be a minimum of 3 metres in depth provided along the Front Lot Line or in the case of a corner Lot, along the Front Lot Line and the Exterior Side Lot Line.

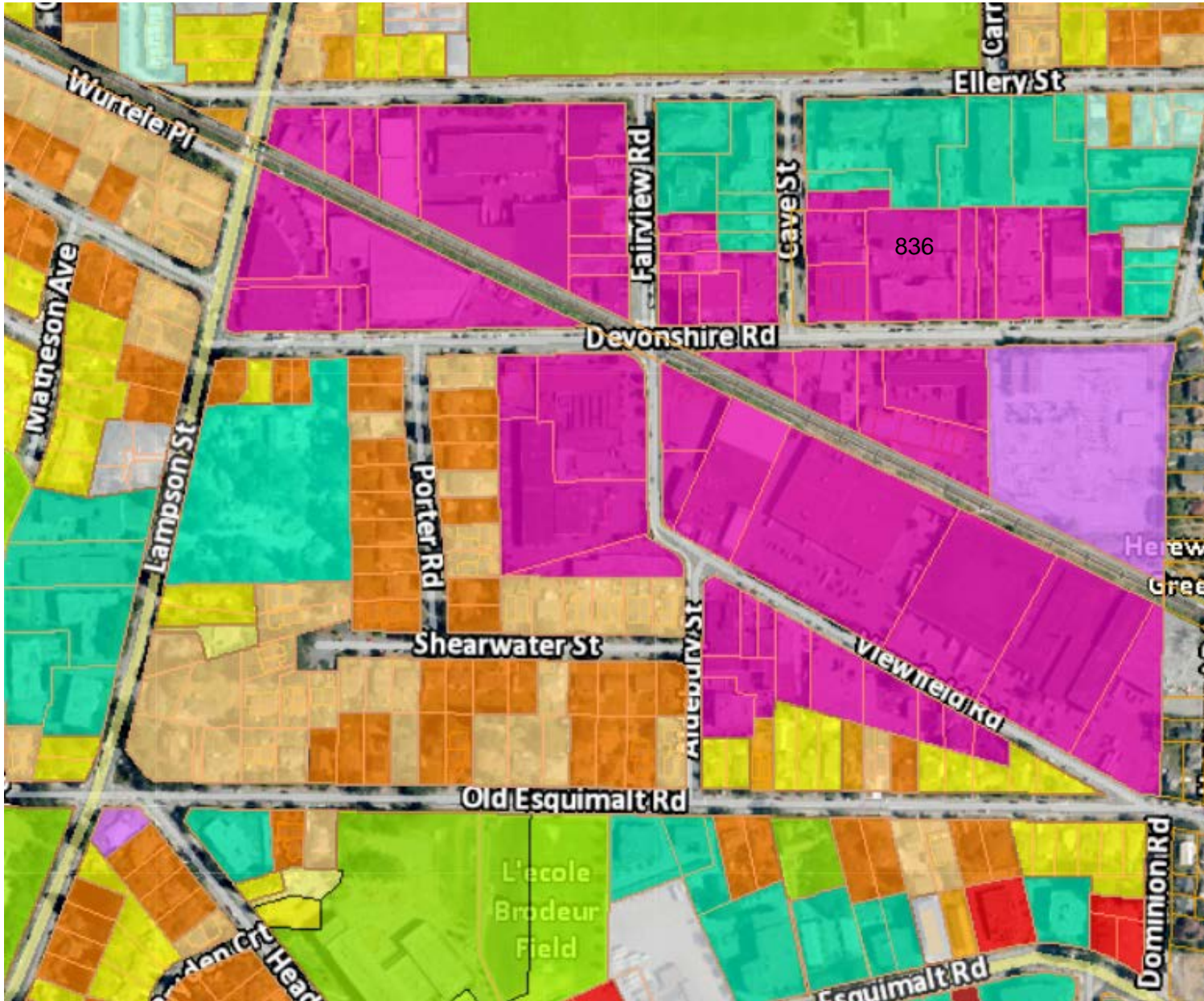
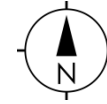
(7) **Off Street Parking**

Off street parking shall be provided in accordance with the requirements as specified in Parking Bylaw, 1992, No. 2011 (as amended).

(8) **Commercial Parking Use**

A commercial parking Use shall comply with the standards in Parking Bylaw, 1992, No. 2011 (as amended) in relation to design, siting, layout and surfacing of the parking facility.

Light Industrial zone and 836 (834) Devonshire Road



 Light Industrial



790

786

782

870

Cave St

795

791

783

852

834

830

828

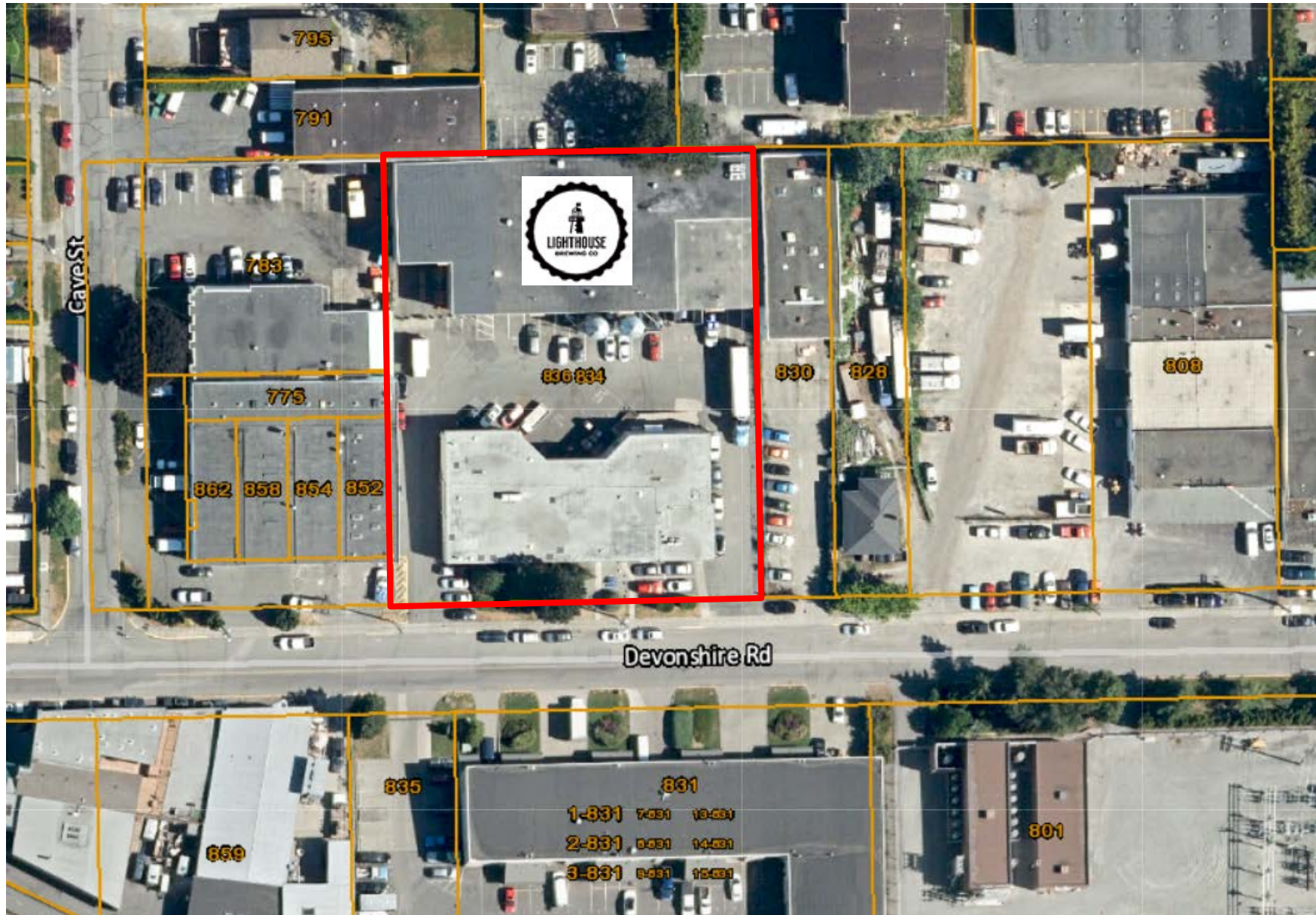
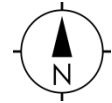
Devonshire Rd

859

831

Subject Property Map:
834 Devonshire Road

836 (834) Devonshire Road - air photo



#2 – 836 Devonshire Road
Victoria, B.C. V9A 4T4
Email: info@lighthousebrewing.com

Telephone: (250) 383-6500
Fax: (250) 383-0005
Toll Free: 1-866-862-7500



To whom it may concern;

Lighthouse Brewing Company has been Esquimalt's local craft brewery since 1998. We opened our Tasting Room in 2018 to provide customers the opportunity to purchase growlers, tasting flights, packaged beer, snacks and various branded retail items in a welcoming environment. We are seeking a Lounge Endorsement License to allow us to expand our scope of service for craft beer lovers from Esquimalt and beyond.

Our current Tasting Room Endorsement allows us to:

- Provide one 12oz flight of beer to customers, per day. The flight is limited to 12oz and must be provided in either of the following formats:
 - 3 x 4 oz pours
 - 4 x 3 oz pours

We are pursuing a Lounge License/Endorsement from the BC Liquor and Cannabis Regulation Branch which will allow us to:

- Provide more than one tasting flight of beer per day to customers.
- Provide full servings of beer – glasses ranging from 12-20oz, dependant upon Liquor Control Board approval.

Many other BC Craft Breweries are offering their patrons the option of multiple tasting flights and/or glasses of beer. This is the standard to which craft beer consumers have become accustomed to, and we would like to offer this service to our customers.

As per the requirements related to the application for the Lounge Endorsement License:

- **Food service:** We have a variety of snacks and non-alcoholic beverages available during all hours of operation.
- **Entertainment:** The tasting lounge would primarily have curated music, live television and board games.
- **Composition of the neighbourhood:** Our building is set approximately 100ft from Devonshire Rd, in a primarily industrial area. Approximately one block away from the brewery are the closest residential dwellings.
- **Noise & Disturbance:** The Lounge Endorsement is an indoor endorsement for the existing Tasting Room. There should be no change from current noise levels that would be disruptive to our neighbours. As a result of being in a primarily industrial area, most of our direct neighbours operate at standard business hours Monday through Friday. As our busiest hours are after 4pm during the week and on Saturdays, there is no anticipated increase in the potential for noise or other disturbances.

- **Disturbance Measures:** As previously mentioned, there should be no significant risk of noise or other disturbances to our neighbours. All of our Tasting Room staff are certified in Serving it Right in order to comply with all provincial laws and regulations related to liquor service. Our total capacity for our Tasting Room is 30 people and the capacity of the adjacent picnic area is also 30 people. With a total capacity of a maximum 60 people we do not believe that this presents a significant disturbance risk. We have been operating for 18 months with those capacity numbers and have never received a complaint.
- **Other Applicable Information:** We have recently installed bike racks to hold a maximum capacity of 18 bicycles and have 15 parking spots in our parking lot, in addition to street parking.

What makes Lighthouse Brewing Company's Tasting Lounge different from other liquor primary establishments is the fact that it would be the focal point for the brewery to showcase a wide range of our beers to our customers, from year-round staple beers to one off batches only available in the Tasting Room.

Craft beer in BC, especially in Victoria, continues to be a source of community pride and engagement. The presence of an onsite lounge at craft breweries throughout BC has become the norm. Victoria has historically been home to production focused breweries, which have lacked the onsite experience found in other breweries, especially on the mainland. We want to be able to offer the same experience level that craft beer enthusiasts have come to expect when visiting other craft breweries. Our tasting room will only feature our beers with 9 taps to choose from along with non-alcoholic beverages provided by Victoria Soda Works. Our tasting room is designed to feature our products which means we will not be serving any cider, wine or spirits. We will not have any kitchen service and only provide concession style snacks such as; pepperoni sticks/jerky, salty snacks and baked goods.

Proposed hours of operation (to be confirmed in accordance with the LCRB):

Fall/Winter

Tuesday - Saturday
12 - 6pm

Spring/Summer

Tuesday - Saturday (potential for Sunday reduced hours)
12-9pm TBC

Let us know if you require any more information.

Sincerely,



Ben Thomas
General Manager
Lighthouse Brewing Company

LIGHTHOUSE BREWING - TENANT IMPROVEMENT

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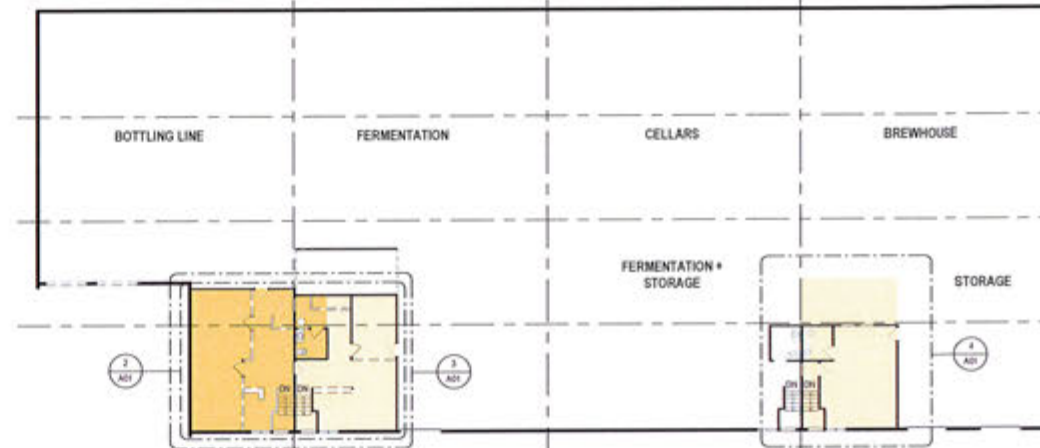
ISSUED FOR BUILDING PERMIT - 2018.03.21



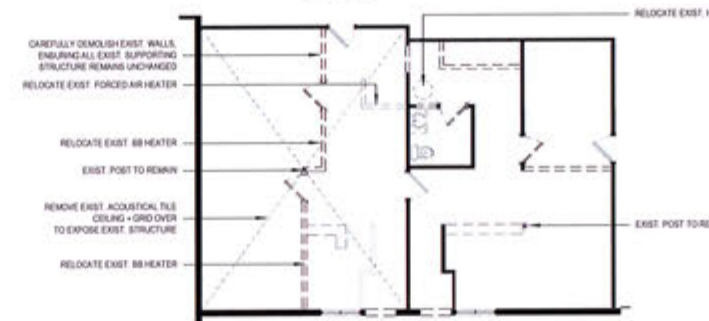
LOCATION PLAN

BUILDING INFORMATION:

- 1.0 APPLICABLE BUILDING CODE: BRITISH COLUMBIA BUILDING CODE 2012
- 2.0 PROJECT BUILDING CHARACTERISTICS
 - 2.1 LEGAL DESCRIPTION: LOT 1 PLAN VP27158 PID: 00047341
 - 2.2 CIVIC ADDRESS: 836 DEVONSHIRE ROAD
 - 2.3 APPLICABLE BUILDING CODE PART: 3
 - 2.4 NUMBER OF BUILDINGS: 1
 - 2.5 BUILDING AREA = EXISTING - APPROXIMATELY 1488sq'
 - 2.6 BUILDING HEIGHT: 1 STOREY (EXISTING)
 - 2.7 FIRE SPRINKLERED: NO
 - 2.8 COMBUSTIBLE CONSTRUCTION
 - 2.9 MAJOR OCCUPANCY: EXIST. - GROUP F3 (BREWERY) INCL. OFFICE SPACE + 10% SUBSIDIARY OCCUPANCY NEW - GROUP A, DIVISION 2, LOW OCCUPANT LOAD + GROUP D (TASTING ROOM) (PER BCAB #1793 - DETERMINATION OF SUBSIDIARY OR MAJOR OCCUPANCY: BREWERY LOUNGE AND SALES AREA NOT A SEPARATE MAJOR OCCUPANCY)
- 3.0 BUILDING CODE ANALYSIS
 - 3.1 NUMBER OF STREETS FACING = 1
 - 3.2 OCCUPANCY CLASSIFICATION 3.2.2.74 GROUP F, DIVISION 2, UP TO 3 STOREYS, COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION, BUILDING AREA NOT MORE THAN 1,500sq'
 - 3.3 EXIT QUANTITY AND LOCATION (3.4.2.1.2) 1 EXIT < 80 PERSONS OCCUPANT LOAD PER 3.1.2.6 PER TABLE 3.4.2.1.A. MAX. FLOOR AREA = 200sq', MAX. TRAVEL DISTANCE = 15m (ACTUAL = 11.3m)
- 4.0 OCCUPANT LOAD CALCULATION + WASHROOM COUNT (TASTING ROOM)
 - 4.1 OCCUPANT LOAD 3.1.17.1.2) IF A FLOOR AREA OR PART THEREOF HAS BEEN DESIGNED FOR AN OCCUPANT LOAD OTHER THAN THAT DETERMINED FROM TABLE 3.1.17.1, A PERMANENT SIGN INDICATING THAT OCCUPANT LOAD SHALL BE POSTED IN A CONSPICUOUS LOCATION. GROUP A, DIV 2, LOW OCCUPANT LOAD = MAX. OCCUPANCY = 30
 - 4.2 WATER CLOSETS 3.7.2.2 TABLE 3.7.2.2.B WATER CLOSETS FOR A BUSINESS AND PERSONAL SERVICES OCCUPANCY NUMBER OF PERSONS OF EACH SEX: 1 - 25 MINIMUM NUMBER OF WATER CLOSETS FOR EACH SEX: 1 WATER CLOSETS PROVIDED = 2
- 5.0 ZONING REQUIREMENTS
 - 5.1 ZONING: LIGHT INDUSTRIAL (L-1)
 - 5.2 PERMITTED USE: LIGHT MANUFACTURING AND PROCESSING, INCL. ACCESSORY RETAIL.



1 OVERALL PLAN 1: 200



2 DEMOLITION PLAN 1: 100



GENERAL NOTES

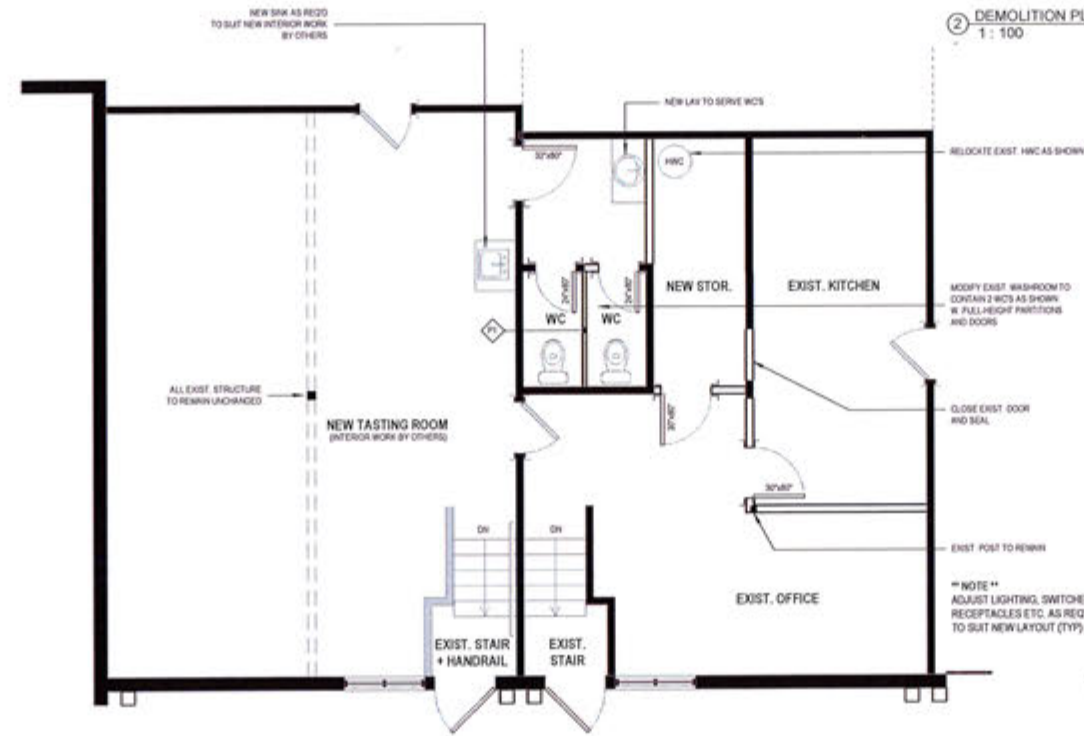
1. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION FOLLOWS THESE DOCUMENTS. ALL REVISIONS SHALL BE APPROVED IN ENTIRETY BY THE ARCHITECT.
2. ALL WORK SHALL COMPLY WITH ALL MUNICIPAL CODES AND BY-LAWS AND SHALL BE IN ACCORDANCE WITH B.C. BUILDING CODE 2012.
3. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER BEFORE COMMENCEMENT OF WORK.
4. THESE DRAWINGS, INCLUDING DIMENSIONS, SHALL BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AND OBTAIN CLARIFICATION PRIOR TO COMMENCING CONSTRUCTION.
5. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION AND COMPLIANCE WITH LOCAL REGULATIONS REGARDING SAFETY SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED. IMPERIAL UNITS MAY BE PROVIDED IN BRACKETS FOR REFERENCE BUT THE METRIC UNITS SHOULD BE PRIVILEGED FIRST. THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE CONSTRUCTION AND REPORT DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
7. CONTRACTOR TO ENSURE THAT ALL WORK IS CARRIED OUT ACCORDING TO THE RULES AND CUSTOMS OF BEST TRADE PRACTICES AND THEIR SPECIFICATIONS, BY SKILLED TRADESPEOPLE KNOWLEDGEABLE OF THE TYPE OF CONSTRUCTION.
8. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, SLEEVES, EMBEDDED ITEMS AND OTHER BUILDING OR SITE COMPONENTS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS. REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
9. A MINIMUM OF 24 HRS. NOTIFICATION IS REQUIRED FOR REVIEW AND INSPECTIONS.

LEGEND

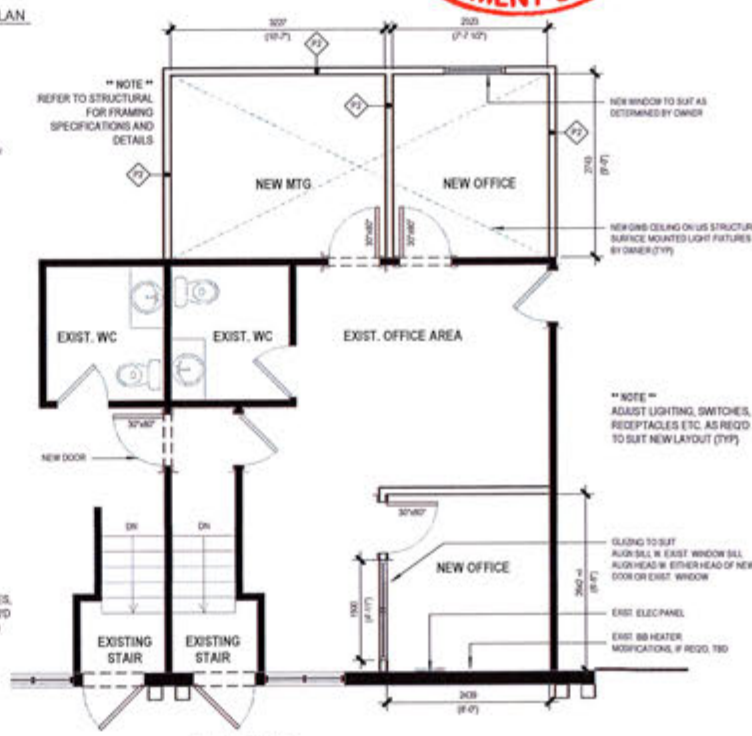
- NEW WALLS (TYP. UNQ) 12mm GIB 13mm GIB 38x89mm WOOD STUDS @ 400mm OC 12mm GIB FINISHED AND PTD
- EXISTING TO BE DEMOLISHED RELOCATE OR MAKE SAFE EXIST. SERVICES TO SUIT MAKE GOOD EXIST. ADJ. SURFACES AS REQ'D ** EXIST. SUPPORTING STRUCTURE TO REMAIN UNCHANGED **
- NEW DOOR TO SUIT
- EXISTING DOOR TO REMAIN
- NEW TASTING ROOM (SUBSIDIARY OCCUPANCY) GROUP A DIV 2, LOW OCCUPANT LOAD + GROUP D
- MINOR INTERIOR RENOVATIONS TO EXIST. OFFICE AREAS

PARTITION SCHEDULE

- WC COMPARTMENT 12mm GIB FINISHED AND PTD 40 38x89mm STUDS @ 400mm OC 12mm GIB FINISHED AND PTD
- NEW OFFICE AND NEW MTG. REFER TO STRUCTURAL FOR FRAMING SPECIFICATIONS AND DETAILS



3 DETAIL PLAN 1 1: 50



4 DETAIL PLAN 2 1: 50



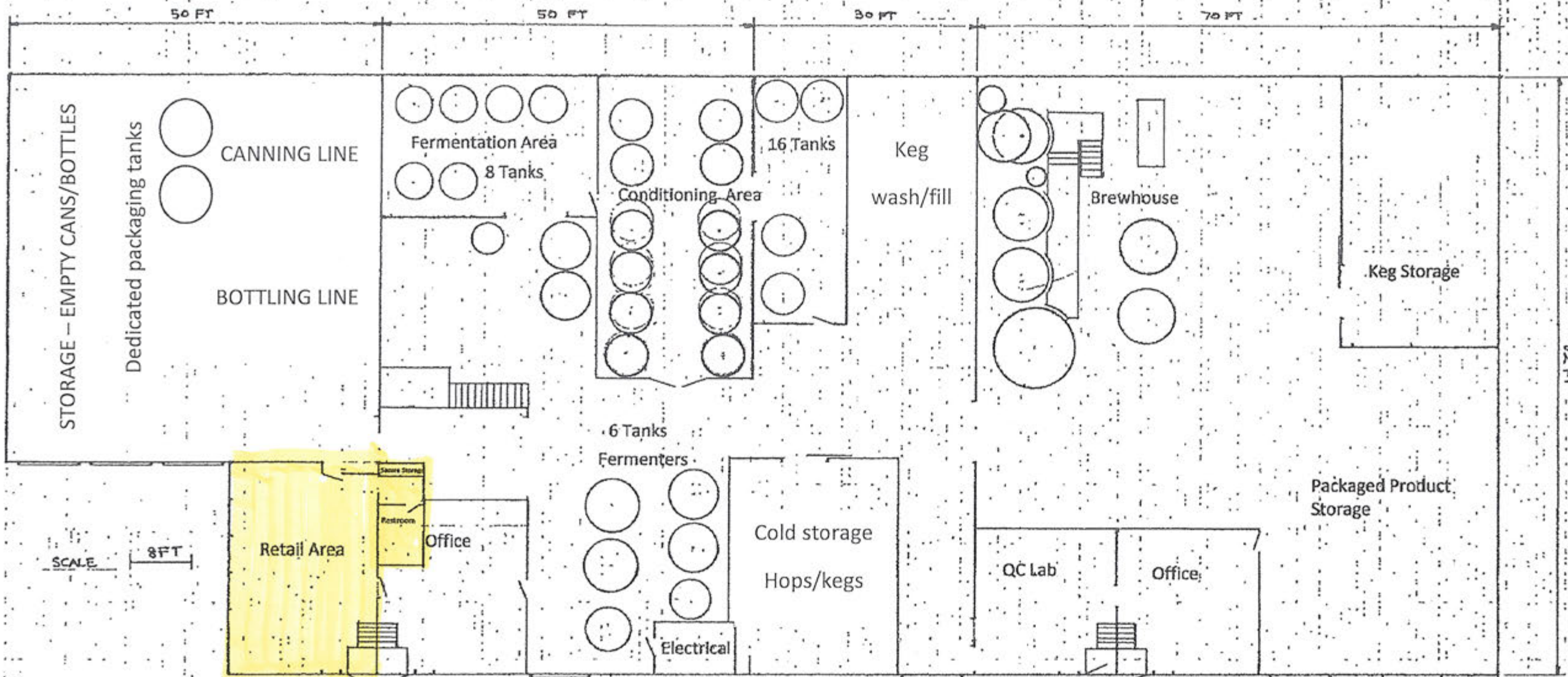
PROJECT TITLE

LIGHTHOUSE BREWING TENANT IMPROVEMENT

836 DEVONSHIRE ROAD

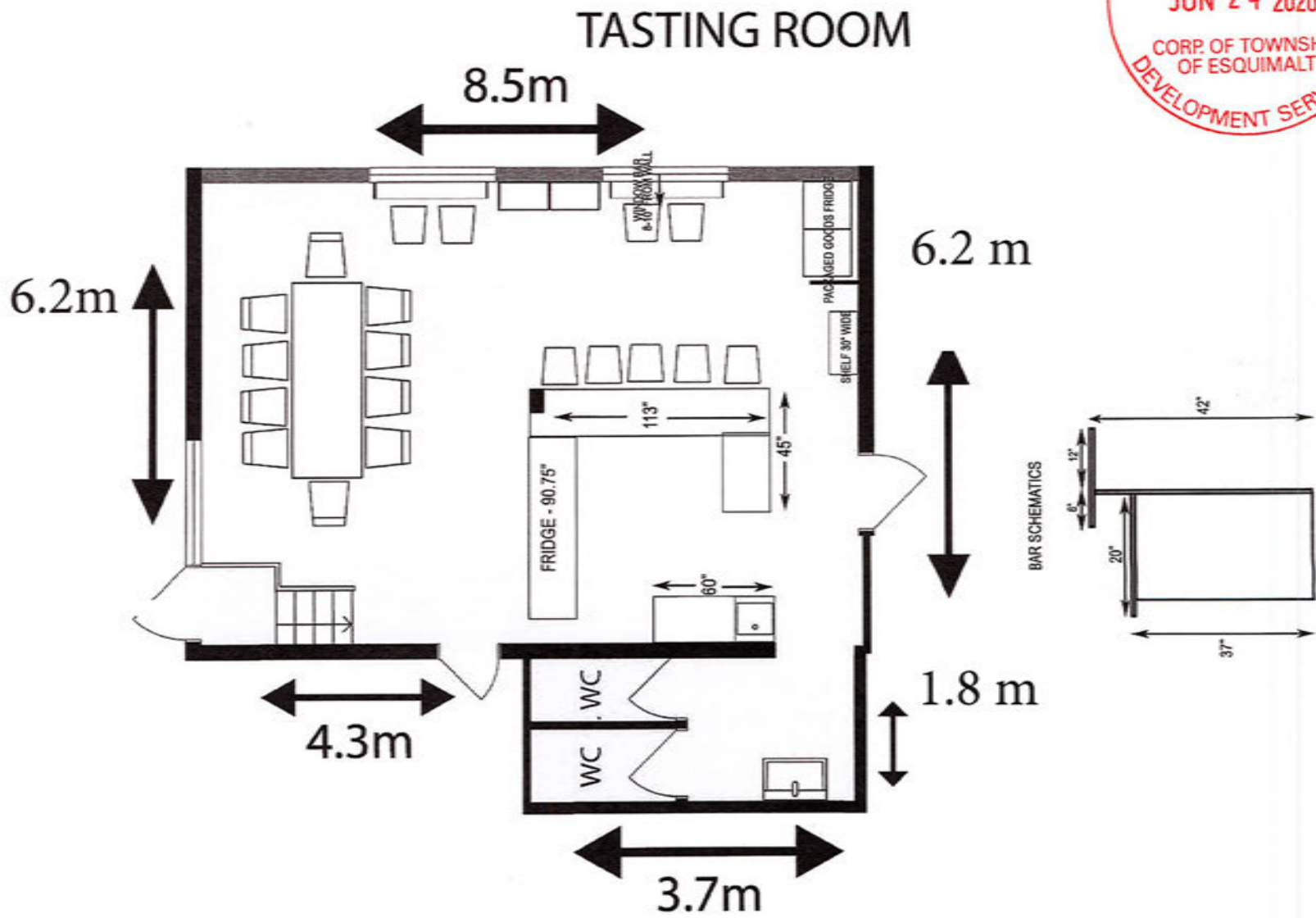
SHEET TITLE
COVER + BLDG INFO + PLANS

DATE	2018.03.28	SHEET NO.	A01
PROJECT NO.	17-025		
SCALE	As Indicated		
DRAWN BY	HS		



SCALE 8 FT

Received at LCLB 2017-10-25



Plan 13275

Plan 28844

Plan 27520

LIGHTHOUSE BREWING COMPANY

836 Devonshire Road

RECEIVED

MAR 02 2020

ORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Loading Bay Elev. 8.14

TASTING ROOM

Base Of Stairs Elev. 7.06

Building
Top Of Flat Roof: 15.01

Loading Bay Elev. 8.15

Loading Bay Elev. 8.16

A
Plan 7588



B
Plan 1232

Strata Plan
MS464

Bauco Access
Panel Solutions Inc



Greetings Neighbor,

Hello from Lighthouse Brewing Company, your local Esquimalt Craft Brewery!

We are very excited to announce that we are currently in the process of pursuing a Lounge Endorsement for our onsite Brewery Tasting Room so that we can serve our customers full size glasses of beer. In order to do so we need to request a change to the zoning of our building.

What does this mean?

Currently, we can serve 12oz of beer per customer, per day. These 12oz must be broken down into 4oz tasting glasses – no actual full glasses of beer are permitted under the default Tasting Room Endorsement. We are applying to change our current license to a Lounge Endorsement which would mean we would be able to offer more than one tasting flight per person and serve full glasses of beer. This is a standard offering available at the majority of Craft Breweries throughout BC and something that our customers ask us about every day. We want to provide everyone that visits us with a top notch experience and bring our offerings up to the standard that Craft Beer fans in BC expect.

How will this impact you?

The largest impact of getting a Lounge Endorsement will be the ability to serve our patrons full glasses of beer along with tasting flights. As we will be serving concession style snacks, we will not be allowed to have any animals inside the tasting room. Our picnic area will still be in place, however only tasting flights and glasses will be allowed in the designated picnic area. Hours, capacity, and noise levels are not anticipated to change.

During this time we are unable to host an open house so feel free to call us at 250-383-6500 ex 2 or email at tastingroom@lighthousebrewing.com. We welcome you to contact us to talk about our plans and pose any questions or concerns you may have.

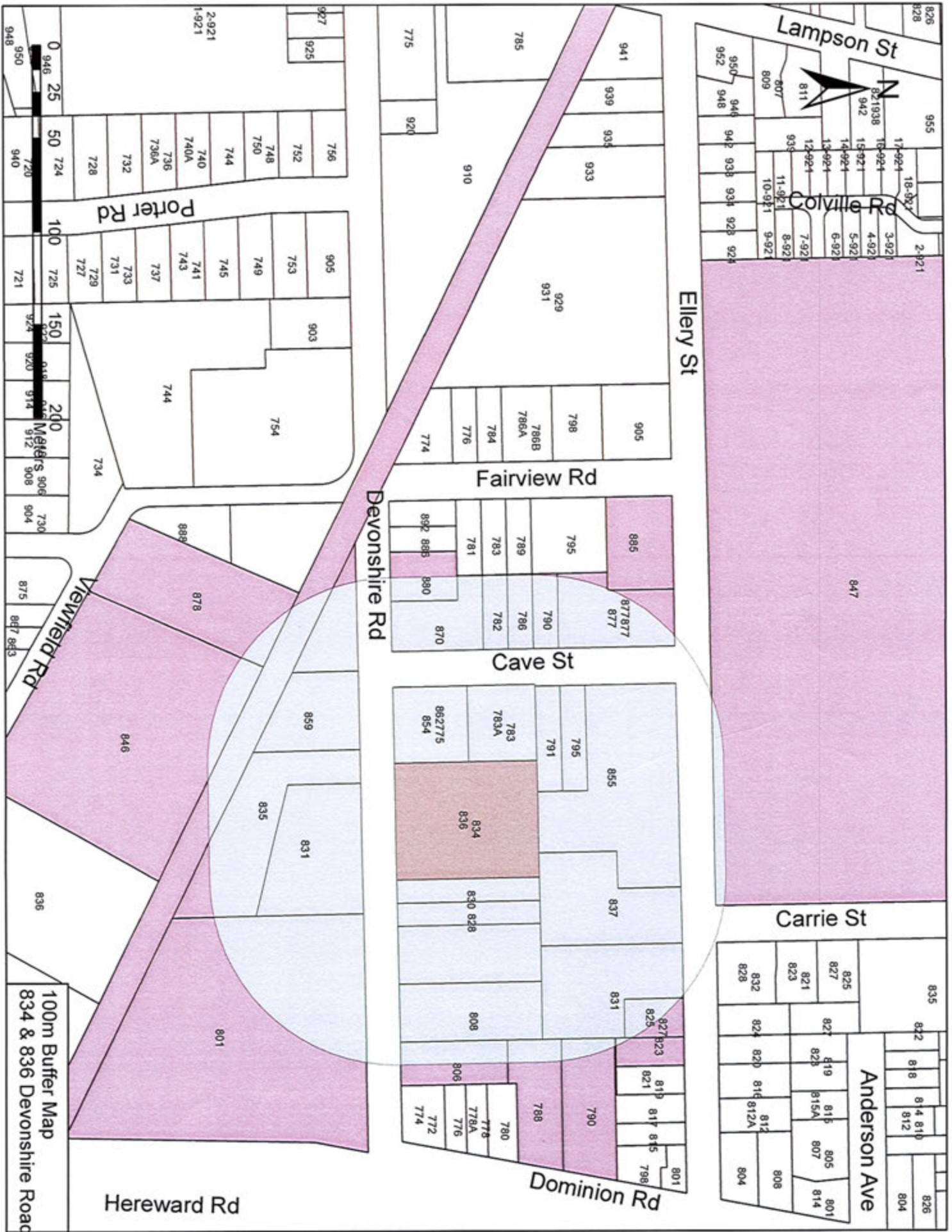
What: Community feedback gathering and Q & A

Where: Lighthouse Brewing Company Tasting Room, 836 Devonshire Rd, Esquimalt

When: Anytime between 12-6pm, Tuesday-Saturday. End date for feedback is Saturday, May 30, 2020.

Sincerely,

Lighthouse Brewing Company



Lampson St



Colville Rd

Ellery St

Fairview Rd

Devonshire Rd

Cave St

Carrie St

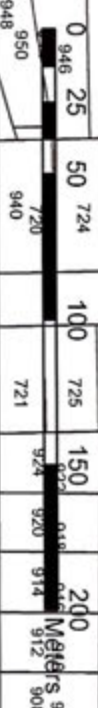
Dominion Rd

Hereward Rd

Anderson Ave

Viewfield Rd

100m Buffer Map
834 & 836 Devonshire Road



#2 – 836 Devonshire Road
Victoria, B.C. V9A 4T4
Email: info@lighthousebrewing.com



Telephone: (250) 383-6500
Fax: (250) 383-0005
Toll Free: 1-866-862-7500

Greetings Township of Esquimalt,

Here are our results for our community consultation from May 1st to May 31st.

Although we did not get much feedback from the community, overall, the feedback we did receive was quite positive. The only concern that was brought up was from our direct neighbour at Bauco Access Panel Solutions. I have attached Bauco's PDF file response they sent us, please read the PDF file first and then Ben's response is listed below.

We look forward to presenting to the city council members on June 16th. Find all our community feedback below.

Kind Regards,

Ben Thomas & Anthony Mazzei
Lighthouse Brewing Company

Neighborhood Response

We live directly behind you and yet we have never been into your tasting room

I understand that you are looking to adjust the size of the tasting container. Hazel and I have no problem with raising it to a single 12 oz glass. It seems rather normal to us.

Regards

Ron and Hazel
837 Ellery Street
Esquimalt

Neighborhood Response

Hey there neighbour

As residents of 831 Ellery, we would love to see you guys have a tasting room!

It's always great to have on tap beer straight from the source and extra nice when that's only a 5-minute walk away!

Hope you are successful in your endeavor and that we can sit down and have a beer someday soon.

Cheers
Alyse

Ben Thomas Response to Bauco

Hi Walter,

Hope all is well. Thanks for taking the time to give us your feedback. This is definitely an exciting prospect for us. We are hopeful that getting into the 21st century and allowing our customers to drink an entire glass of beer (not just a 4oz sample) will provide an enjoyable experience for them and make us more successful.

We certainly do not want to inconvenience you, your staff, your vendors, or any aspect of your business. Excellent point about the industrial nature of the shared lot with forklifts and deliveries happening throughout the day. We will factor messaging and educating customers about appropriate behaviour into our plans.

Please let me know if you have any other thoughts or if there are ever any issues.

Thanks!
Ben

VIA EMAIL

May 12, 2020

Lighthouse Brewing Company
836 Devonshire Road
Esquimalt BC
V9A 4T4

Re: Pursuing Lounge Endorsement at 836 Devonshire Road

Dear Neighbours,

Thank you for your letter (undated) inviting comment from your neighbours.

It must be exciting for you to expand your permitting and you will be busy adapting your operations to safely accommodate the resulting business.

You asked the question on how this will impact us. We take this opportunity to re-state that our concerns about sharing the property/neighbourhood with Lighthouse. These concerns have always been, and continue to be related to BAUCO being able to carry out our business without any major interference to and from your business and/or your customers. We expect Lighthouse Brewing Co, your staff, and your customers to be thoughtful and to minimize any potential impact on our business. That includes not parking in our staff and customer parking stalls, in our loading docks, or in those yard areas which both businesses use for access with trucks, forklifts, and other vehicles. In particular, we do not want to inconvenience our vendors/freight service providers who often are on tight schedules when visiting our loading dock. It is necessary to have these spaces clear for use seven days a week at all hours as our production shift and delivery schedules are subject to change.

Further, we would like to state that we consider the common yard an industrial area in which we operate equipment to load and unload freight. Therefore, we see it as Lighthouse Brewing Co.'s responsibility to educate its customers as to the appropriate behaviour on this property.

We wish you success.

Sincerely yours,


Walter Riemann
President


Michael Arthurs
COO

From: [Bill Brown](#)
To: [Karen Hay](#)
Subject: FW: Support for Lighthouse brewery lounge
Date: June-12-20 4:26:04 PM
Attachments: [image001.png](#)

FYI

Bill Brown, MCIP

Director of Development Services

Tel: 1-250-414-7146

For the latest on the Township's response to COVID-19, please visit esquimalt.ca/covid19

From: Ryan Jabs [mailto:ryanjabs@lapishomes.com]
Sent: June-12-20 12:28 PM
To: Mayor and Council
Cc: Bill Brown
Subject: Support for Lighthouse brewery lounge

Dear Mayor Desjardins and Esquimalt council:

I understand that the Lighthouse Brewing Company has made an application to convert their tasting room into a lounge in Esquimalt's industrial area, and their application is on Tuesday Advisory Planning Commission's agenda. I am very much in favour of this application, as I believe it will bring more life to Esquimalt's industrial area.

I spoke with the Lighthouse folks, and I understand that the liquor board licensing application will take another six months once, and if, Esquimalt approves the application. And while I'm not sure if an application like this can be "fast tracked," I would ask that you consider asking staff to prioritize the application in an effort to support businesses that operate in the Township who are looking for creative ways to expand their business during this pandemic (And I ask this knowing that your planning staff are extremely busy and prioritizing this project may mean a small delay with my project on Craigflower).

On the specific application, Esquimalt's industrial area is uniquely positioned as it is surrounded by residential neighbourhoods, with many residents who would like to see services within walking distance of where they live. Lighthouse Brewery is one of the few destinations in the industrial area that provides a service that can really attract residents, particularly younger people who are planning to start a family (anecdotally, I've had a few friends of the family-starting age who moved into the surrounding neighbourhood in the last two years, and who specifically mentioned Lighthouse as one of the reasons why they liked the area. You may have recently heard from a couple of them who are supportive.).

Creating a lounge will mean that more people will frequent the area, bringing more eyes into the community, and making it safer. Lighthouse Brewery could become even more of a beacon (apologies) for the neighbourhood, making the area more attractive for other service-oriented industrial businesses (a brewery district, perhaps? Consider the industrial walking tour!), and it'll give

another reason for residents to “play” close to home and spend their money in the Township.

Sincerely,

Ryan

Ryan Jabs | President, Community Builder
Lapis Homes | 250-413-7121 | www.lapishomes.com
Ryanjabs@lapishomes.com



Kim Maddin

From: Laurie Hurst
Sent: June-11-20 11:04 AM
To: Kim Maddin
Subject: FW: Letter of support - Lighthouse Brewing - Tenant Improvement

For mail log, thanks.

Laurie Hurst, CPA, CGA
Chief Administrative Officer
Tel: 1-250-414-7133

For the latest on the Township's response to COVID-19, please visit
esquimalt.ca/covid19

From: Barb Desjardins
Sent: June-11-20 11:01 AM
To: Laurie Hurst
Subject: Fwd: Letter of support - Lighthouse Brewing - Tenant Improvement

Public input

Sent from my iPhone

Barbara Desjardins

Mayor, Township of Esquimalt
Lekwungen Territory
Tel: 1-250-883-1944

Begin forwarded message:

From: Adam Campkin <[REDACTED]>
Date: June 11, 2020 at 10:59:51 AM PDT
To: Mayor and Council <Mayor.and.Council@esquimalt.ca>
Subject: Letter of support - Lighthouse Brewing - Tenant Improvement

Hi, I just wanted to send a note to show my support for the proposed changes for Lighthouse brewing. As a local resident (740 Porter Rd) I feel that this is a great opportunity for our community and will help develop local business in Esquimalt. With the proximity to the EN cycle trail I can imagine this improvement could lead to a fun weekend activity encouraging active transportation rather than a potential for binge drinking and public disorder.

Please voice my support at the upcoming council meeting.

Thanks
Adam Campkin

--
Adam Campkin
[REDACTED]

CORPORATION OF THE TOWNSHIP OF ESQUIMALT		
For Information:		
<input type="checkbox"/> CAO	<input type="checkbox"/> Mayor/Council	
<input type="checkbox"/>		
RECEIVED: JUN 11 2020		
Referred: <u>BiU</u>		
<input checked="" type="checkbox"/> For Action	<input type="checkbox"/> For Response	<input type="checkbox"/> COTW
<input type="checkbox"/> For Report	<input type="checkbox"/> Council Agenda	<input type="checkbox"/> IC

From: [Bill Brown](#)
To: [Karen Hay](#)
Subject: FW: Lighthouse Application - APC June 16
Date: June-15-20 3:05:46 PM

Hi Karen,

Please attach to your next staff report.

Thanks.

Bill

Bill Brown, MCIP

Director of Development Services

Tel: 1-250-414-7146

For the latest on the Township's response to COVID-19, please visit esquimalt.ca/covid19

From: Deborah Liske
Sent: June-15-20 2:57 PM
To: Bill Brown
Subject: FW: Lighthouse Application - APC June 16

Copy of correspondence forwarded as per CAO, Laurie Hurst's direction for Action.

Deborah Liske

Office Administrator of Corporate Services

Tel: 1-250-414-7136

For the latest on the Township's response to COVID-19, please visit esquimalt.ca/covid19

From: Laurie Hurst
Sent: June-15-20 11:18 AM
To: Deborah Liske
Subject: FW: Lighthouse Application - APC June 16

For mail log, thanks.

Laurie Hurst, CPA, CGA

Chief Administrative Officer

Tel: 1-250-414-7133

For the latest on the Township's response to COVID-19, please visit esquimalt.ca/covid19

From: Barb Desjardins
Sent: June-13-20 4:24 PM
To: Laurie Hurst
Subject: Fwd: Lighthouse Application - APC June 16

Public input

Sent from my iPhone

Barbara Desjardins

Mayor, Township of Esquimalt
Lekwungen Territory
Tel: 1-250-883-1944

Begin forwarded message:

From: Kym [REDACTED]
Date: June 13, 2020 at 2:04:49 PM PDT
To: Mayor and Council <Mayor.and.Council@esquimalt.ca>
Subject: Re: Lighthouse Application - APC June 16

Dear Mayor and Council,

Lighthouse Brewing Company has made an application for a lounge in Esquimalt's light industrial area and it is on Tuesday's Advisory Planning Commission's agenda. I support this application.

For those that do not live right near Esquimalt Village Town Centre and "on the other side" of Rockheights there is a need for neighborhood amenities and safe ways to get there. This means:

- improved transportation options for walking, cycling and transit (e.g. Tillicum Bridge and road corridor improvements)
- more, and more diverse amenities (e.g. the lounge proposed at Lighthouse Brewing)

The Lighthouse location is already a convenient and accessible location for cyclists and pedestrians since it is only a "hop and a skip" off of the E&N trail. Having food and beverage amenities that are in an under-served neighborhood area makes a lot of sense. Also, I imagine the busiest times at the lounge will be in off-peak times for Esquimalt industrial area businesses I don't foresee conflicts or impacts with those businesses.

There is a real opportunity to attract residents and visitors to Esquimalt through Lighthouse's lounge.

Kind regards,

Kym Thrift
Esquimalt resident



Township of Esquimalt Council Meeting July 6th

ANTHONY MAZZEI & BEN THOMAS
LIGHTHOUSE BREWING CO.

AGENDA

1. Objectives
2. About our Tasting Room
3. The Proposal
4. Benefits to the Town of Esquimalt
5. Supporting documentation
6. Summary

OBJECTIVES

- ▶ Our objective is to.....
 - ▶ Change our current Tasting Room License to a Lounge Endorsement License
- ▶ What we need
 - ▶ To Rezone a portion of our building where our Tasting Room and Picnic area stand from Industrial to Commercial

ABOUT THE TASTING ROOM

- ▶ Renovated in 2018, inside the Tasting Room has the capacity of 30 people
- ▶ We hold a Picnic Endorsement License for our outdoor space with a capacity of 30 people
- ▶ We offer 12oz tasting flights, growler fills, packaged beer, snacks and various branded retail items for sale
- ▶ We feature 9 different taps of our Craft Beer
- ▶ We are the only Craft Brewery in the Township of Esquimalt and a member of the Esquimalt Chamber of Commerce

THE PROPOSAL

With our current Tasting Room License

- ▶ We can provide one 12oz serving of beer per person per day in either of the following formats
 - ▶ 3 x 4 oz pours
 - ▶ 4 x 3 oz pours

What a Lounge Endorsement allows us to

- ▶ Provide more than one tasting flight of beer per day to customers
- ▶ Provide full servings of beer – glasses ranging from 12-20oz, dependent upon LCRB approval

BENEFITS TO THE TOWN OF ESQUIMALT

6

- ▶ A Local Community Space for Esquimalt Residents
- ▶ Uplift the Esquimalt Community Image
- ▶ Showcase Art and Entertainment by hosting events
- ▶ Increase Tourism and excursions to the Township

SUPPORTING DOCUMENTS

- ▶ According to The Growler Magazine (BC Craft Beer & Cider Guide) there are 202 craft breweries open and operating in BC
- ▶ Over 130 of these Breweries hold Lounge Endorsement Licenses
- ▶ In the Greater Victoria Region alone there are 18 Craft Breweries with 12 of them operating with Lounge Endorsement Licenses

SUMMARY

- ▶ As per requirements from the LCRB regarding our lounge license we are adhering to everything based on the application
- ▶ Many BC Craft Breweries are offering their patrons the option of multiple tasting flights and/or glasses of beer, we would like to be aligned with the industry standards
- ▶ We feel confident based on our application that we have provided all necessary documentation to receive a positive outcome