GENERAL NOTES

GENERAL SPECIFICATIONS
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-Any variances from the plans to conditions found on site are the responsibility of the Owner / Builder
CODES & STANDARDS
-All work shall comply with the Building Code of British Columbia and the National Building Code of Canada. 2018 Edition
-Compliance with municipal or regional zoning, health and other bylaws is the sole responsibility of the owner / builder.
SITE PLAN
-All layouts shall be confirmed by a registered B.C. Land Surveyor.
-All setbacks shall be confirmed by the owner/builder and by the authorities having jurisdiction in the area.
-All grades and elevations are the responsibility of the owner/builder and any modifications are to be made on site.
-Conformity of these plans to the actual site, in any respect, is the responsibility of the owner/builder.
-all local health and zoning bylaws must be respected.
STRUCTURAL DESIGN
Structural is based on criteria stated in Part 4 and Part 9 2018 B.C.B.C.

Ground Snow Load	40.7 psf.	1.95 kpa
Rain Load	8.4 psf	.4 Kpa
Roof Live Load	30.8 psf	1.5 kpa
Roof Dead Load	20 psf	1.5 kpa
Floor Live Load	40 psf	1.9 kpa
Floor Dead Load	30 psf	1.4 kpa
Seismic Design Load	1.2 < Sa(0.2) ≤ 1.8	

Braced Wall bands & panels to 9.23.13.
-NOW / RAIN LOADS to be taken from Truss mfg. drawings if other jurisdiction than above

STAIRS	RISERS	
PRIVATE STAIRS	MAX 200	MIN 125
PUBLIC STAIRS	MAX 189	MIN 125
	RUNS	
PRIVATE STAIRS	MAX 355	MIN 255
PUBLIC STAIRS	MAX no limit	MIN 280

HEIGHT OF HANDRAILS 865 mm to 1070 mm high 34"- 42"
CONCRETE AND FOUNDATIONS
-The compressive strength of concrete mixed after 28 days shall be not less than:
a)25 Mpa for walls, columns, fireplaces, chimneys, footings, foundation walls, grade beams and piers
b) 32 Mpa for floors other than those in garges and carports
c) 35 Mpa for garages and carport floors, and exterior steps
-Concrete footings must be placed on undisturbed, non-organic, compacted soil to a suitable depth below frost penetration. (min. 3000 p.s.f. 150 kpa)
-All Grades are estimated only and shall be adjusted on site.
LUMBER FRAMING AND BEAMS
-All beams supporting point loads shall be sized by an engineer.
-All spans shall conform to the tables set out in "The Span Book" and the National Building Code of Canada.
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TRUSSES
-Trusses and layout are to be engineered and installed according to the manufacturer's specification, including all bracing.
Truss mfg to provide snow loads if different than local loads above.
ROOFING
-All roofing shall be applied to manufacturer's specification.
-All roofing shall include Eave Protection from ice dams and snow build up.
PLUMBING & ELECTRICAL
-Any electrical shown on plans is to serve as a guide only and must be installed by qualified personnel. Plumbing by qualified personal to BC - plumbing code
FLASHING
-All exposed openings shall be provided with adequate flashing.
-All roofing shall incorporate step flashing.
-All penetrations through roof shall include appropriate flashing
DOORS - ROUGH OPENING SIZES
-Frame opening 2" wider than door
-Frame height 83.5" for exterior doors.
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-frame opening 1/4"" wider than Bifold doors.
-frame height 80" for Bifold doors.
all headers 2 ply 2x10 # 1&2 S-P-F unless noted differently
WINDOWS - DOORS
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GENERAL
-All dimensions shall be verified by with the manufacturer.
-written dimensions supercede scale.
-Roof truss and floor joist layouts are guidelines only and should be verified by the truss manufacturer or qualified engineer.
-Smoke detectors shall be provided on every floor & sleeping unit
-framing lumber shall be graded #2 or better unless noted otherwise.
LIABILITY
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-errors or omissions.
- these plans permit the purchaser to construct one dwelling only
ENERGY EFFICIENCY 9.36. B.C.B.C
- Seperate Energy Analysis is required in some jurisdictions
THESE NOTES FORM AN INTEGRAL PART OF THESE PLANS AND SHOULD NOT BE REMOVED

APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE PROVINCE OF BRITISH COLUMBIA AND LOCAL JURISDICTION.--- 2018

PROJECT DATA

BUILDING USE : Single Family Dwelling
CONSTRUCTION TYPE :Light Construction
SEISMIC ZONE : S A R 1.2 < Sa(0.2) ≤ 1.8
CLIMATE ZONE 4
COMPIANCE OPTION: Perscriptive

STRUCTURAL ENGINEER:	
SOILS & GEOTECHNICAL:	
SURVEYOR :	
MECHANICAL ENGINEER	
ELECTRICAL ENGINEER	

Colville Road

1 PLOT PLAN 1:200

N

0 5m 10m

ALL MEASUREMENTS IN METRIC

Lot A

Area M2	333.27 m²
Ha	0.03
Acres	0.08
Sq.ft.	3,587.27
% Lot Coverage	30.15
Building Footprint	100.48 m²
Lot Perimiter	93.44 m

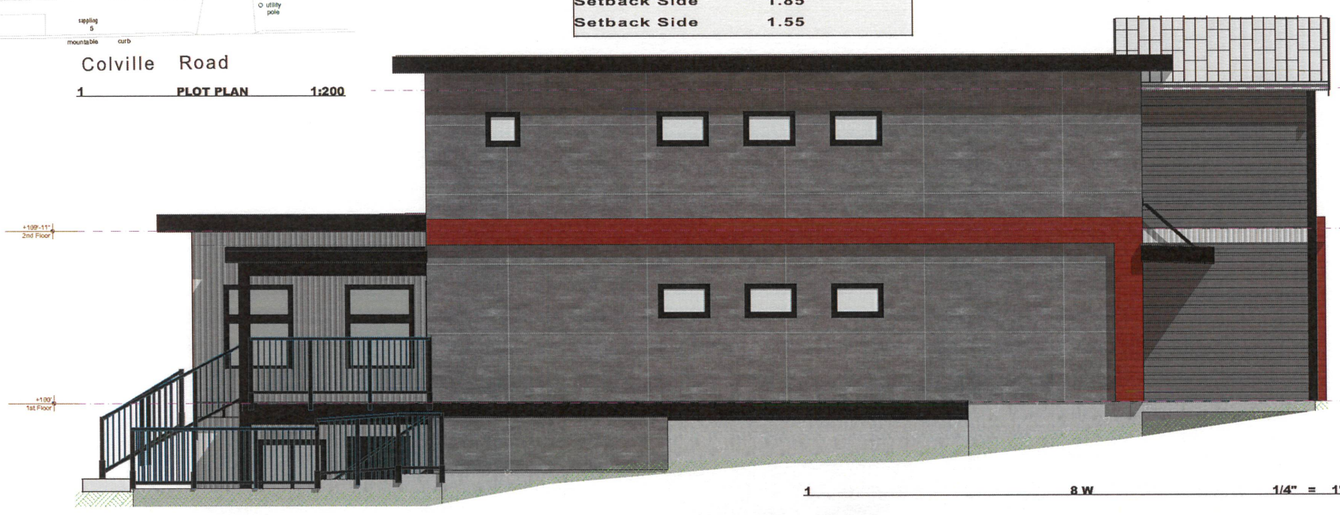
Layer	Zone Name	Story	Area	Sq.Ft.	Volume (Net)
Deck Area	Covered Entry	1st Floor	2.75	29.60	0.07
			2.75 m²	29.60	0.07 m³
Floor Area	MainFloor	1st Floor	71.83	773.22	1.82
Floor Area	Lower Floor	Basement	65.22	702.04	1.66
Floor Area	Upper Floor	2nd Floor	79.39	854.52	2.02
			216.44 m²	2329.78	5.50 m³
Garage Area	Garage	1st Floor	22.85	245.94	0.58
			22.85 m²	245.94	0.58 m³
Lot Area	Lot A	Plot Plan	333.27	3587.27	0.00
Lot Area	Lot B	Plot Plan	333.35	3588.15	0.00
			666.62 m²	7175.42	0.00 m³
Floor Area Interior Face	Main Floor inside	1st Floor	66.63	717.16	1.69
Floor Area Interior Face	Lower Floor Inside	Basement	59.17	636.88	1.50
Floor Area Interior Face	Upper Floor Inside	2nd Floor	73.60	792.19	1.87
			199.40 m²	2146.23	5.06 m³

--PROJECT DATA--

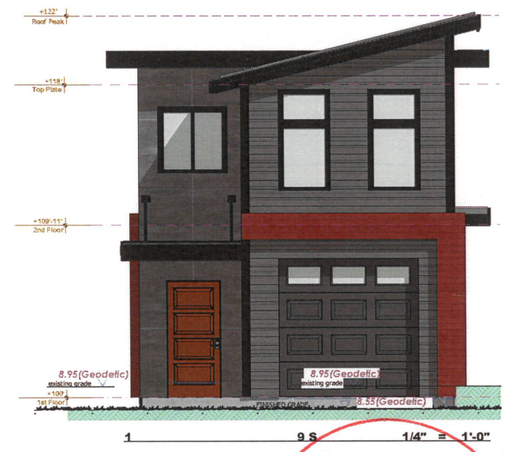
Address:	1050 Colville Road
Owner:	Del Flesh
City:	Esquimalt
Zoning :	to be determined
Lot:	A
Plan:	2546
Section:	10
District:	Esquimalt District
Bldg Height	6.83
Setback Front	7.63
Setback Rear	9..77
Setback Side	1.85
Setback Side	1.55

ELEVATION NOTES
ROOFING: Torch on Membrane over base sheet and 5/8" t&g plywood
FACIA BOARD 1"X10" stained board with 4" cedar rib board
GABLE TRIM BAND: 2"x 10" stained board , Flashing over & under typ.
GUTTER: Aluminium Gutters , Metal Vented Soffits typ.
SIDING:Concrete Panel Siding , 2 layers 30 min. paper with Rainscreen as per BCBC
SIDING: Galvinized Aluminum , 2 layers 30 min. paper with Rainscreen as per BCBC
WINDOWS: double glazed , Vinyl Frames , flashing over typ. to N.A.F.S.
GARAGE DOORS: Wood Stained , Safley Glass inserts typ.
DOORS :Steel Insulated , painted typ.
BELLY BAND:2"x 10" cedar , flashing over & under , provide rainscreen behind typ.
HANDRAILS:metal handrails, 42" high -non climbable
DECK : 60 mil. vinyl decks on sloped 3/4" t&g ply typ.
LANDINGS:Concrete landings , slope to drain at all exit doors
POSTS: 6x6 treated fir posts , with Stone Veneer over wire & paper typ.
Window Wells - Concrete to finished grade, size for egress, provide drainage

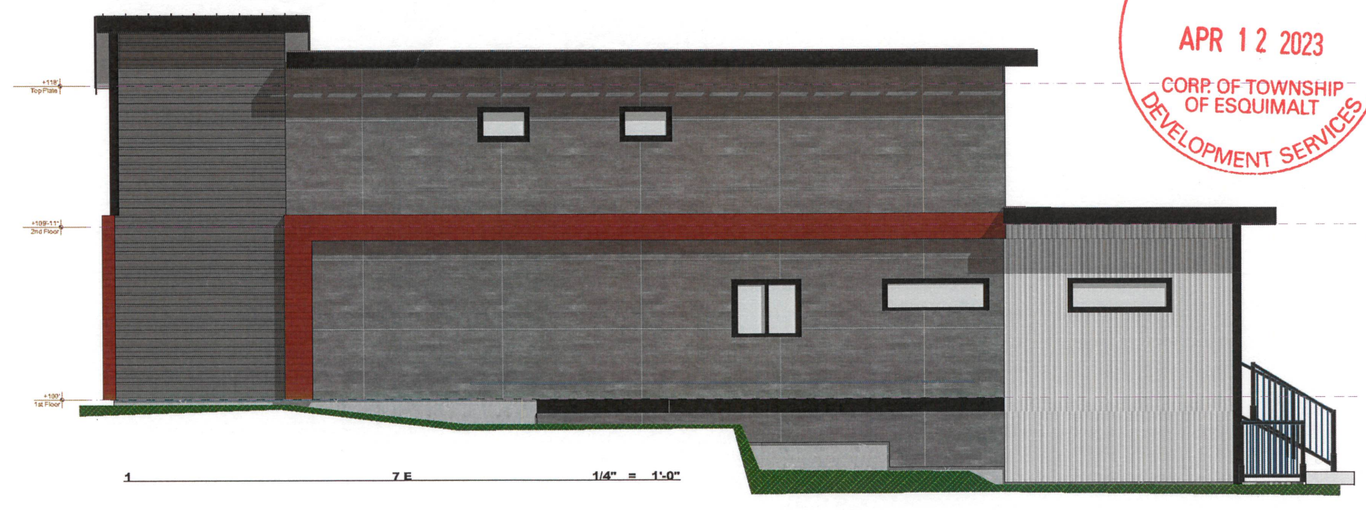
1 6 N 1/4" = 1'-0"



1 8 W 1/4" = 1'-0"



1 9 S 1/4" = 1'-0"



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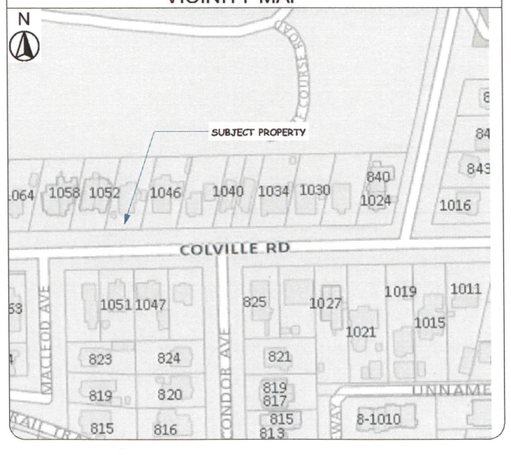
VICINITY MAP



RECEIVED
APR 12 2023
CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

WEST COAST DESIGN & DEVELOPMENT SERVICES
Randy Clarkston
Laurie Wallace
Sooke,B.C.
250-642-8803

	ID	#	VIEW	Last Update
4	1	1	DWG Tab Name(new)	12/12/2022 1:41 PM
1	1		Elev Plan	1/26/2023 10:07 am
1	1	1	ELEVATIONS	2/1/2023 8:04 AM
1	1	2	FLOT Plans	2/1/2023 8:04 AM
1	1	3	9 S	2/1/2023 11:28 AM
1	1	4	8 W	2/1/2023 11:28 AM
1	1	5	7 E	2/1/2023 11:28 AM
1	1	6	6 N	2/1/2023 11:28 AM
1	2	1	Foundation Lower	2/1/2023 8:48 AM
1	2	2	Foundation and Insulat	12/12/2022 12:05 PM
1	2	3	Foundation Walls	2/1/2023 8:52 AM
1	2	4	Details	12/12/2022 12:05 PM
1	2	5	Slab detail Wall	2/1/2023 8:52 AM
1	3	1	Framing	2/1/2023 11:29 AM
1	3	2	Joists	2/1/2023 11:29 AM
1	3	3	Roof plan	2/1/2023 11:29 AM
1	3	4	Roof Framing	2/1/2023 11:29 AM
1	3	5	Ceiling	2/1/2023 8:54 AM
1	3	6	Elevations Schedule	2/1/2023 8:54 AM
1	3	7	Door Schedule	2/1/2023 8:55 AM
1	3	8	Window	2/1/2023 8:55 AM
1	3	9	Door Schedule	2/1/2023 8:55 AM
1	3	10	Roof Plan	2/1/2023 11:30 AM
1	3	11	3D	2/1/2023 11:30 AM
1	3	12	TYP WALL DETAIL	12/12/2022 12:05 PM
1	3	13	Ceiling	2/1/2023 11:30 AM
1	3	14	Roof Plan	2/2/2023 12:44 PM
1	3	15	Roof(FLT) DETAIL	12/12/2022 12:05 PM
1	3	16	ROOF LAYOUT	2/2/2023 12:45 PM
1	3	17	Ceiling Insulation	2/2/2023 8:44 AM
1	3	18	Roof Insulation	2/2/2023 12:45 PM
1	3	19	Trusses	2/2/2023 12:46 PM
1	3	20	Plumbing	2/2/2023 8:44 AM

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BY	REVISIONS	DATE

Date:	2/2/2023
Scale:	AS NOTED
Drawn:	lw
file name	COLVILLE LOT A DRAFT.pln
Last Save:	Laurie

Key Plan, ALL AREAS, PLOT PLAN, 9 S, 6 N, 7 E, 8 W

New Home

CLIENT
Del Flesh

PROJECT DESCRIPTION
1050 Colville Road
Lot 9
Plan 2546
Section 10 District Esquimalt District
PID 006-326-421

PAGE CONTENT
1

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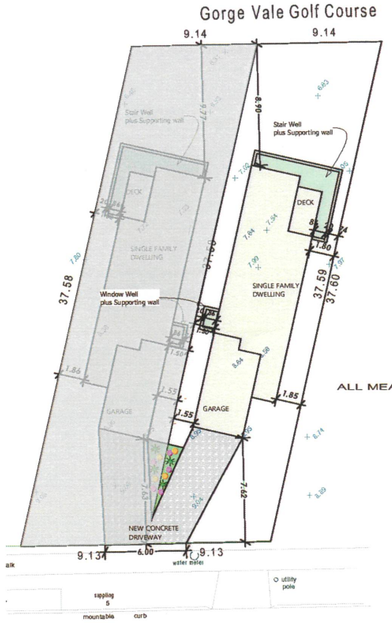
SOILS & GEOTECHNICAL:	
SURVEYOR:	
MECHANICAL ENGINEER	
ELECTRICAL ENGINEER	



Colville Road

1 PLOT PLAN 1:200

Lot B

Area M2	333.35 m^2
Ha	0.03
Acres	0.08
Sq.ft.	3,588.15
% Lot Coverage	30.14
Building Footprint	100.48 m^2
Lot Perimiter	93.46 m

N

0 5m 10m

ALL MEASUREMENTS IN METRIC

AREA CALCULATIONS

Layer	Zone Name	Story	Area	Sq.Ft.	Volume (Net)
Deck Area	Covered Entry	1st Floor	2.75	29.60	0.07
			2.75 m^2	29.60	0.07 m^3
Floor Area	MainFloor	1st Floor	71.83	773.22	1.82
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			22.85 m^2	245.94	0.58 m^3
Lot Area	Lot A	Plot Plan	333.27	3587.27	0.00
Lot Area	Lot B	Plot Plan	333.35	3588.15	0.00
			666.62 m^2	7175.42	0.00 m^3
Floor Area Interior Face	Main Floor inside	1st Floor	66.63	717.16	1.69
Floor Area Interior Face	Lower Floor Inside	Basement	59.17	636.88	1.50
Floor Area Interior Face	Upper Floor Inside	2nd Floor	73.60	792.19	1.87
			199.40 m^2	2146.23	5.06 m^3

--PROJECT DATA--

Address:	1050 Colville Road
Owner:	Del Flesh
City:	Esquimalt
Zoning :	to be determined
Lot:	B
Plan:	2546
Section:	10
District:	Esquimalt District
Bldg Height	6.83
Setback Front	7.62
Setback Rear	8.90
Setback Side	1.85
Setback Side	1.55

ELEVATION NOTES

ROOFING: Torch on Membrane over base sheet and 5/8" t&g plywood
FACIA BOARD 1"X10" stained board with 4" cedar rib board
GABLE TRIM BAND: 2"x 10" stained board , Flashing over & under typ.
GUTTER: Aluminium Gutters , Metal Vented Soffits typ.
SIDING:Concrete Panel Siding , 2 layers 30 min. paper with Rainscreen as per BCBC
SIDING: Galvinized Aluminum , 2 layers 30 min. paper with Rainscreen as per BCBC
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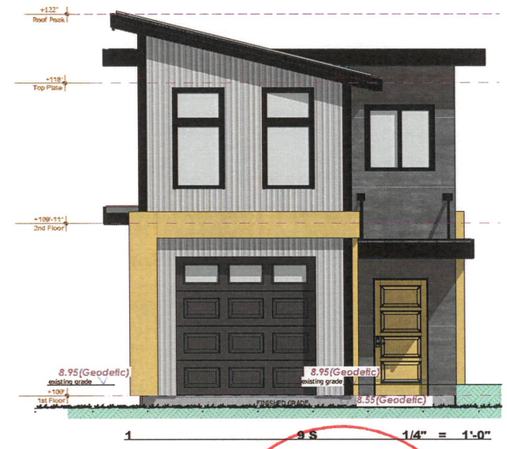
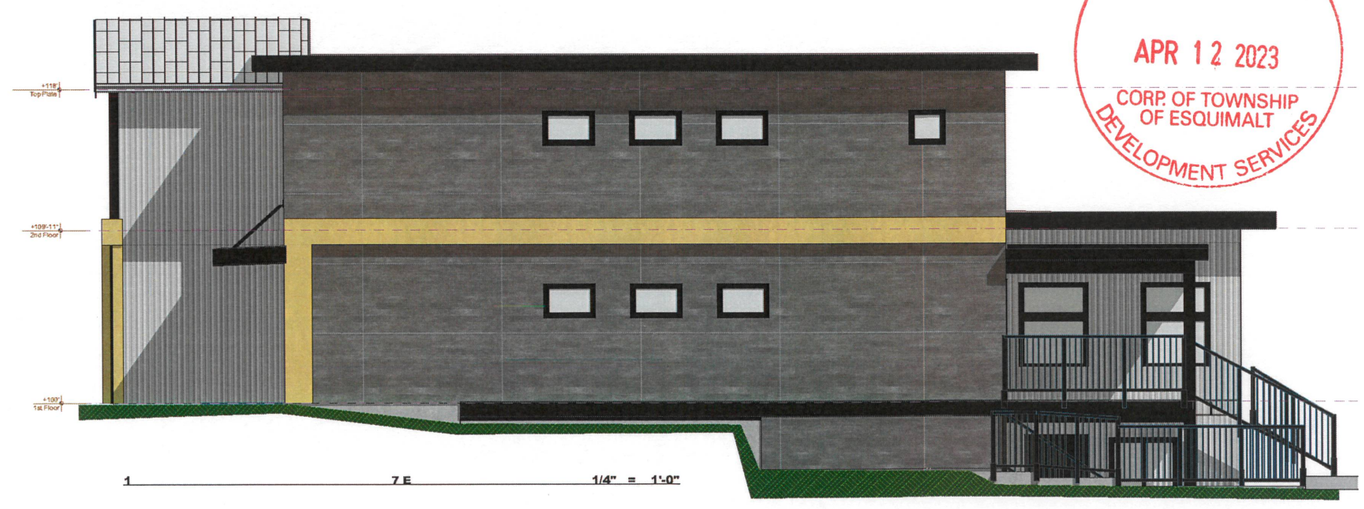
1 6 N 1/4" = 1'-0"

1 8 W 1/4" = 1'-0"



1 9 S 1/4" = 1'-0"



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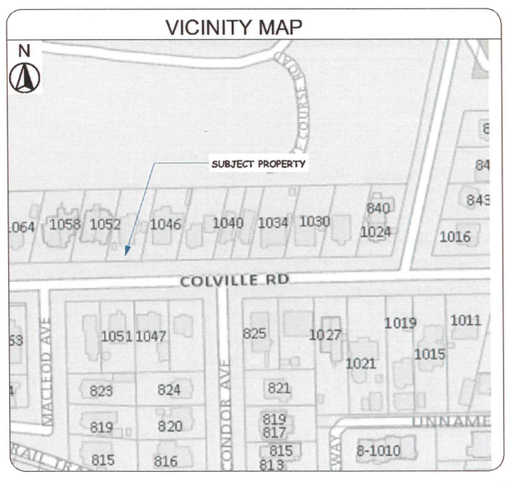

RECEIVED
APR 12 2023
CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

WEST COAST DESIGN & DEVELOPMENT SERVICES
Randy Clarkston
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Sooke,B.C.
250-642-8803

ID	#	VIEW	Last Updated
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1	1	Site Plan	2/10/2023 9:00 AM
1	2	Accurate	2/10/2023 9:00 AM
1	3	FLOOR PLAN	2/10/2023 9:00 AM
1	4	9 S	2/22/2023 12:47 PM
1	5	6 N	2/22/2023 12:47 PM
1	6	7 E	2/22/2023 12:47 PM
1	7	8 W	2/22/2023 12:47 PM
2	1	Foundation Layout	4/14/2023 11:43 AM
2	2	Foundation Walls	4/14/2023 12:05 PM
2	3	Excavation Walls	2/1/2023 11:41 AM
2	4	Details	4/14/2023 12:05 PM
3	1	Main Assembly	2/1/2023 11:41 AM
3	2	Frame	2/1/2023 11:41 AM
3	3	Joists	2/1/2023 11:41 AM
3	4	Basement	2/1/2023 11:41 AM
3	5	Wall Assembly	2/1/2023 11:41 AM
3	6	Support	2/1/2023 11:41 AM
3	7	Interior Schedule	2/1/2023 11:41 AM
3	8	Door Schedule	2/1/2023 11:41 AM
3	9	Stairs	2/1/2023 11:41 AM
3	10	Support	2/1/2023 11:41 AM
3	11	1st Floor	2/1/2023 11:41 AM
3	12	2nd Floor	2/1/2023 11:41 AM
3	13	TYP WALL DETAIL	4/14/2023 12:05 PM
3	14	2nd Floor	2/22/2023 12:47 PM
3	15	PROPERTY DETAIL	4/14/2023 12:05 PM
3	16	ROOF LAYOUT	2/22/2023 12:47 PM
3	17	Ceiling Assembly	2/1/2023 11:41 AM
3	18	Roof Assembly	2/22/2023 12:47 PM
3	19	Frames	2/22/2023 12:47 PM
3	20	Partitions	2/1/2023 11:41 AM

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BY	REVISIONS	DATE

Date:	2/2/2023
Scale:	AS NOTED
Drawn:	lw
file name	COLVILLE LOT B DRAFT.pln
Last Save:	Laurie

Key Plan, ALL AREAS, PLOT PLAN, 9 S, 6 N, 7 E, 8 W

New Home

CLIENT

Del Flesh

PROJECT DESCRIPTION

1050 Colville Road

Lot 9

Plan 2546

Section 10 District Esquimalt District

PID 006-326-421

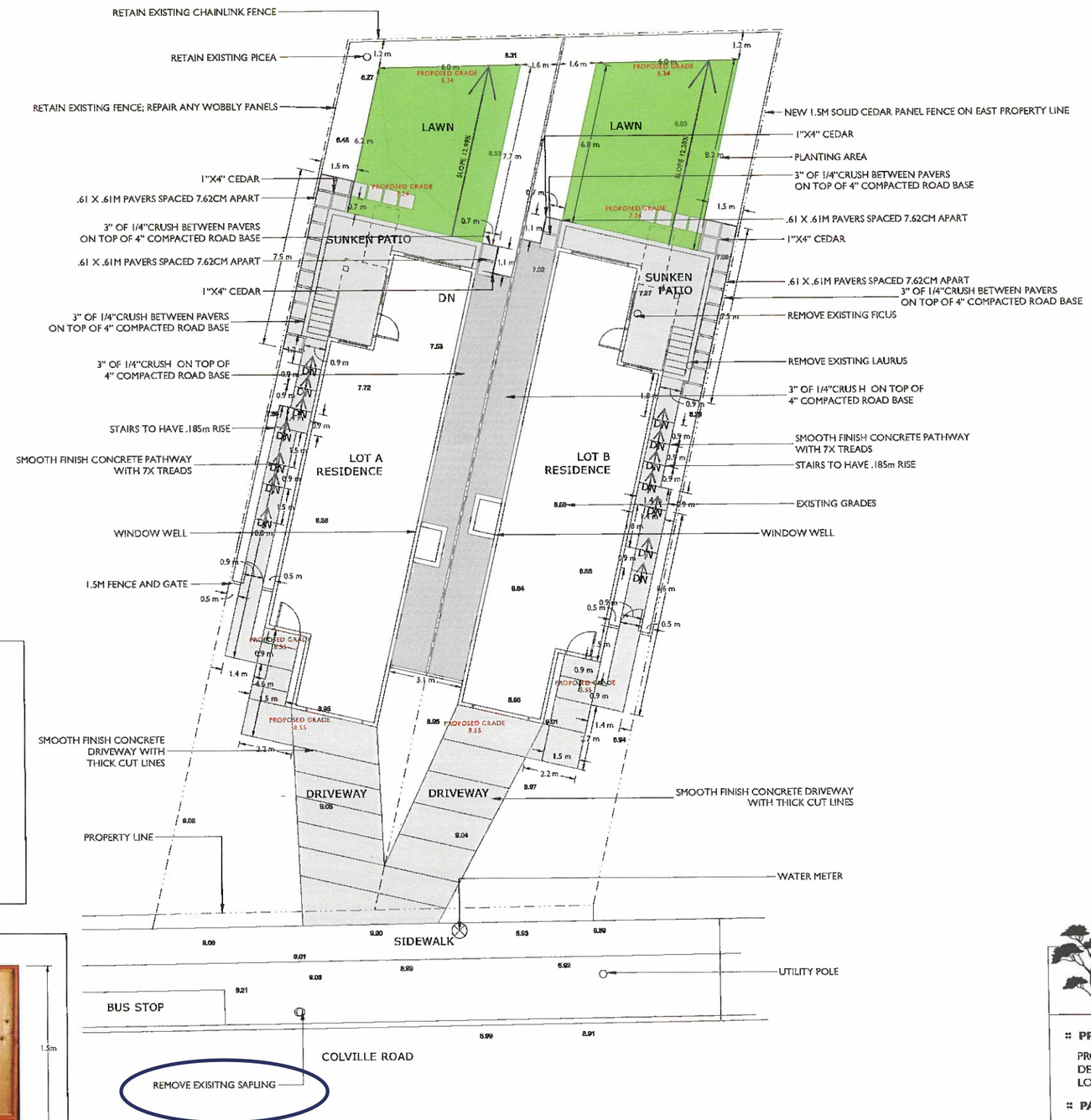
PAGE CONTENT

1

LOT A SITE AND GRADING PLAN

NOTES:

EXISTING GRADES ARE IN BLACK
PROPOSED GRADES ARE IN RED

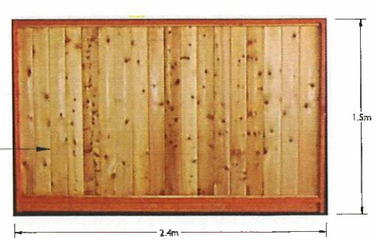


.61 x .61M PAVERS

SOLID PANEL CEDAR FENCE WILL RUN DOWN SIDE LOT LINES AND BETWEEN HOMES

80.5M LINEAL INCLUDING 2 X 1.0M WIDE GATES

FENCE STAINED WITH SICKENS IN CEDAR COLOUR



*GATES CREATED AT THE SAME HEIGHT IN THE SAME STYLE

Greenspace Desig
Sustainable Landscape Des

:: PROJECT TITLE ::

PROPOSED LANDSCAPE PLAN for
DEL FLESH
LOT A 1050 COLVILLE ROAD, ESQUIMALT BC

:: PAGE TITLE ::

SITE AND GRADING PLAN, PAGE ONE of THRE

:: DATE ::

MARCH 3, 2023

:: SCALE

1:96

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