

PROJECT INFORMATION		
SITE AREA	4,300.56 SM	46,290.8 SF 0.43 Ha
BUILDING TYPE	MULTI-RESIDENTIAL HIGH-RISE	
RESIDENTIAL UNITS	314 UNITS	
ZONING COMPLIANCE TABLE		
BYLAW	PERMITTED	PROVIDED
ZONING		
F.A.R		4.26
FRONT SETBACK		3M
REAR SETBACK		3M
SIDE SETBACK		3M
PARK SETBACK		6M
BUILDING HEIGHT		12 STOREYS
LOT COVERAGE		59%
INDOOR AMENITY AREA		344.4 SM / 3,706.6 SF
PARKING*	PERMITTED	PROVIDED
RESIDENTIAL	292 STALLS	223 STALLS
VISITOR	95 STALLS	30 STALLS
COMMERCIAL	22 STALLS	14 STALLS
	404 STALLS*	285 STALLS
SECURED BIKE STALLS		297 STALLS
LOADING STALL	1 STALL	1 STALL

*REFER TO BUNT TIA.

AMENITY AREA		
Name	Area SF	Area SM

LEVEL P1		
AMENITY	2302.77 SF	213.9 m ²
FITNESS		
	2302.77 SF	213.9 m ²

LEVEL 6 / AMENITY		
AMENITY	1403.83 SF	130.4 m ²
LOUNGE		
	1403.83 SF	130.4 m ²
	3706.60 SF	344.4 m ²

GFA AS PER ESQUIMALT		
Name	Area	AREA SM

LEVEL P1		
UNITS	5917.36 SF	549.74 m ²
	5917.36 SF	549.74 m ²

LEVEL P1 UPPER		
UNITS	1173.34 SF	109.01 m ²
UNITS	223.55 SF	20.77 m ²
UNITS	436.77 SF	40.58 m ²
UNITS	2883.15 SF	267.85 m ²
UNITS	2218.28 SF	206.09 m ²
BIKE STORAGE	3386.98 SF	314.66 m ²
MECH.	975.08 SF	90.59 m ²
	11297.14 SF	1049.54 m ²

LEVEL 1		
UNITS	13716.45 SF	1274.30 m ²
UNITS	5033.99 SF	467.67 m ²
OFFICE	1615.69 SF	150.10 m ²
CAFE	2176.37 SF	202.19 m ²
	22542.51 SF	2094.27 m ²

LEVEL 2		
UNITS	19263.12 SF	1789.60 m ²
	19263.12 SF	1789.60 m ²

LEVEL 3		
UNITS	19358.29 SF	1798.44 m ²
	19358.29 SF	1798.44 m ²

LEVEL 4		
UNITS	18067.21 SF	1678.50 m ²
	18067.21 SF	1678.50 m ²

LEVEL 5		
UNITS	18067.21 SF	1678.50 m ²
	18067.21 SF	1678.50 m ²

LEVEL 6 / AMENITY		
UNITS	5886.19 SF	546.85 m ²
UNITS	9084.28 SF	843.96 m ²
	14970.47 SF	1390.80 m ²

LEVEL 7		
UNITS	5888.19 SF	547.03 m ²
UNITS	6206.06 SF	576.56 m ²
	12094.25 SF	1123.59 m ²

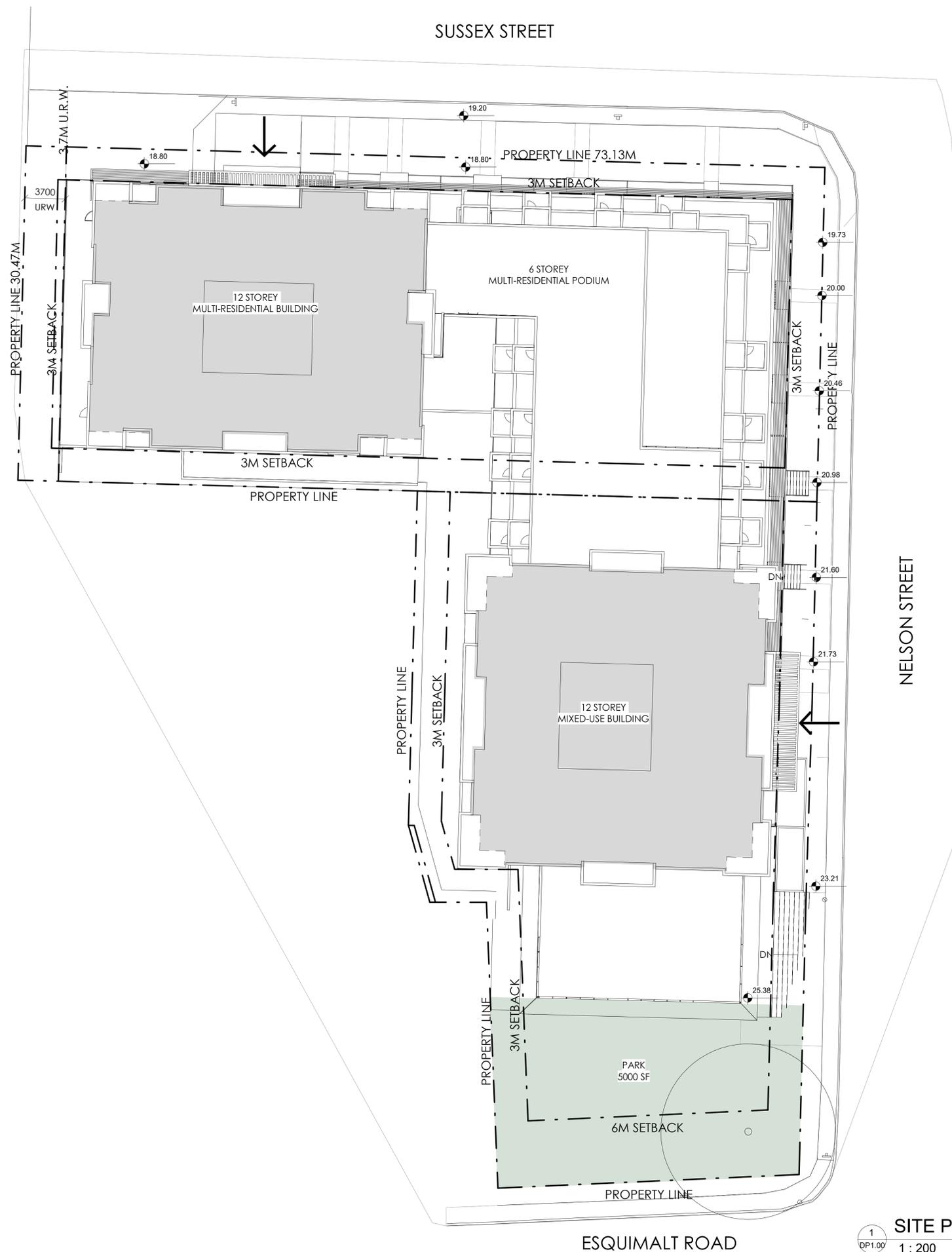
LEVEL 8 / TYPICAL		
UNITS	6305.71 SF	585.82 m ²
UNITS	5990.48 SF	556.53 m ²
	12296.19 SF	1142.35 m ²

LEVEL 9		
UNITS	5990.48 SF	556.53 m ²
UNITS	6305.71 SF	585.82 m ²
	12296.19 SF	1142.35 m ²

LEVEL 10		
UNITS	5990.48 SF	556.53 m ²
UNITS	6305.71 SF	585.82 m ²
	12296.19 SF	1142.35 m ²

LEVEL 11		
UNITS	6305.71 SF	585.82 m ²
UNITS	5990.48 SF	556.53 m ²
	12296.19 SF	1142.35 m ²

LEVEL 12		
UNITS	6305.71 SF	585.82 m ²
	6305.71 SF	585.82 m ²
	19706.82 SF	18308.22 m ²



GENERAL NOTES
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description
2022/11/28	2022/11/28	ISSUED FOR LAND USE AMENDMENT

PERMIT TO PRACTICE

STAMP



ARCHITECT

casola koppe
ARCHITECTS

#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

SUSSEX STREET MIXED-USE DEVELOPMENT

1347, 1331, 1319 SUSSEX STREET & 618 NELSON STREET, ESQUIMALT, BC

LOTS 42-45, PLAN 2854 & LOT A, PLAN VIP85251 & LOTS 48-49, PLAN 2854, ESQUIMALT DISTRICT

DRAWING

SITE PLAN

DRAWN BY	JOB NO.	Building Permit #
Author	2211	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
2022/05		
SCALE		
AS NOTED		

1
OP1.00

SITE PLAN

1 : 200

DP1.00



GENERAL NOTES
 This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description

PERMIT TO PRACTICE



ARCHITECT
casola koppe
 ARCHITECTS
 #300 - 1410 1st SW, calgary, alberta T2R 0V8
 bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
SUSSEX STREET MIXED-USE DEVELOPMENT
 1347, 1331, 1319 SUSSEX STREET & 618 NELSON STREET, ESQUIMALT, BC
 LOTS 42-45, PLAN 2854 & LOT A, PLAN VIP85251 & LOTS 48-49, PLAN 2854, ESQUIMALT DISTRICT

DRAWING
PERSPECTIVE

DRAWN BY Author	JOB NO. 2211	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm)	SHEET
	2022/05	
SCALE AS NOTED	DP3.0	



1 EAST ELEVATION
DP3.1 1 : 150

GENERAL NOTES
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description

PERMIT TO PRACTICE



ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
SUSSEX STREET MIXED-USE DEVELOPMENT
1347, 1331, 1319 SUSSEX STREET & 618 NELSON STREET, ESQUIMALT, BC
LOTS 42-45, PLAN 2854 & LOT A, PLAN VIP85251 & LOTS 48-49, PLAN 2854, ESQUIMALT DISTRICT

DRAWING
EAST ELEVATION

DRAWN BY Author	JOB NO. 2211	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm)	SHEET
	2022/05	
SCALE AS NOTED	DP3.1	



1 NORTH ELEVATION
DP3.2 1 : 150

GENERAL NOTES
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description

PERMIT TO PRACTICE



ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
SUSSEX STREET MIXED-USE DEVELOPMENT
1347, 1331, 1319 SUSSEX STREET & 618 NELSON STREET, ESQUIMALT, BC
LOTS 42-45, PLAN 2854 & LOT A, PLAN VIP85251 & LOTS 48-49, PLAN 2854, ESQUIMALT DISTRICT

DRAWING
NORTH ELEVATION

DRAWN BY Author	JOB NO. 2211	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm) 2022/05	SHEET
SCALE AS NOTED	DP3.2	



1 SOUTH ELEVATION
DP3.3 1 : 150

GENERAL NOTES
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description

PERMIT TO PRACTICE



ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
SUSSEX STREET MIXED-USE DEVELOPMENT
1347, 1331, 1319 SUSSEX STREET & 618 NELSON STREET, ESQUIMALT, BC
LOTS 42-45, PLAN 2854 & LOT A, PLAN VIP85251 & LOTS 48-49, PLAN 2854, ESQUIMALT DISTRICT

DRAWING
SOUTH ELEVATION

DRAWN BY Author	JOB NO. 2211	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm)	SHEET
SCALE AS NOTED	2022/05	DP3.3



WEST ELEVATION
1 : 150

GENERAL NOTES
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description

PERMIT TO PRACTICE



ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
SUSSEX STREET MIXED-USE DEVELOPMENT
1347, 1331, 1319 SUSSEX STREET & 618 NELSON STREET, ESQUIMALT, BC
LOTS 42-45, PLAN 2854 & LOT A, PLAN VIP85251 & LOTS 48-49, PLAN 2854, ESQUIMALT DISTRICT

DRAWING
WEST ELEVATION

DRAWN BY Author	JOB NO. 2211	Building Permit #
CHECKED BY Checker		SHEET
ISSUE DATE (yy/mm)		
SCALE AS NOTED		

DP3.4