



PROPOSED TREES

EXISTING TREES TO REMAIN

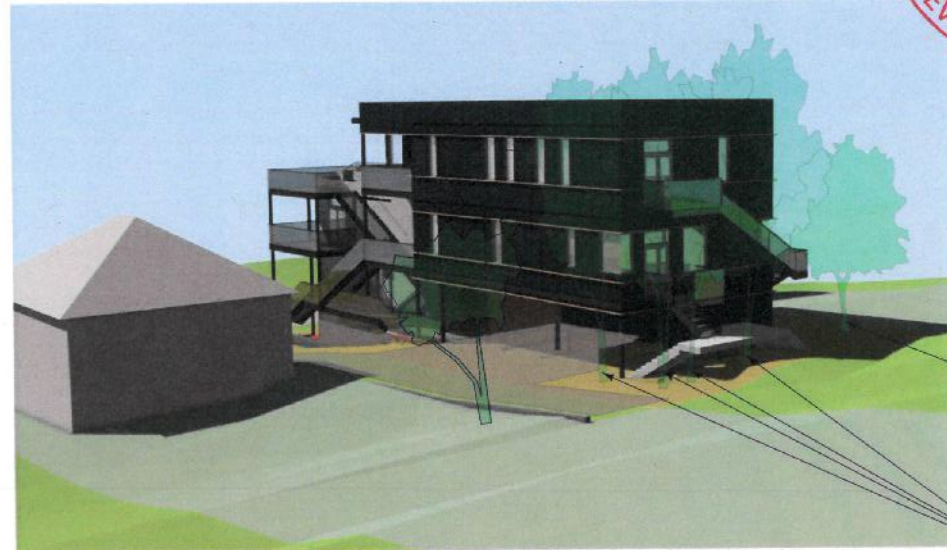
1 View from Street



PROPOSED TREES

EXISTING TREES TO REMAIN

2 View from Street



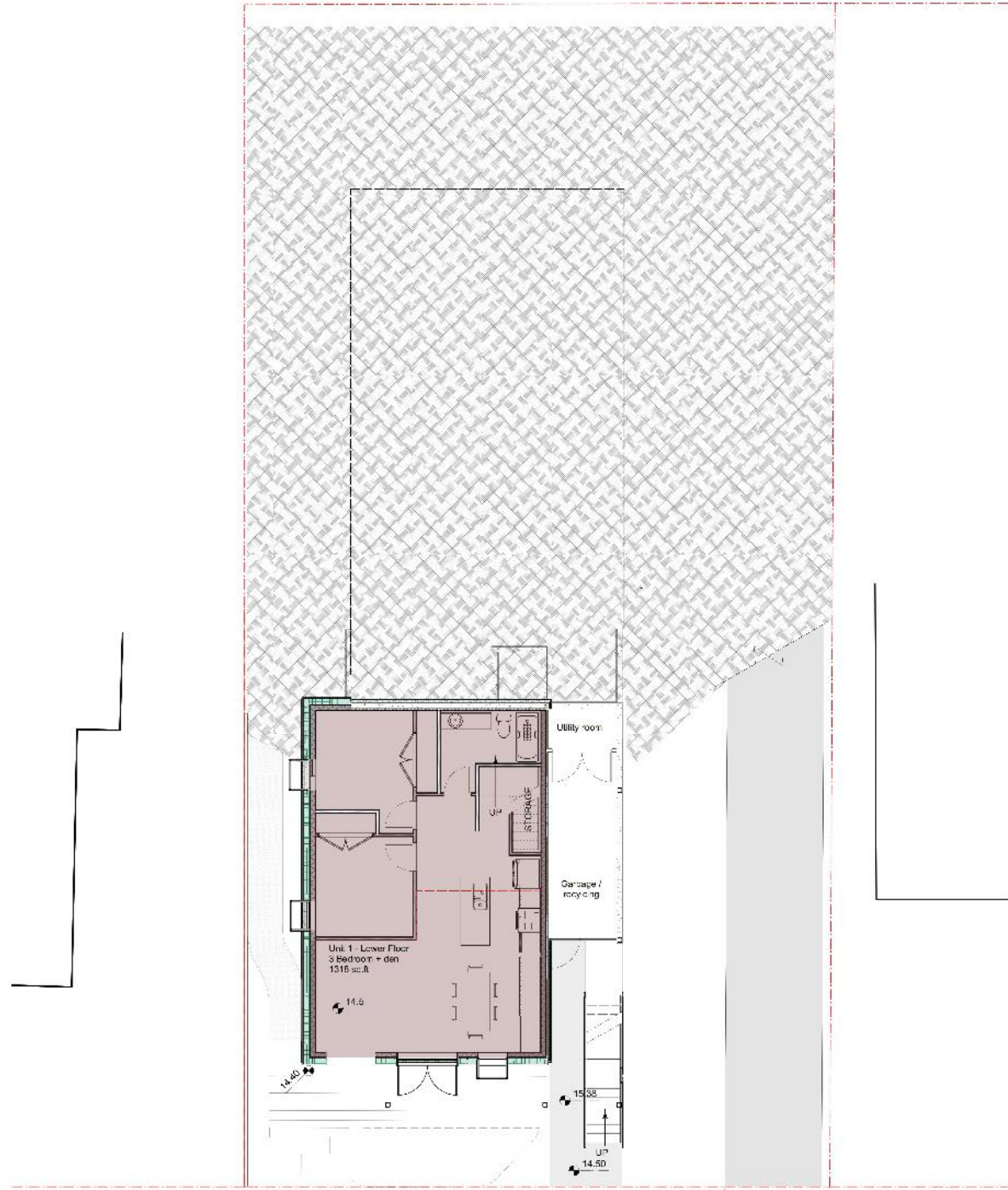
PROPOSED TREE

EXISTING TREES TO REMAIN

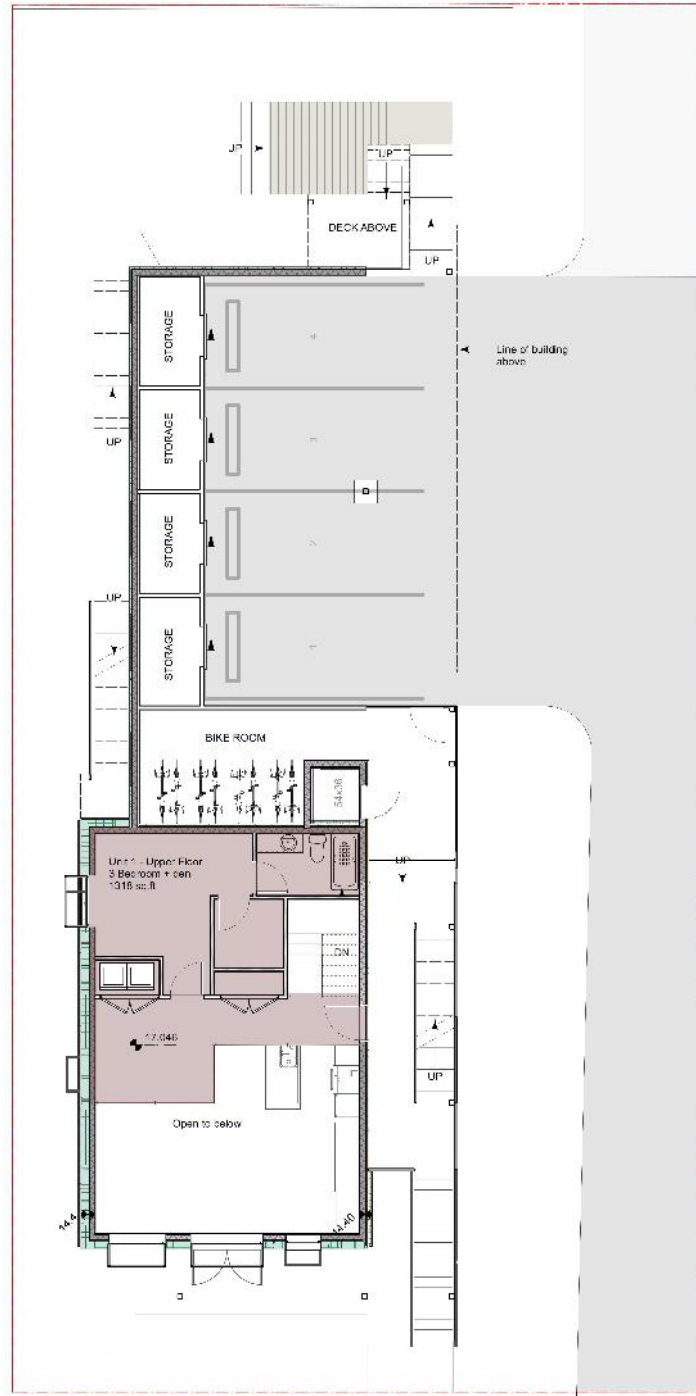
3 View from Back Yard



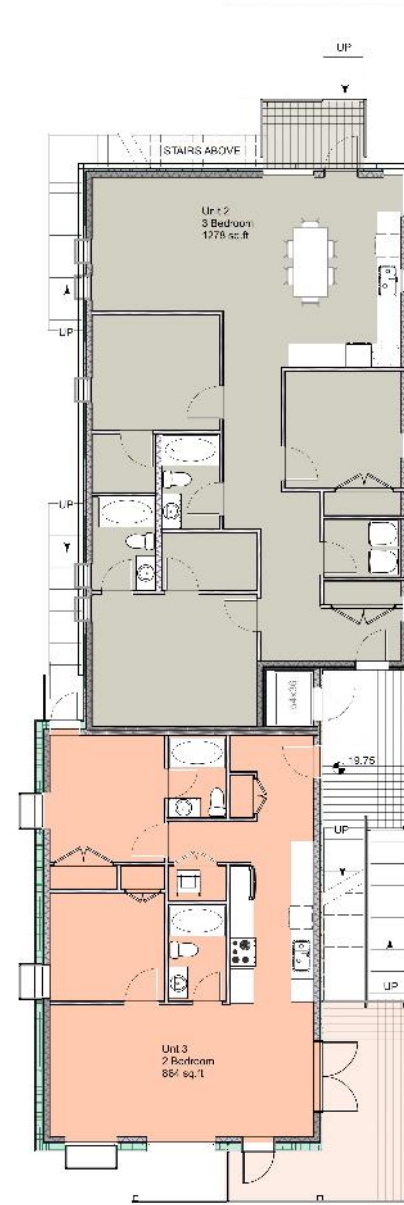




1 Ground Floor  
Scale: 1:100



2 Level 1  
Scale: 1:100



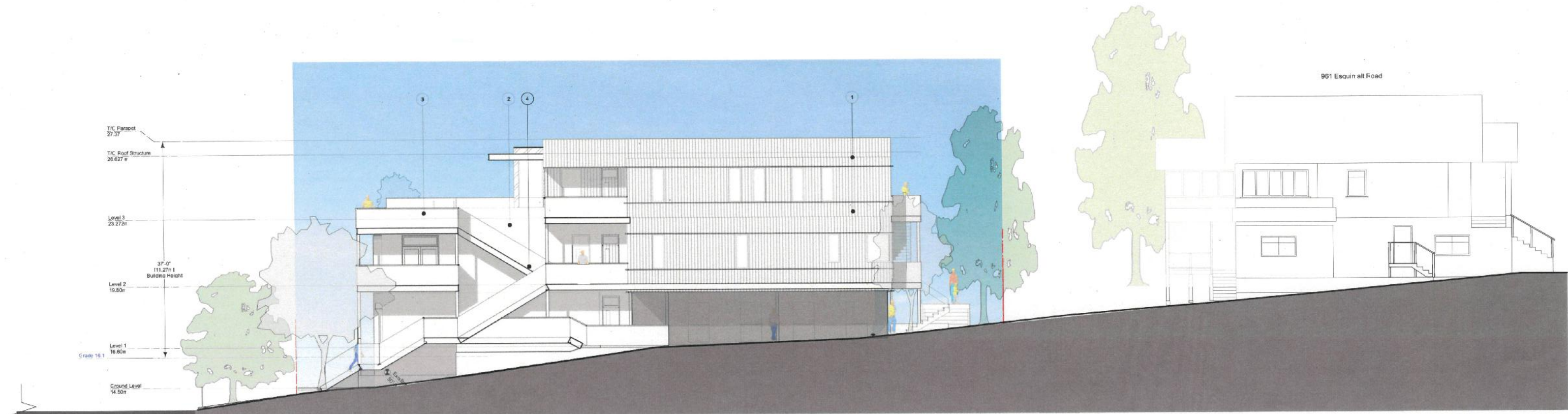
3 Level 2 Floor Plan  
Scale: 1:100



4 Level 3 Floor Plan  
Scale: 1:100







1 East Elevation  
Scale: 1:100



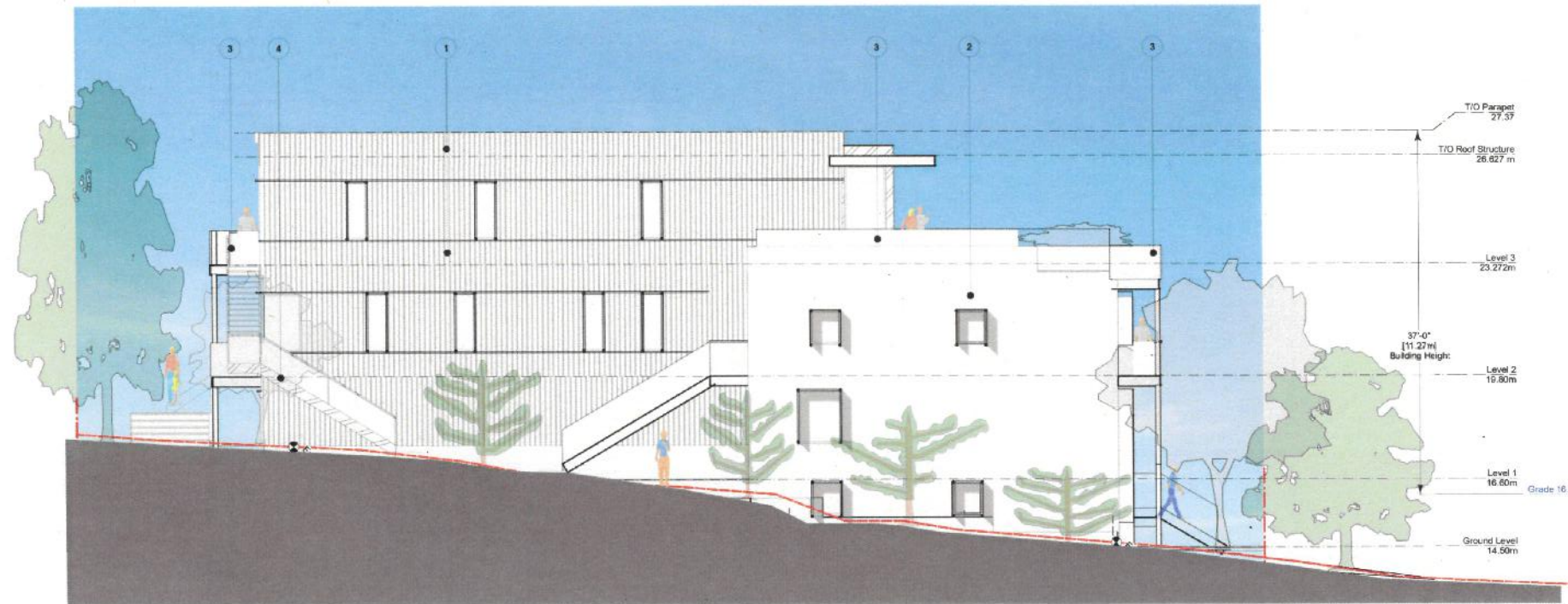
2 South Elevation  
Scale: 1:100

### Finish Schedule

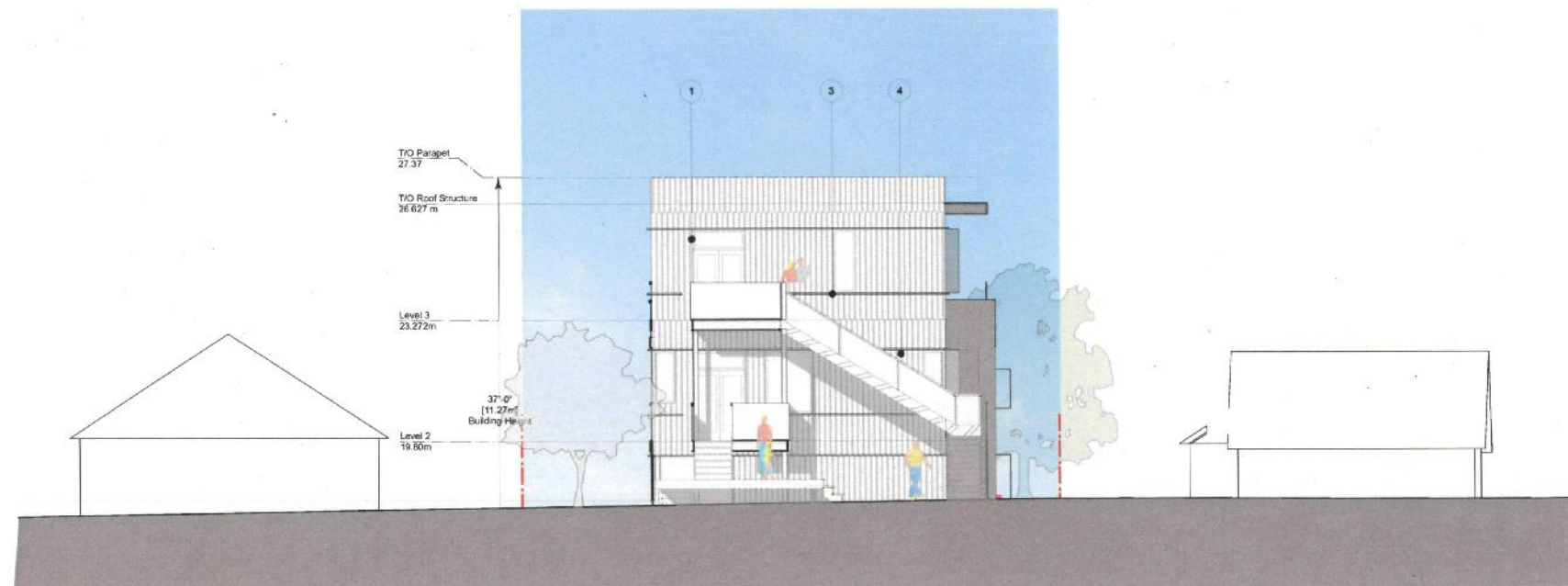
- 1 TEXTURED DARK COLOURED STUCCO
- 2 SMOOTH LIGHT COLOURED STUCCO
- 3 PERFORATED METAL GUARD & RAIL
- 4 STEEL STAIRCASE & DECK







5 West Elevation  
Scale: 1:100



3 North Elevation  
Scale: 1:100

#### Finish Schedule

- 1 TEXTURED DARK COLOURED STUCCO
- 2 SMOOTH LIGHT COLOURED STUCCO
- 3 PERFORATED METAL GUARD & RAIL
- 4 STEEL STAIRCASE & DECK

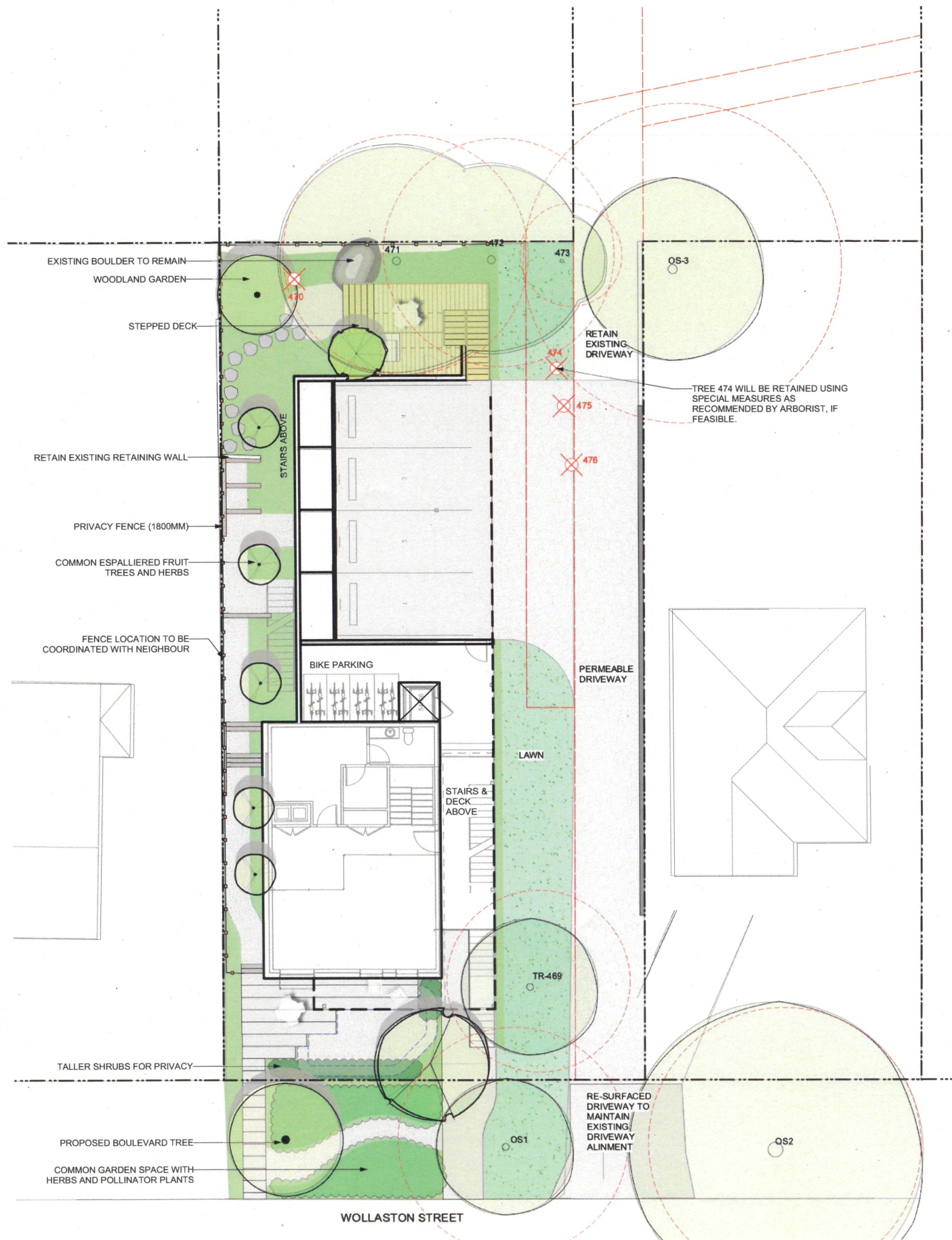


958 Wollaston

Oct 17, 2022  
A202  
Elevation







BACK YARD:  
Multi-level deck, small lawn area, woodland plants and flagstone path under the shade of existing trees.



SIDE YARD:  
Espalliered fruit trees and herbs to take advantage of the southwest-facing wall.



FRONT YARD:  
Modern concrete patio, wrapped by a rain garden and privacy plantings.

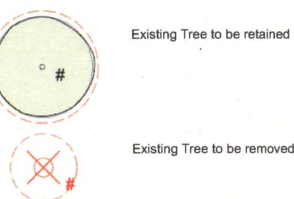


BOULEVARD:  
Pollinator garden with deer resistant flowers and native plants.

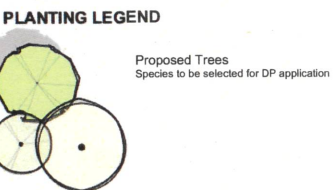


- LINE TYPE LEGEND**
- Property line
  - Existing Easement
  - Extent of Roof, above
  - Rain garden - TOP OF POOL
  - Rain garden - BOTTOM OF POOL

**EXISTING PLANT LEGEND**  
(Refer to Arborist Report and Tree Management Plan for full details and management strategies).



- MATERIALS LEGEND**
- Cast in Place Concrete
  - Stabilized Gravel (Permeable) Driveway
  - Wood Decking
  - Flagstone Path
  - Gravel Pathway
  - Wood Chip Pathway
  - Planting Area
  - Rain Garden Area
  - Lawn with eco-lawn / low grow seed mix
  - Wood cribbing steps / low wall
  - Concrete Retaining Wall
  - Wood Privacy Fence Offset from Property Line for Clarity



rev no	description	date
1	Rezoning	23.01.04



client  
1357094 BC Ltd.  
919 Hereward Road  
Victoria, BC

project  
WOLLASTON PASSIVE  
HOUSE  
958 Wollaston Street  
Esquimalt, BC

sheet title  
**Landscape  
Materials**

project no.	122.22
scale	1:100 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.