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PROJECT

878 Colville Road

18061

ISSUE DATE: 23Feb02 REV 16

No.: 11 12 13 14 15 16

Description: Exterior Cladding Revisions
Date: 21Jan29
21Feb23
21Dec01
22Oct05
23Feb02
Issue for DP
DP Revisions 1
Issue for Review
DP Revisions 2
Issue for Review

Proposed Site Plan

A1.4

1 Proposed Site Plan
1 : 125

PROPOSED COMPREHENSIVE DEVELOPMENT ZONING ANALYSIS:

AVERAGE GRADE:	BLOCK 1: 12.42m BLOCK 2: 16.53m	
LOT AREA:	1577.2m2	
F.S.R:	ALLOWABLE	PROPOSED
TOWNHOUSE (BLOCK 1&2):		0.67 (1259.4/1577.2)
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED
MAIN FLOOR (BLOCK 1&2):		388.4m2 801.2m2
SECOND FLOOR (BLOCK 1&2):		412.8m2
BASEMENT (BLOCK 1&2):		258.2m2
GARAGE (BLOCK 1&2):	40m2 EXEMPTION PER UNIT	132.6m2 (22.1m2 PER UNIT) (EXEMPT)
TOTAL:		1059.4m2 (801.2+258.2+132.6-132.6)
HEIGHT:		
TOWNHOUSE (BLOCK 1):		10.66m
TOWNHOUSE (BLOCK 2):		9.19m
LOT COVERAGE:	ALLOWABLE	PROPOSED
TOWNHOUSE (BLOCK 1):		297.4m2 (18.9%) (297.4/1577.2)
TOWNHOUSE (BLOCK 2):		148.9m2 (9.4%) (148.9/1577.2)
TOTAL:		446.3m2 (28.3%) ((297.4+148.9)/1577.0)
SETBACKS (BLOCK 1):	ALLOWABLE	PROPOSED
FRONT (S):		5.50m
REAR (N):		33.50m
SIDE (E):		4.51m
SIDE (W):		7.38m
SEPARATION:		9.06m
SETBACKS (BLOCK 2):	ALLOWABLE	PROPOSED
FRONT (S):		55.15m
REAR (N):		4.09m
SIDE (E):		4.50m
SIDE (W):		7.39m

AVERAGE GRADE CALC. (BLOCK 1)							
POINT	ELEVATION (TOWNHOUSE)	POINT	ELEVATION (TOWNHOUSE)	POINT	ELEVATION (TOWNHOUSE)	POINT	ELEVATION (TOWNHOUSE)
1A	11.08	1J	13.22	1S	15.49	2B	11.50
1B	11.29	1K	13.23	1T	14.71	2C	11.45
1C	11.28	1L	13.64	1U	14.69	2D	11.45
1D	11.37	1M	13.64	1V	14.42	2E	11.46
1E	11.39	1N	14.58	1W	14.42	2F	11.38
1F	11.90	1O	14.60	1X	13.36	2G	11.34
1G	11.84	1P	14.77	1Y	13.34	2H	11.13
1H	12.28	1Q	14.75	1Z	13.20	2I	11.10
1I	12.31	1R	15.09	2A	13.30	2J	11.05
TOTAL		447.40 / 36 = 12.42m					

AVERAGE GRADE CALC. (BLOCK 2)			
POINT	ELEVATION (TOWNHOUSE)	POINT	ELEVATION (TOWNHOUSE)
2K	15.84	2T	16.40
2L	16.16	2U	17.50
2M	16.22	2V	17.17
2N	16.28	2W	17.02
2O	16.18	2X	16.86
2P	16.19	2Y	17.02
2Q	16.27	2Z	16.81
2R	16.34	3A	16.71
2S	16.27	3B	16.36
TOTAL		297.6 / 18 = 16.53m	

OFF-STREET PARKING CALCULATION x2 3 UNIT TOWNHOUSE	
NUMBER OF PARKING SPACES REQUIRED PER DWELLING UNIT	2
NUMBER OF DWELLING UNITS	6
TOTAL PARKING SPACES REQUIRED (2X4)	12
TOTAL PARKING SPACES PROPOSED	10

USEABLE OPEN SPACE CALCULATION	
AREA OF LOT:	1577.0m
PERCENTAGE OF USEABLE OPEN SPACE ALLOWABLE: 5.0%	
AREA OF USEABLE OPEN SPACE ALLOWABLE: (1577.0m2*0.05)	78.9m2
AREA OF USEABLE OPEN SPACE PROPOSED:	90.7m2
PERCENTAGE OF USEABLE OPEN SPACE PROPOSED:	5.8%



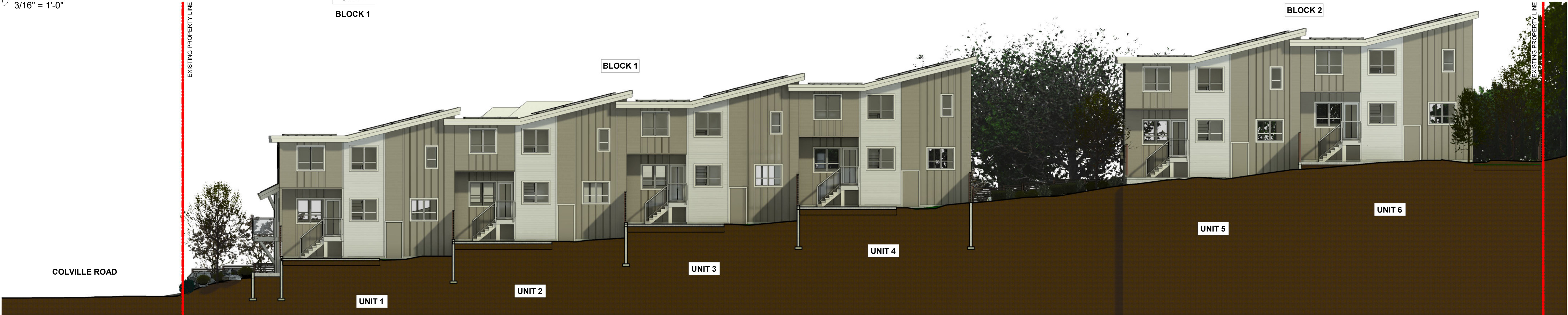
① Development Elevations - South
3/16" = 1'-0"

UNIT 1
BLOCK 1



③ Development Elevations - North
3/16" = 1'-0"

UNIT 6
BLOCK 2



② Development Elevation - East
1" = 10'-0"



④ Development Elevation - West
1" = 10'-0"

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11	Exterior Cladding Revisions	21Jan29
12	Issue for DP	21Feb23
13	DP Revisions 1	21Dec01
14	Issue for Review	22Oct05
15	DP Revisions 2	22Oct25
16	Issue for Review	23Feb02



WEST PERSPECTIVE



COLVILLE ROAD PERSPECTIVE



COLVILLE ROAD PERSPECTIVE



WEST PERSPECTIVE



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Development Perspectives

A1.10

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Block 1 - Elevations

A2.5

EXTERIOR FINISH & COLOURS

TRIM - EX038 "OVERCAST"	
HARDIE LAP SIDING - EX087 "KETTLE VALLEY"	
HARDIE LAP SIDING - EX038 "OVERCAST"	
WALL SHINGLE - EX087 "KETTLE VALLEY"	
BOARD & BATTEN - EX087 "KETTLE VALLEY"	
BOARD & BATTEN - EX038 "OVERCAST"	
ROOF SHINGLE "MALARKEY - MIDNIGHT BLACK"	
STANDING SEAM METAL ROOF "CHARCOAL"	

Unit 1 - T.O. Roof
21.06

Unit 1 - T.O. Second Walls
19.09

Unit 1 - Second Floor
16.63

Unit 1 - T.O. Main Walls
16.30

Unit 1 - Main Floor
13.54

Unit 1 - T.O. Basement
13.21

Block 1 - Average Grade
12.42

Unit 1 - Basement
10.75

Unit 1 - Garage
10.60

② South (Front) - Block 1 (Unit 1)
3/16" = 1'-0"

UNIT 1

BLOCK 1

Unit 4 - T.O. Roof
24.07
Unit 4 - Mean Roof Height
23.08
Unit 4 - Highest Eave
22.09

Unit 4 - Main Floor
16.55

Unit 3 - Main Floor
15.55

Unit 2 - Main Floor
14.54

Unit 1 - Main Floor
13.54

Block 1 - Average Grade
12.42

Unit 1 - FDN
9.89

① West (Side) - Block 1 (Units 1-4)
3/16" = 1'-0"

UNIT 4

UNIT 3

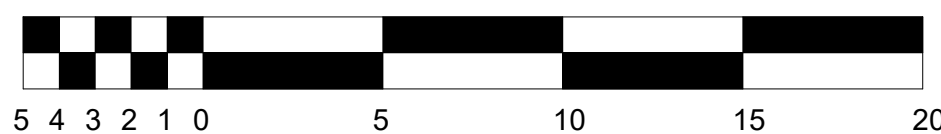
BLOCK 1

UNIT 2

UNIT 1

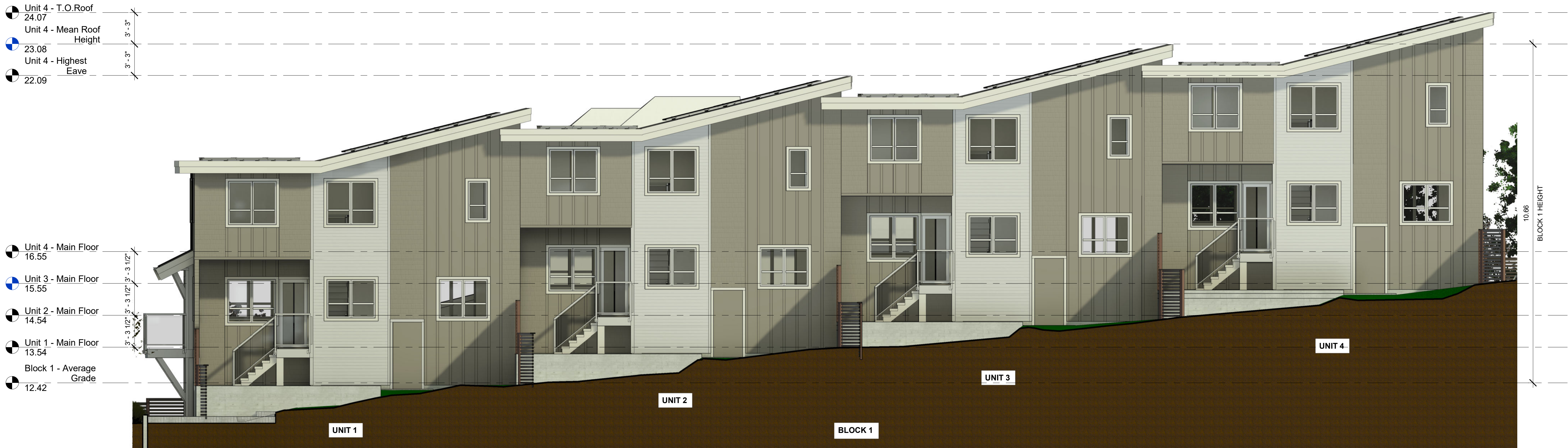
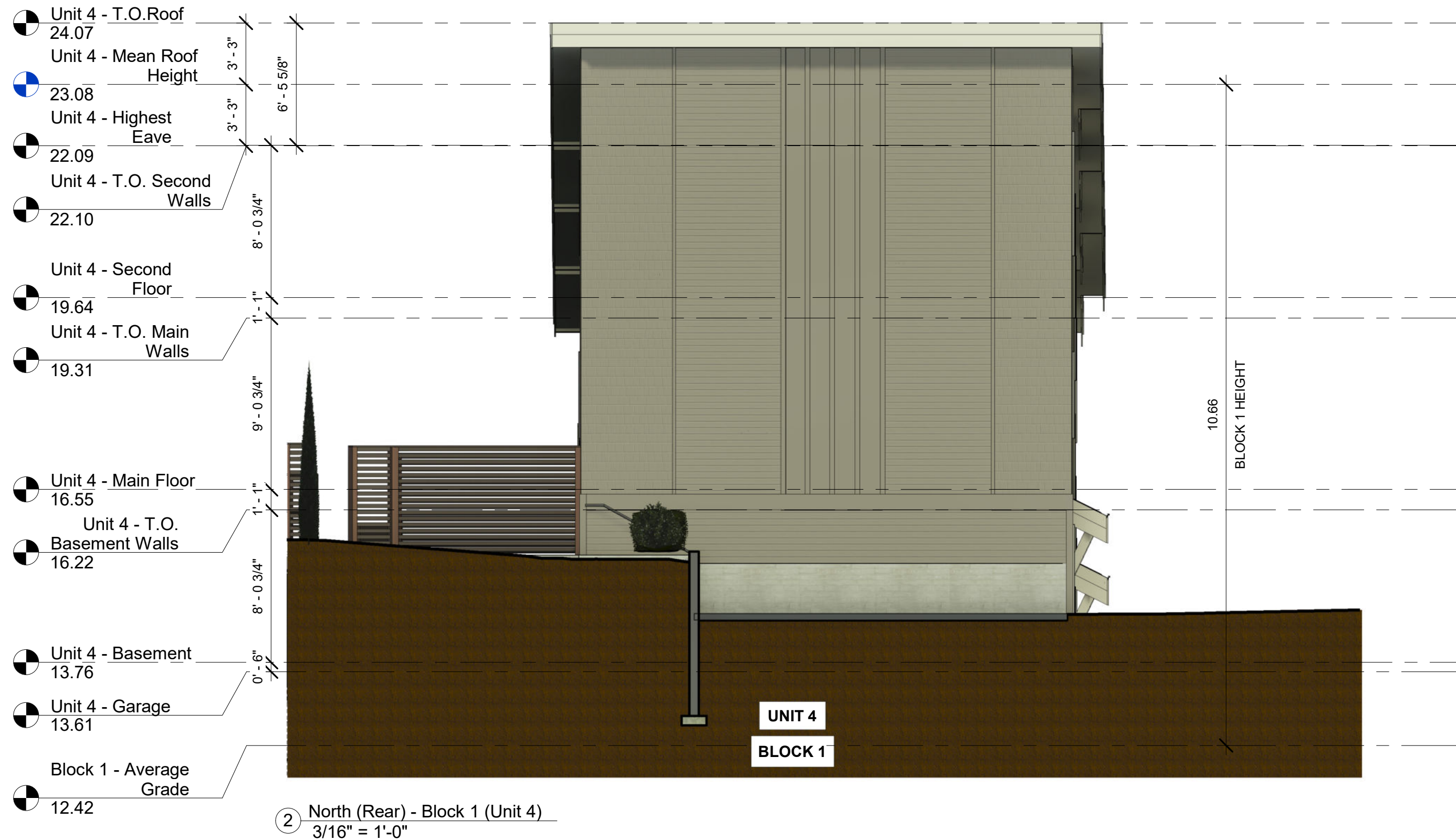
DRAWING SCALE: 3/16" = 1'-0"

ALL MEASUREMENTS ARE IN FEET



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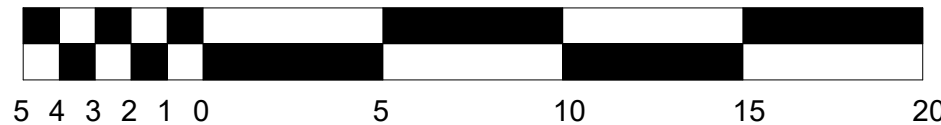
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A2.6