

Legend

Plant List

- Existing Tree
- New Deciduous Tree
Armstrong Red Maple
Acer Rubrum "Armstrong"
5cm cal / B&B
- New Deciduous Tree
Bloodgood Japanese Maple
Acer Palmatum Bloodgood
3.0m Height / B&B
- Shrubs Groupings
Baldhip Rose, Evergreen Huckleberry
Snow Berry, Pink Walloper Rhododendron
Saskatoon Berry
- Groundcover
Oregon Grape
Salal, Bearberry, Bugle Weed
- Large Hedge
Hill's Yew
- Hedge Irish Yew

Hardscape

- Brushed Concrete
- Concrete Unit Paver
- Crushed Stone

Softscape

- Lawn
- Planting Area

Notes

Landscaped areas are to be irrigated with a separate, fully automatic underground irrigation system, complete with separate water meter. Refer to Civil dwgs for location and detail.

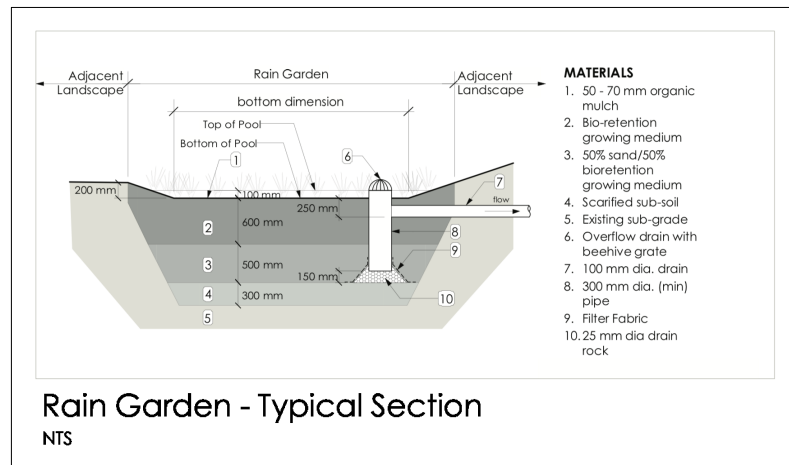
Irrigation shall be installed in accordance with Schedule C to Victoria Subdivision and Development Servicing Bylaw.

This drawing is conceptual only and not intended for construction purposes.

30% of all plantings shall be drought resistant native Vancouver Island plants (see Shrub Groupings for suggested species)

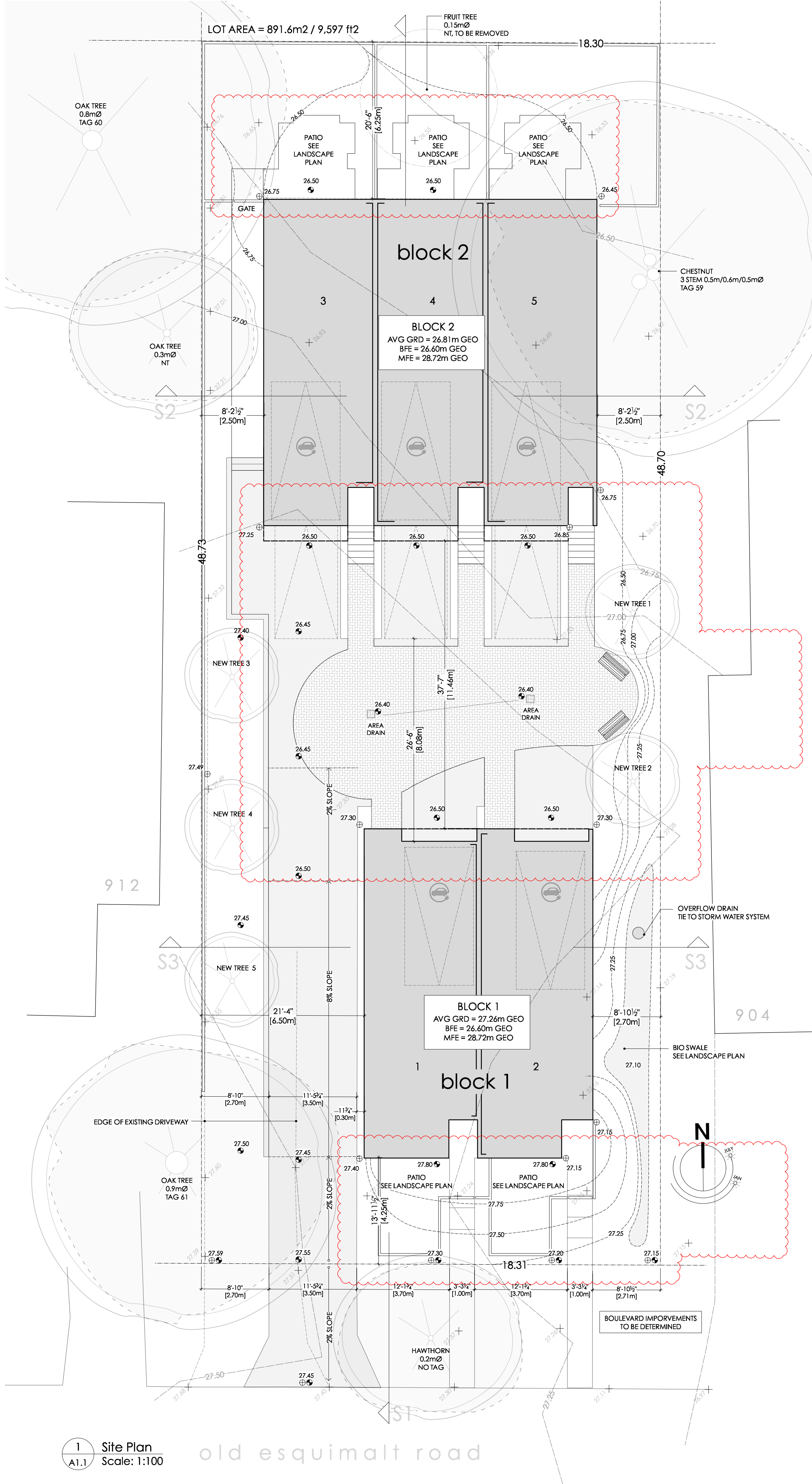
For site servicing, see plan by others

- Existing or Natural Grade
- Proposed Finished Grade



Received October 4, 2022

2 Landscape Plan
A1.1 Scale: 1:100



1 Site Plan
A1.1 Scale: 1:100

outline HOME DESIGN

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PROJECT ADDRESS

906 Old Esquimalt Rd.
Esquimalt BC

Part of Lot 6, Block 1, Section 11
Esquimalt District, Plan 195 to the west of Plan 10832

PID 009-286-292

ZONE Site Specific
LOT AREA 891.6 m² / 9,597 ft²

PROJECT DATA

Lot Area 891.6 m² / 9,597 ft²

Total Floor Area 564.1 m² / 6,072 ft²
FAR 0.63/1

Lot Coverage 291 m² / 32.6%

Parking 5*
*Energized (EV+)

Setbacks See Plan

Building Height, Block 1 8.49m

Building Height, Block 2 8.94m

Floor Areas

block 1	block 2
building floor area 231.4 m ² / 2491 ft ²	building floor area 332.7 m ² / 3582 ft ²
lower floor - 40.0 m ² / 431 ft ²	lower floor - 68.1 m ² / 732 ft ²
main floor - 97.4m ² / 1048 ft ²	main floor - 122.7 m ² / 1320 ft ²
upper floor - 94.0m ² / 1012 ft ²	upper floor - 141.9 m ² / 1530 ft ²

REVISION LIST

R1	May 30, 2022 Issued for Development Permit
R1.1	September 29, 2022 Re-issued for Development Permit

DRAWING LIST

A1.1	Site Plan, Landscape Plan & Data
A1.2	Existing Site and Location Plan
A2.1	Site Sections, Streetscape
A2.2	Shadow Study
A3.1	Block 1 Plans and Elevations
A3.2	Block 2 Plans and Elevations

906 Old Esquimalt Road Proposed Townhouses			
TITLE	Site Plan	SCALE	as noted
FILE	MY30.21	DATE	Sept. 29, 2022
PROJECT NO.	2210	SHEET NO.	A1.1
DRAWN BY	TDR	REV.	1.1
ISSUE FOR	DP		

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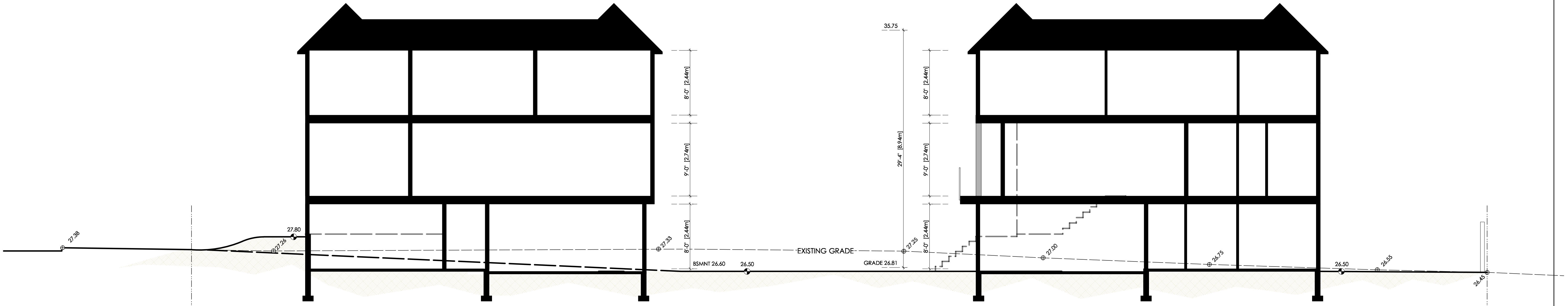
LOT AREA 891.6 m2 / 9,597 ft2



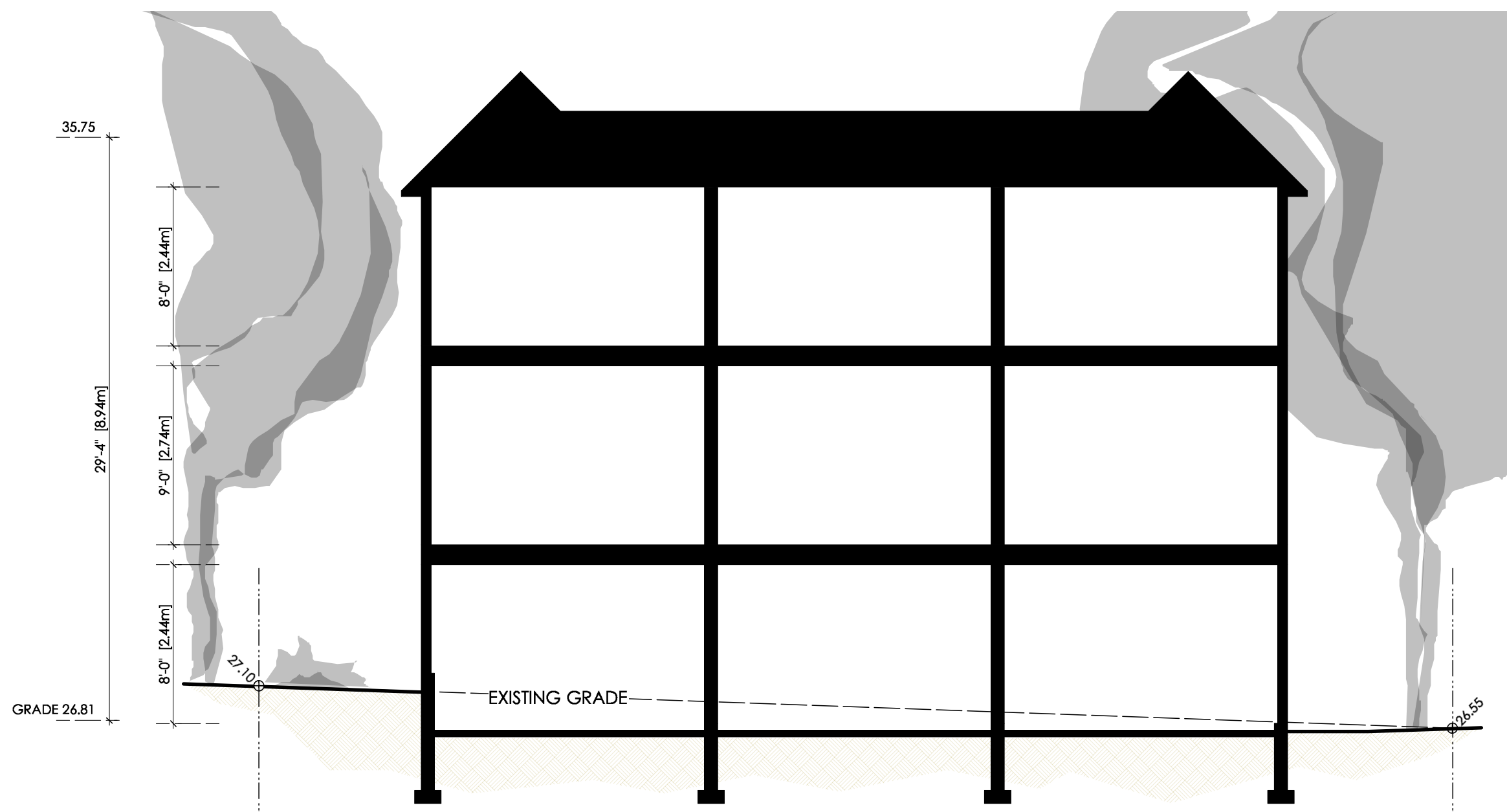
1 South Elevation, Facing Old Esquimalt Road
A2.1 Scale: 1:75



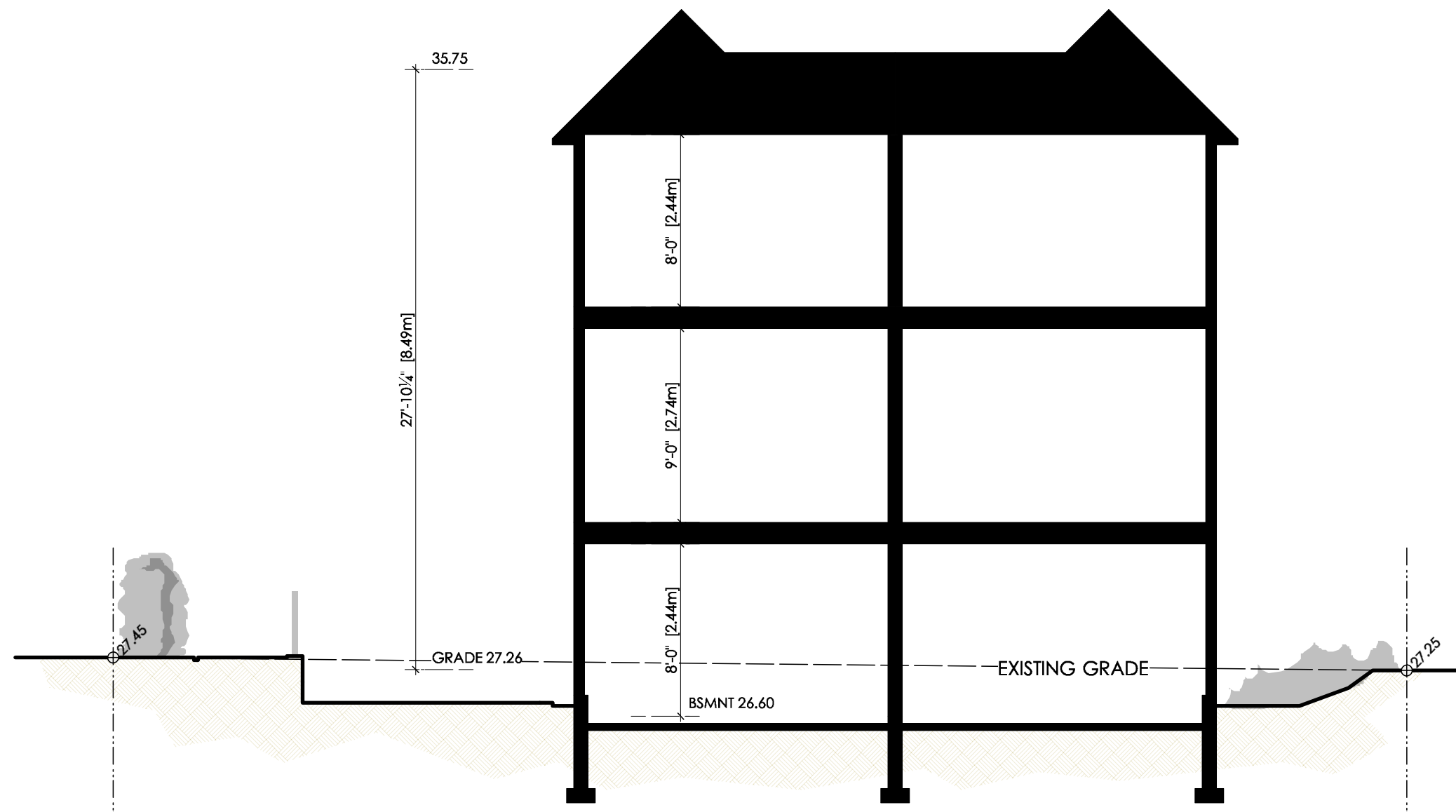
2 South Elevation, Block 2
A2.1 Scale: 1:75



3 Site Section S1, North / South
A2.1 Scale: 1:75



4 Site Section S2, East / West Block 2
A2.1 Scale: 1:75



5 Site Section S3, East / West Block 1
A2.1 Scale: 1:75

906 Old Esquimalt Road Proposed Townhouses			
TITLE	Site Section, Streetscape		
FILE	SE27.22	SCALE	as noted
PROJECT NO.	2210	DATE	Sept. 29, 2022
DRAWN BY	TDR	SHEET NO.	A2.1
ISSUE FOR	DP	REV.	

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March 20



Morning

June 20



Morning

September 20



Morning

December 20



Morning



Afternoon



Afternoon



Afternoon



Afternoon

906 Old Esquimalt Road Proposed Townhouses			
TITLE	Shadow Study		
FILE	SE27.22	SCALE	As Noted
PROJECT NO.	2210	DATE	Sept. 29, 2022
DRAWN BY	TDR	SHEET NO.	A2.2
ISSUE FOR	DP	REV.	