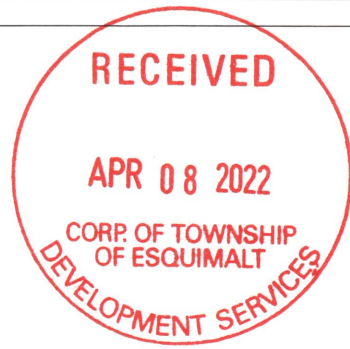


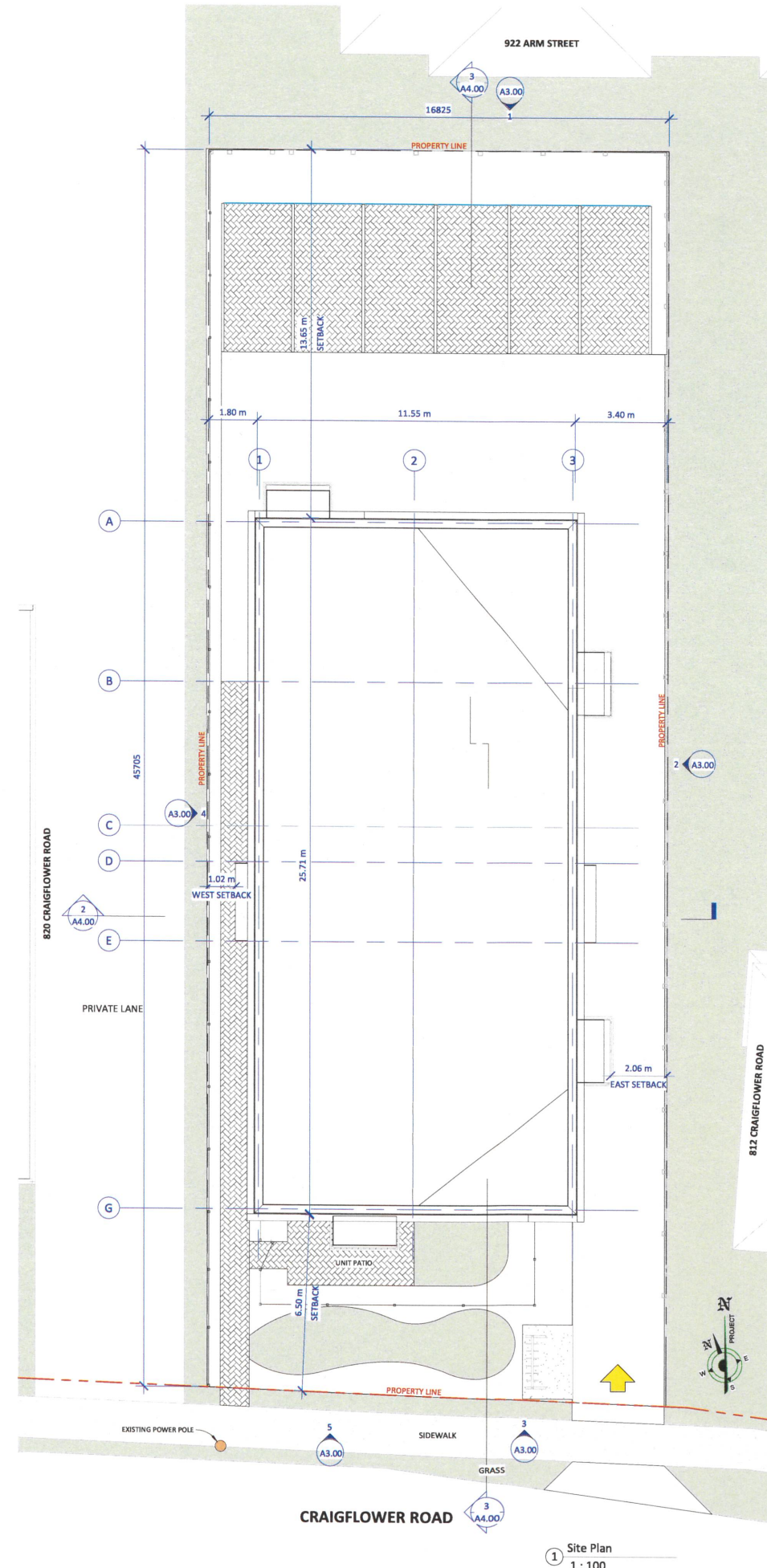
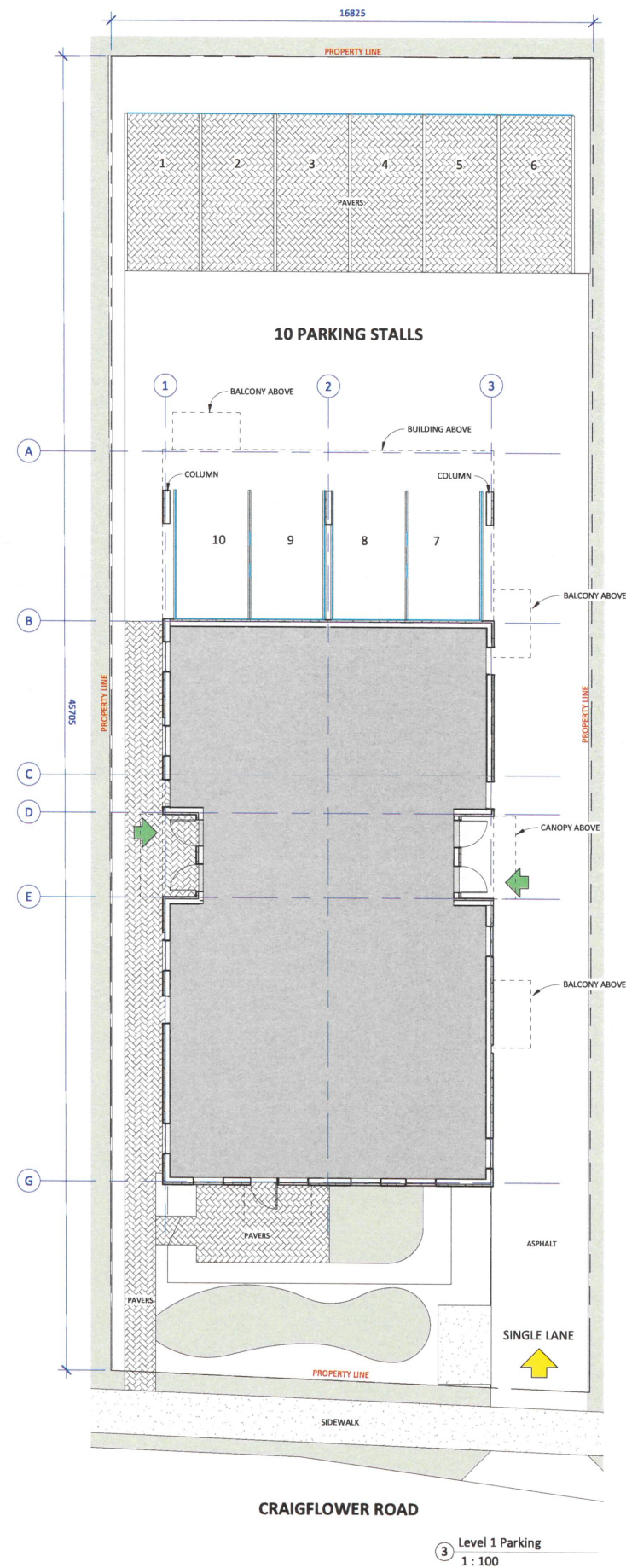


RECEIVED

APR 08 2022

CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Building Code Analysis			
NO.	ITEM	DESCRIPTION	REFERENCE(S)
GENERAL INFORMATION			
1	PROJECT TYPE	☒ NEW CONSTRUCTION ☐ ADDITION ☐ RENOV. ☐ TENANT IMPROVEMENT	-
2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018, INCLUDING ALL AMENDMENTS	-
3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A ☒ B ☐ C ☐ D ☐ E ☐ F2 ☐ F3	DIV. A - 1.3.2., 1.3.3., 1.3.4.
4	OCCUPANCY CLASSIFICATION	☒ C ☐ D ☐ E ☐ F2 ☐ F3	9.10.2.1.
5	MULTIPLE MAJOR OCCUPANCIES	☐ YES ☒ NO	9.10.2.5.
6	FIREWALL(S)	☐ YES ☒ NO	9.10.11.
7	OCCUPANT LOAD	☒ 25 TOTAL (ALL STOREYS) UNIT. OCCUPANT OCCUPANTS	9.9.1.3.
ROOM OCCUPANCY AREA (m²) UNIT. OCCUPANT OCCUPANTS			
1 Bedroom (6) Group C N/A 2 12			
2 Bedroom (2) Group C N/A 4 8			
3 Bedroom (1) Group C N/A 4 4			
Bathchelor (1) Group C N/A 1 1			
TOTAL 25			
8	BUILDING AREA (m²)	≤ 600 REQUIRED 204 PROPOSED	DIV. A - 1.3.3.3., 1.4.1.2.
9	GRADE ELEVATION (m, GEODETIC)	19.5	1.4.1.2.
10	BUILDING HEIGHT (STOREYS)	3.58	1.4.1.2., 9.10.4.
11	NUMBER OF STREETS FACING	1	1.4.1.2.
12	FIRE ALARM & DETECTION SYSTEM	☒ REQUIRED ☐ PROPOSED ☐ N/A	9.10.18.2.
13	AUTOMATIC SPRINKLER SYSTEM	☒ REQUIRED ☐ PROPOSED ☐ N/A	9.10.4.1.
14	MEZZANINE(S)	☐ YES ☒ NO	9.10.9.5.
15	INTERCONNECTED FLOOR SPACE	☐ YES ☒ NO	9.10.6.
16	CONSTRUCTION TYPE(S)	COMBUSTIBLE: ☐ PERMITTED ☐ PROPOSED ☐ N/A NON-COMBUSTIBLE: ☐ PERMITTED ☐ PROPOSED ☐ N/A	9.10.8.
17	ASSEMBLY FIRE-RESISTANCE RATINGS (F.R.R., IN HOURS)	MINIMUM RATING (LOAD-BEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLIES) 1 FLOORS ☐ MEZZANINE ☐ ROOF ☐ EXCEPT FLOORS OVER CRAWSPACES	3.2.2.54.
CONSTRUCTION CLASSIFICATION (RESIDENTIAL) GROUP C, UP TO 3 STOREYS, SPRINKLERED			
24	CONSTRUCTION TYPE(S)	COMBUSTIBLE: ☐ PERMITTED ☐ PROPOSED ☐ N/A NON-COMBUSTIBLE: ☐ PERMITTED ☐ PROPOSED ☐ N/A	3.1.4., 3.1.5.
25	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS): 45 FLOOR ☐ MEZZANINE ☐ 45 ROOF ☐ PERMITTED ☐ 3 PROPOSED	3.1.7.
26	BUILDING HEIGHT (IN STOREYS)	3 PERMITTED 3 PROPOSED	3.2.2.51.(1)(c)(v)
27	BUILDING AREA (m²)	1,800 MAXIMUM 747 PROPOSED	9.8.
STAIRS, RAMPS, HANDRAILS AND GUARDS			
27	STAIR WIDTH (mm)	EXIT OR PUBLIC STAIRS: ☐ ≥ 900 REQUIRED ☐ ≥ 860 REQUIRED SERVING A SINGLE DWELLING UNIT: ☐ ≥ 900 REQUIRED ☐ ≥ 860 REQUIRED	9.8.2.1.
28	HEIGHT OVER STAIRS AND LANDINGS (mm)	TYPICAL: ☐ ≥ 2050 REQUIRED ☐ ≥ 1950 REQUIRED SERVING A SINGLE DWELLING UNIT: ☐ ≥ 2050 REQUIRED ☐ ≥ 1950 REQUIRED	9.8.2.2., 9.8.6.4.
29	STEP DIMENSIONS (mm)	RISE, PUBLIC STAIR: 125 - 180 REQUIRED RISE, PRIVATE STAIR: 125 - 200 REQUIRED RUN, PUBLIC STAIR: 255 - 355 REQUIRED RUN, PRIVATE STAIR: 255 - 355 REQUIRED	9.8.4.1., 9.8.4.2.
30	TREAD NOSINGS (mm)	TYPICAL RADIUS: 8 - 14 REQUIRED RESILIENT TREAD RADIUS: 25 REQUIRED	9.8.4.3.
31	TACTILE WARNING STRIPS ¹	SURFACE INDICATORS AT TOP OF STAIR FLIGHTS PER 3.8.3.2. ☐ REQUIRED ¹ ☐ PROPOSED ☐ N/A	9.8.6.5.
32	RAMPS	☐ REQUIRED ☐ PROPOSED ☐ N/A	9.8.5.
33	LANDINGS (mm)	WIDTH, PUBLIC STAIR: ☐ ≥ 900 REQUIRED ☐ ≥ 860 REQUIRED LENGTH, PUBLIC STAIR: ☐ ≥ 900 REQUIRED ☐ ≥ 860 REQUIRED WIDTH, PRIVATE STAIR: ☐ ≥ 900 REQUIRED ☐ ≥ 860 REQUIRED LENGTH, PRIVATE STAIR: ☐ ≥ 900 REQUIRED ☐ ≥ 860 REQUIRED	9.8.6.3., 9.8.2.1.



Christine Lintott
Architects Inc.

Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue Date
REZONING / D.P. JANUARY 11, 2022
REZONING / D.P. REVISION 1 MARCH 5, 2022

Revision
No. Description Date
1 REZONING & D.P. 5 APR 2022
REVISION 1

Consultant

REGISTERED ARCHITECT
CHRISTINE LINTOTT
BRITISH COLUMBIA

Lapis Homes

812 Craigflower Rd.,
Victoria, B.C.

Site Plan

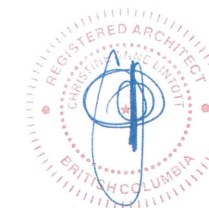
Date 2022-04-06 1:24:46 PM
Drawn by CLA
Checked by CLA
Scale As indicated

A1.00



Revision		
No.	Description	Date
1	REZONING & D.P. REVISION 1	5 APR 2022

Consultant



Lapis Homes

812 Craigflower Rd.,
Victoria, B.C.

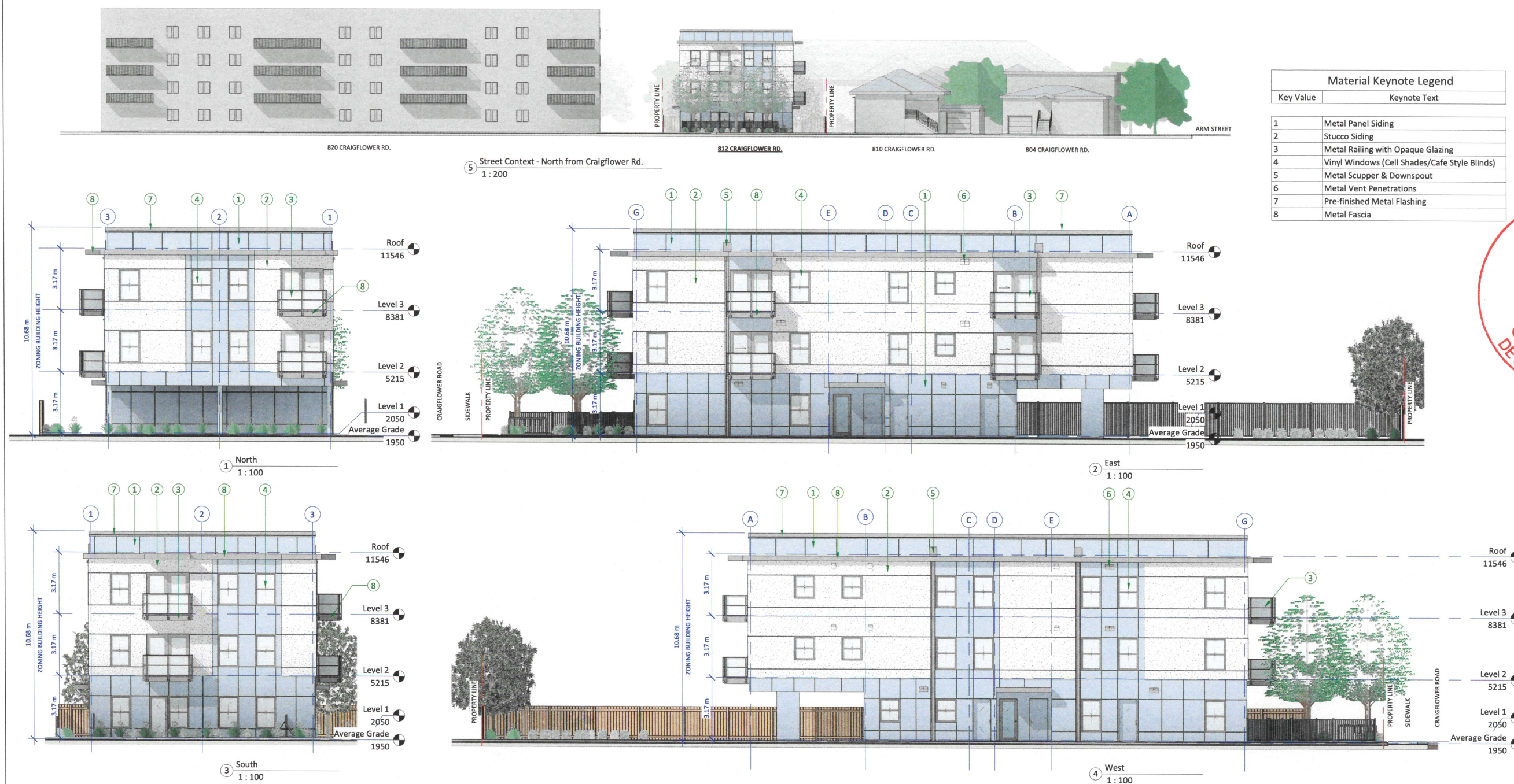
Elevations

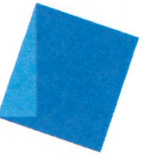
Date 2022-04-06 1:28:25 PM
Drawn by CLA
Checked by CLA

A3.00

Scale As indicated

Material Keynote Legend	
Key Value	Keynote Text
1	Metal Panel Siding
2	Stucco Siding
3	Metal Railing with Opaque Glazing
4	Vinyl Windows (Cell Shades/Cafe Style Blinds)
5	Metal Scupper & Downspout
6	Metal Vent Penetrations
7	Pre-finished Metal Flashing
8	Metal Fascia





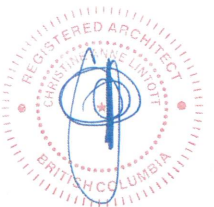
Issue Date

REZONING / D.P. JANUARY 11, 2022
REZONING / D.P. REVISION 1 MARCH 5, 2022

Revision

No.	Description	Date
1	REZONING & D.P. REVISION 1	5 APR 2022

Consultant



Lapis Homes

812 Craigflower Rd.,
Victoria, B.C.

Spatial Separation

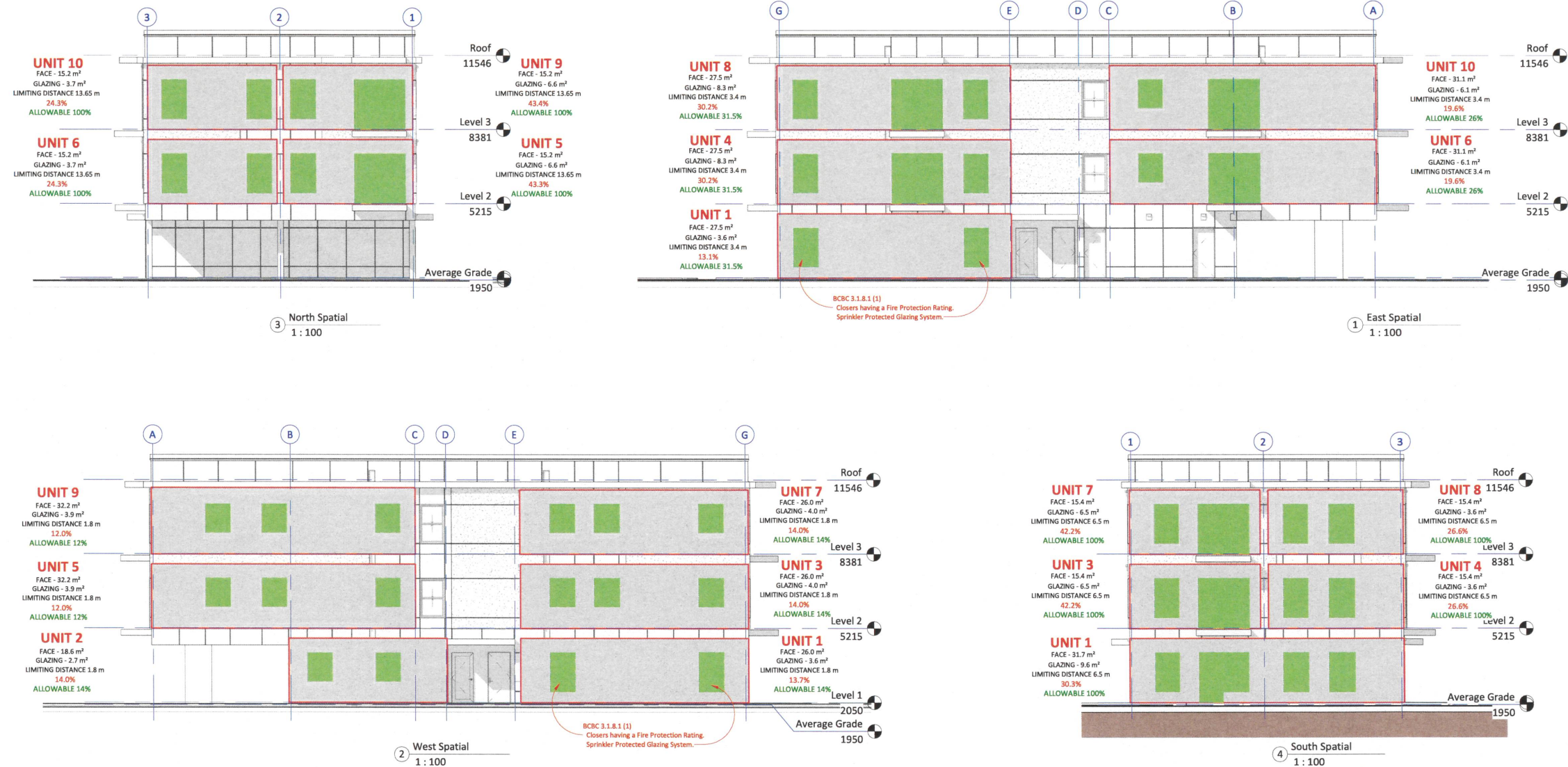
Date 2022-04-06 1:28:47 PM

Drawn by CLA

Checked by CLA

A3.01

Scale As indicated



812 CRAIGFLOWER ROAD

LIMITING DISTANCE & SPATIAL SEPARATIONS ANALYSIS FOR A SPRINKLERED BUILDING

BCBC 9.10.14.4.A																		
BUILDING FACE OR FIRE COMPARTMENT	LIMITING DISTANCE (m)	WALL AREA (m²)	GLAZING AREA (m²)	UNPROTECTED OPENINGS (%)		WALL F.R.R. ¹ (hr)	NON-COMBUSTIBLE REQUIREMENTS		BUILDING FACE OR FIRE COMPARTMENT	LIMITING DISTANCE (m)	WALL AREA (m²)	GLAZING AREA (m²)	UNPROTECTED OPENINGS (%)		WALL F.R.R. ¹ (hr)	NON-COMBUSTIBLE REQUIREMENTS		
				MAXIMUM	PROPOSED		WALL	CLADDING					MAXIMUM	PROPOSED		WALL	CLADDING	
NORTH ELEVATION																		
UNIT 10	13.65	15.2	3.7	100	24.3	1				UNIT 8	6.5	15.4	3.6	100	26.6	1		
UNIT 9	13.65	15.2	6.6	100	43.4	1				UNIT 7	6.5	15.4	6.5	100	42.2	1		
UNIT 6	13.65	15.2	3.7	100	24.3	1				UNIT 4	6.5	15.4	3.6	100	26.6	1		
UNIT 5	13.65	15.2	6.6	100	43.4	1				UNIT 3	6.5	15.4	6.5	100	42.2	1		
										UNIT 1	6.5	31.7	9.6	100	30.3	1		
EAST ELEVATION																		
UNIT 10	3.4	31.1	6.1	26	19.6	1												
UNIT 8	3.4	27.5	8.3	31.5	30.2	1				UNIT 9	1.8	32.2	3.9	12	12	1		
UNIT 6	3.4	31.1	6.1	26	19.6	1				UNIT 7	1.8	26.0	4.0	14	14	1		
UNIT 4	3.4	27.5	8.3	31.5	30.2	1				UNIT 5	1.8	32.2	3.9	12	12	1		
UNIT 1	3.4	27.5	3.6	31.5	13.1	1				UNIT 3	1.8	26.0	4.0	14	14	1		
										UNIT 2	1.8	18.6	2.7	14	14	1		
										UNIT 1	1.8	26.0	3.6	14	13.7	1		
WEST ELEVATION																		

