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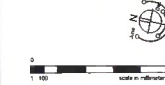
APR 16 2021

CORP. OF TOWNSHIP
OF ESQUIMALT

DEVELOPMENT SERVICES



2 Context Plan
SCALE: 1:750



rev no	description	date
1	ISSUED FOR REZONING	21 04 12

project name
820 Esquimalt Road
Esquimalt, BC

sheet title
**Site Survey, Context,
OCP & Zoning Maps**

project no	1923
drawing file	
date	21.04.12
scale	AS NOTED
drawn by	JHMZ/JM
checked by	ES
revision no	sheet no
1	A1.0

1 Site Survey
SCALE: 1:200

3 OCP & Zoning Maps
SCALE: nts



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VIEW FROM ESQUIMALT ROAD, LOOKING WEST



VIEW FROM ABOVE, LOOKING SOUTHEAST



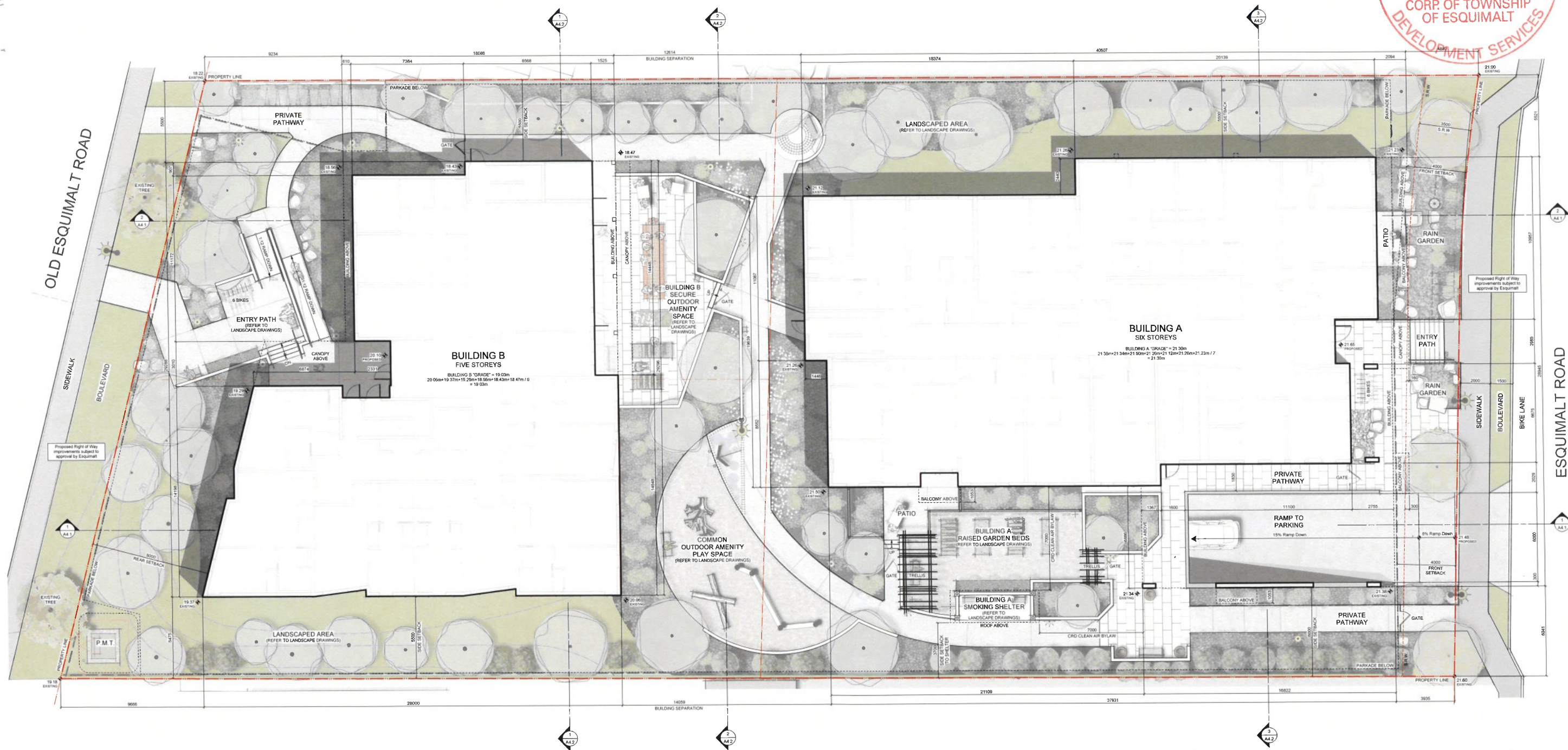
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820 Esquimalt Road		
Esquimalt, BC		
sheet title		
Illustrations		
project no.	1923	
drawing file		
date	21.04.12	
scale	AS NOTED	
drawn by	JHMZ/JM	
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1	A1.1	



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CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES1 Site Plan
SCALE: 1:100

CIVIC ADDRESS:
820 Esquimalt Road
833 Old Esquimalt Road
837 Old Esquimalt Road

CURRENT ZONING:
C-2 (833 & 837 Old Esquimalt Road)
RD-3 (833 & 837 Old Esquimalt Road)

AMALGAMATED LOT SIZE:
3599.23 sqm

BUILDING AREA:
Proposed Footprint:
Underground parkade
(including ramp)

3281.9 sqm

Building A
946.5 sqm

Building B
657.5 sqm

Smoking Shelter
(Building A)
13.0 sqm

Total Footprint
(above grade)
1027.1 sqm

FLOOR AREA:
Underground parkade
Building A:
Level 1:
Level 2:
Level 3:
Level 4:
Level 5:
Level 6:
Total:
Building B:
Level 1:
Level 2:
Level 3:
Level 4:
Level 5:
Total:
Total Floor Area

n/a

520.5 sqm
749.5 sqm
749.5 sqm
749.5 sqm
749.5 sqm
587.7 sqm
4115.2 sqm

291.4 sqm
508.9 sqm
508.9 sqm
508.9 sqm
422.1 sqm
2239.2 sqm
8348.4 sqm

FLOOR AREA RATIO:
Proposed: 1.76 (8348.4 / 3599.23)

LOT COVERAGE:
Proposed: 91%
Footprint of underground parkade, including ramp
Footprint of above grade residential buildings

BUILDING HEIGHT:
Building A: 5 Storeys
19.6m From average existing grade (refer to site plan)
Building B: 5 Storeys
16.8m From average existing grade (refer to site plan)

SETBACKS:
Parkade:
Building A:
Esquimalt Rd.
East Side
West Side
Rear
Building B:
Old Esquimalt Rd.
East Side
West Side
Rear
Building A Smoking Shelter:
West Side

n/a

4.0m
5.0m
6.0m to building face
(1.1m balcony projection)
n/a

0.0m
5.5m
5.5m
n/a
3.7m

UNIT COUNT:
Building A:
Studio:
1 Bedroom:
2 Bedrooms:
3 Bedrooms:
Total:
Building B:
Studio:
1 Bedroom:
2 Bedrooms:
3 Bedrooms:
Total:
Total Units

24
29
16
4
73

4
40
4
0
44
117

UNIT ACCESSIBILITY:
Building A:
Accessible 1 Bedroom:
Adaptable 1 Bedroom:
Building B:
Accessible 1 Bedroom:
Adaptable 1 Bedroom:
Total Accessible Units

4
25
4
36
8 (6.8%)

Note: All units, interior and exterior
common areas are designed to
universal design standards.

PARKING REQUIRED:
Building A:
Required stalls:
(Required Handicap Stalls: 2)
Building B:
Required stalls:
(Required Handicap Stalls: 4)
Total Stalls Required

94
22
116

PARKING PROPOSED:
Standard Stalls:
Small Car Stalls
(Handicap Stalls: 6)
Total Stalls:
Variance Required:
BICYCLE PARKING:
Provided:
116 Covered/Secure
12 Uncovered
(6 at each building entry)

59
31 (38%)
90
26 stalls

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1	ISSUED FOR REZONING	21.04.12
2	Project Data	21.04.12

project name
820 Esquimalt Road
Esquimalt, BC

sheet title
Site Plan

project no.
1923

drawing file
date
21.04.12

scale
AS NOTED

drawn by
JHMZ/JM

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ES

revision no.
1

sheet no.
A2.0

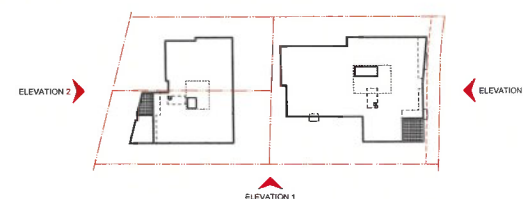


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Materials Key

- 1 Panelized Cladding w/
Horizontal Joints - Warm Grey
- 2 Prefinished Metal Cladding w/
Vertical Corrugations - Charcoal
- 3 Prefinished Metal Fascia/Panel
- Charcoal
- 4 Prefinished Metal Panel
- Champagne
- 5 Windows / Doors
- Charcoal or Champagne
- 6 Glass Guard w/
Prefinished Metal Cap Rail
- 7 Architectural Concrete



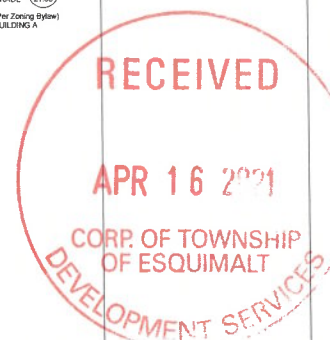
1 Building A & B - West Elevation
SCALE: 1:100



2 Building B - North Elevation
SCALE: 1:100



3 Building A - South Elevation
SCALE: 1:100



scale in millimeters

rev no	description	date
1	ISSUED FOR REZONING	21.04.12
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Esquimalt, BC		
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Elevations		
project no.		
1923		
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21.04.12		
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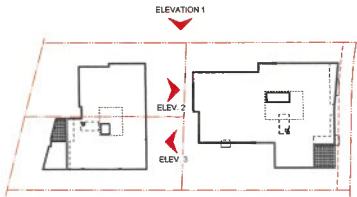


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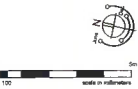
1 Building A & B - East Elevation
SCALE: 1:100



2 Building A - North Elevation
SCALE: 1:100



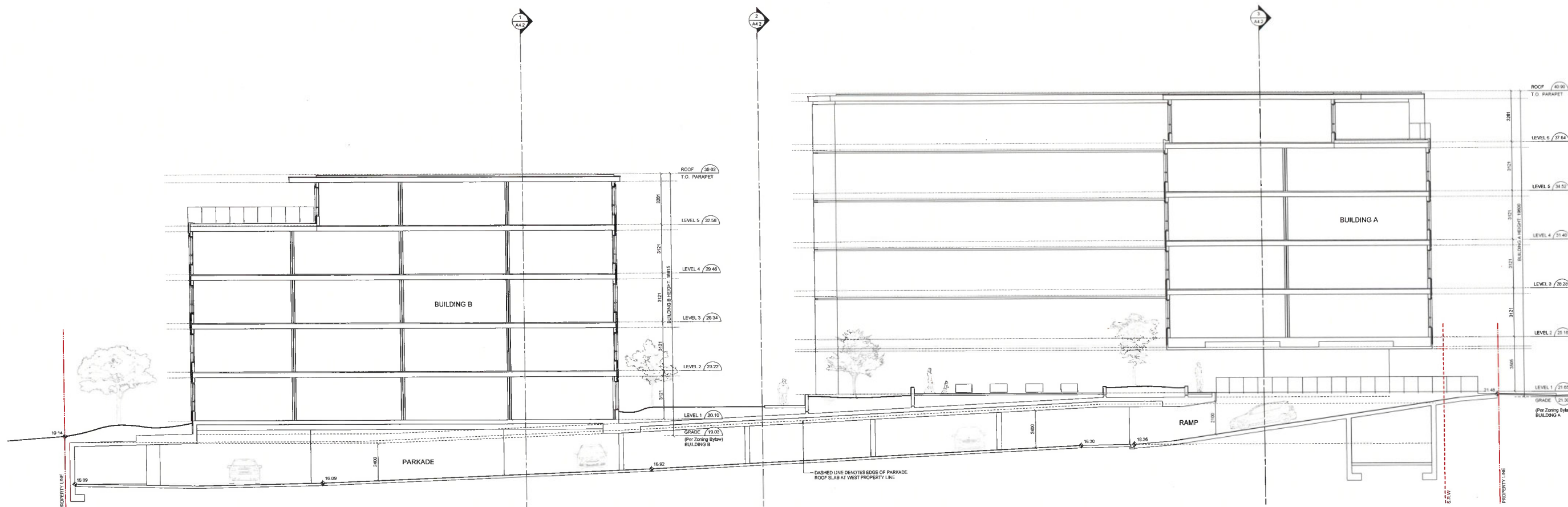
3 Building B - South Elevation
SCALE: 1:100



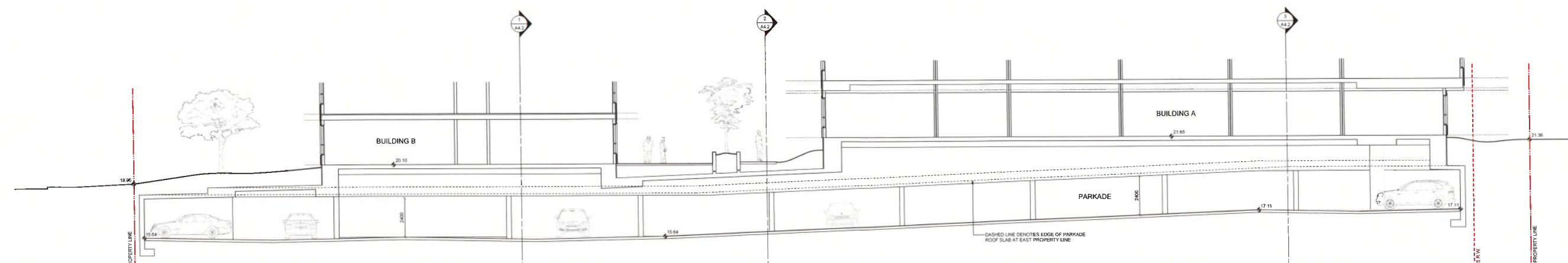
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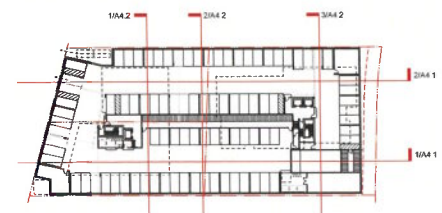
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1 North - South Building Section
SCALE: 1:100



2 North - South Parkade Section
SCALE: 1:100



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OF ESQUIMALT
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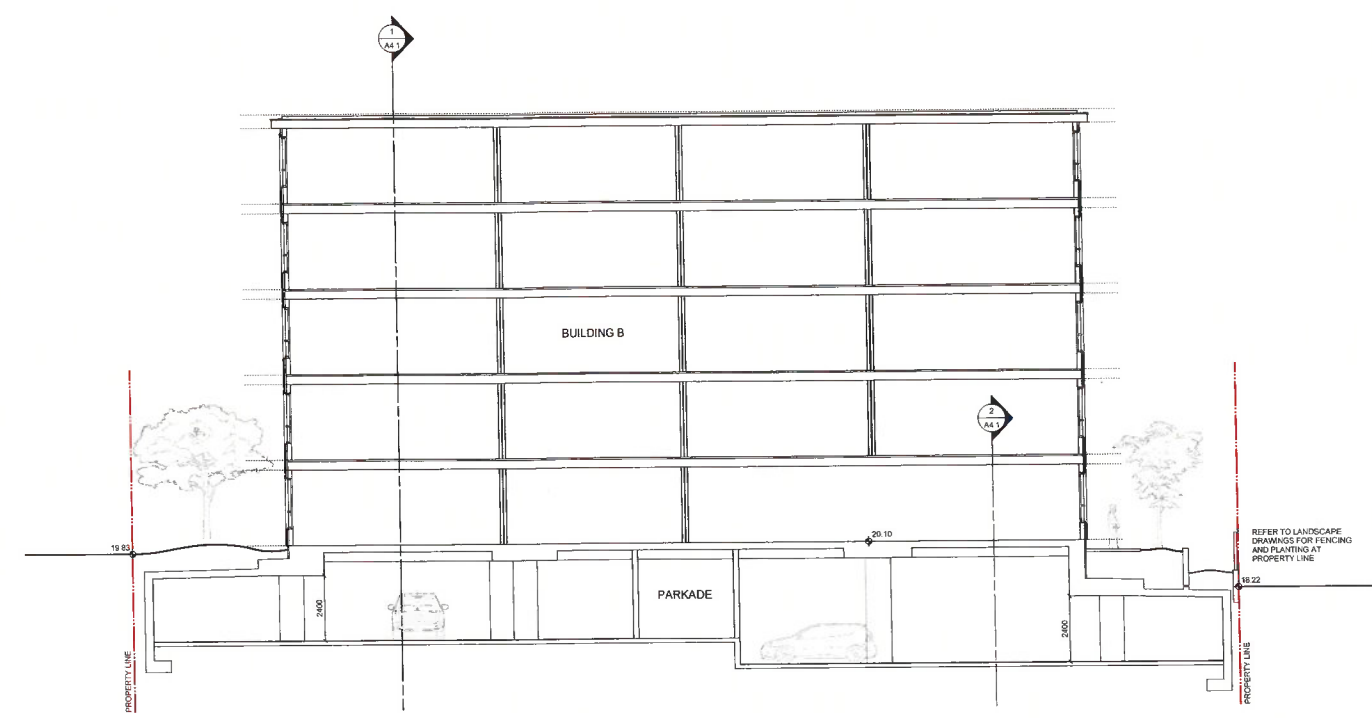


Scale in millimeters
1 100

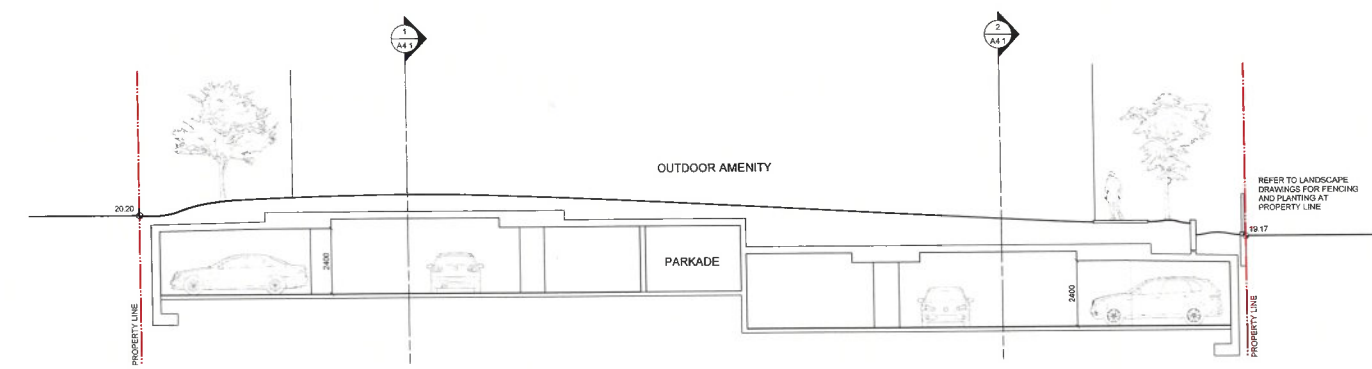
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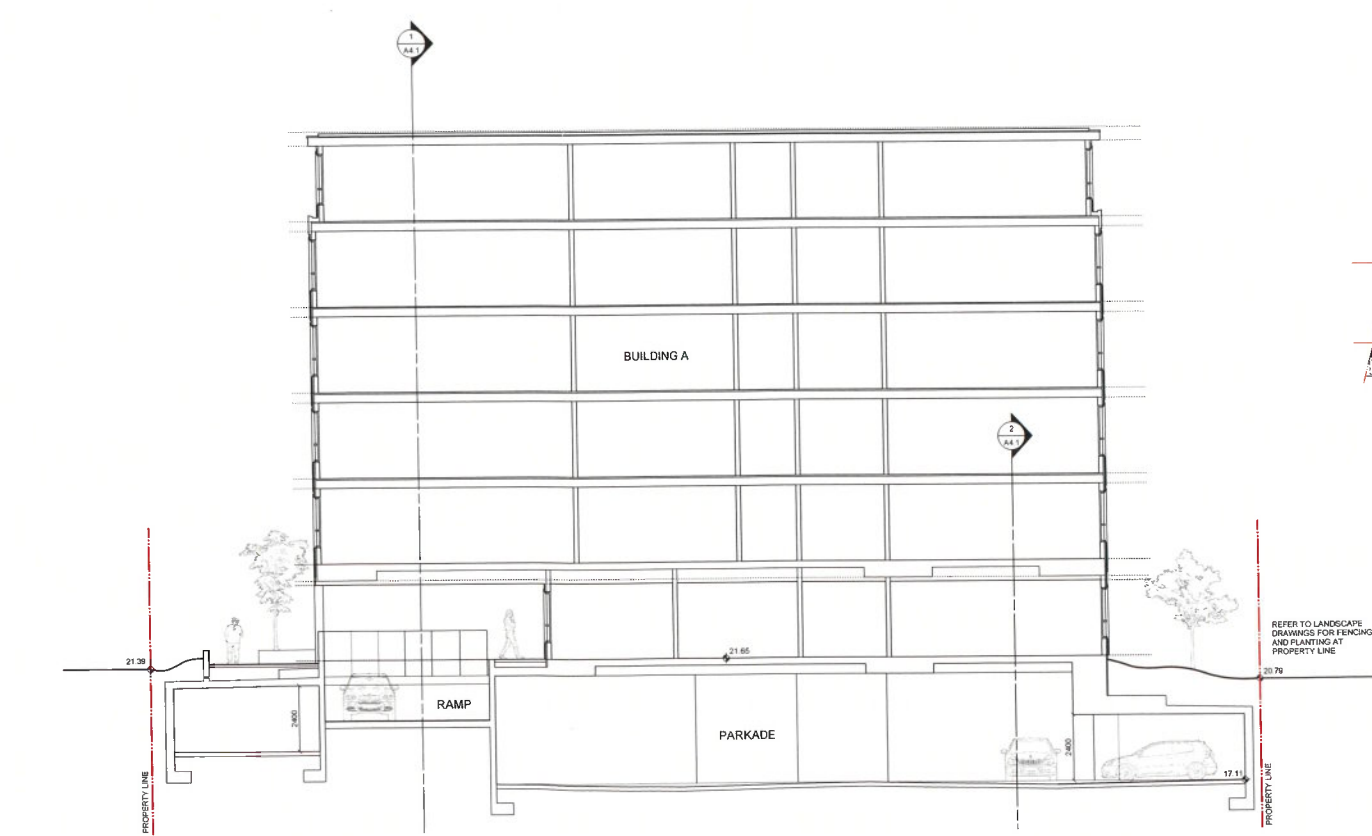
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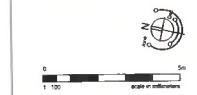
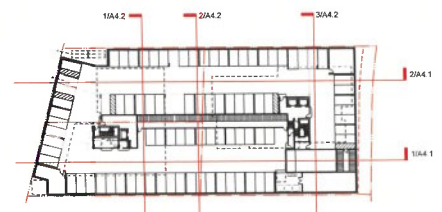
1 E-W Building B Section
SCALE: 1:100



2 East - West Parkade Section
SCALE: 1:100



3 E-W Building A Section
SCALE: 1:100



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sheet title		
Sections		
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