

SITE DATA					
LOT AREA:	3191.9 m ²				
BUILDING AREA:	1794.6 m ²				
SITE COVERAGE:	55.9%				
STOREYS:	2 STOREYS				
UNIT AREAS & USES:	PARKING REQUIREMENTS: AS DEVELOPED BY BC AIA 1982, NO. 2011				
EXISTING CONDITIONS:	UNIT 1:	609.5m ²	WAREHOUSE & STORAGE	[RADA RESURFACING ENT. LTD.]	1 stall per 250m ² = 2 stalls required
	UNIT 2:	634.3m ²	LIGHT MANUFACTURING ESTABLISHMENT	[KARMAHAW WOOD DESIGN LTD.]	1 stall per 100m ² = 6 stalls required
PROPOSED CONDITIONS:	UNIT 3:	257.1m ²	LIGHT MANUFACTURING / PROCESSING ESTABLISHMENT (BEVERAGE)	[ESQUIMALT WINE COMPANY] - ROOTSIDE BITTERS & MIXERS	1 stall per 100m ² = 3 stalls required
	UNIT 3:	197.1m ²	LIGHT MANUFACTURING / PROCESSING ESTABLISHMENT (BEVERAGE)	[ESQUIMALT WINE COMPANY] - ROOTSIDE BITTERS & MIXERS	1 stall per 100m ² = 2 stalls required
		60m ²	LICENSED LIQUOR ESTABLISHMENT		1 stall per 6 seats with a minimum of 1 stall per 14m ² = 4 stalls required
					Total stalls required = 8 stalls required
SECOND FLOOR:	UNIT 4:	283.6m ²	WAREHOUSE & SUBSIDIARY OFFICE	[STONE DESIGN INC.]	1 stall per 250m ² = 1 stall required
	UNIT 5:	125.8m ²	OFFICE	[UNKNOWN]	1 stall per 30m ² = 4 stalls required
	UNIT 6:	199.0m ²	WAREHOUSE & SUBSIDIARY OFFICE	[UNKNOWN]	1 stall per 250m ² = 1 stall required
					Total existing stalls = 20 stalls
					Total required stalls = 20 stalls

1
A2 SITE PLAN
1:150



PROJECT:
**TENANT
IMPROVEMENT -
TASTING ROOM**

PROJECT ADDRESS:
3-859 DEVONSHIRE RD,
VICTORIA, BC

CLIENT:



ISSUED FOR:
DVP

REVISION NO.: DATE:

SAC PROJECT NO.:
DEV-859-21

DRAWN BY:
CW

DATE:
SEPTEMBER 29, 2021

SCALE:
AS SHOWN

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:

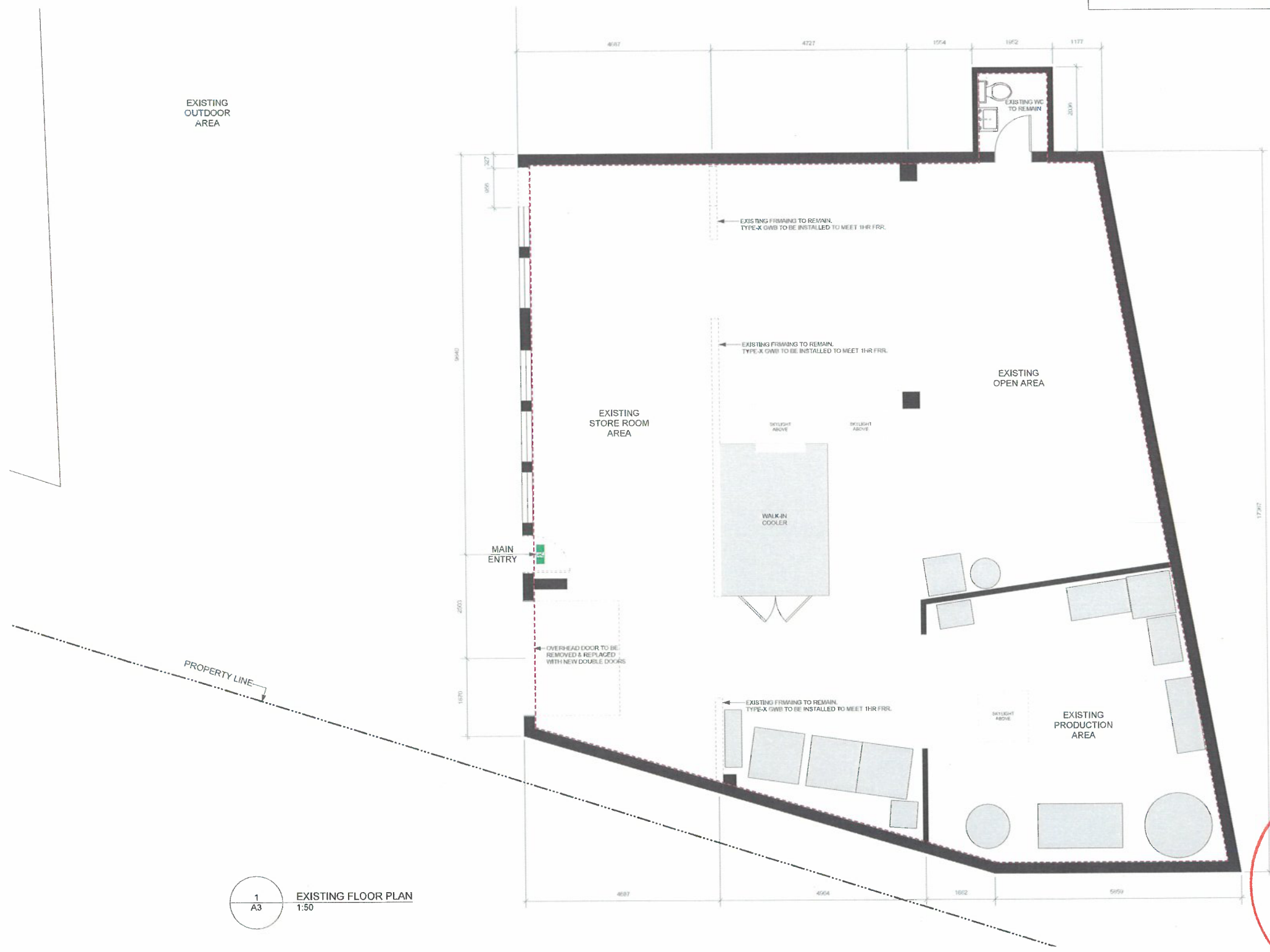
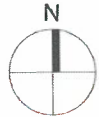
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FLOOR AREA CALCULATION (PROPOSED)				
LOCATION				
MAIN FLOOR	GROUP A, DIVISION 2	=	83.8m ²	(33%)
	GROUP F, DIVISION 3	=	173.2m ²	(67%)
TOTAL AREA =			257.1m ²	

DRAWING LEGEND	
TRAVEL DISTANCE (m)	
EXIT SIGN (GREEN RUNNING PERSON)	
EXISTING EQUIPMENT TO REMAIN	
NEW ASSEMBLY AREA (A-2)	
EXISTING LIGHT MANUFACTURING AREA (F-3)	

GENERAL NOTES	
1. ALL CONSTRUCTION TO CONFORM TO 2018 BC BUILDING CODE AND TO THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.	
2. ALL DIMENSIONS AND DETAILS TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES NOTED IN THESE DRAWINGS TO BE BROUGHT TO ATTENTION OF THE PROJECT MANAGER AND ARCHITECT.	
3. DO NOT SCALE DRAWINGS.	
4. EXCEPT AS OTHERWISE INDICATED, DIMENSIONS ARE CLEAR TO FACE OF NEW DRYWALL (GWB) OR TO ANY EXISTING WALL SURFACES, COUNTERTOP, ETC.	
5. ALL WORK TO COMPLY WITH WORKSAFE BC STANDARDS.	
6. ALL ASPECTS OF NON-STRUCTURAL SEISMIC RESTRAINTS TO BE MET.	
7. MAINTAIN SECURITY OF BUILDING AT ALL TIMES.	

ASSEMBLY LEGEND	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE REMOVED	
PROPOSED 1 HR WALL	
PROPOSED EXTERIOR INERT WALL	



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A3
EXISTING FLOOR PLAN
1:50

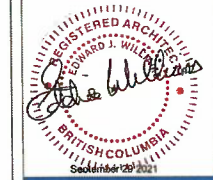


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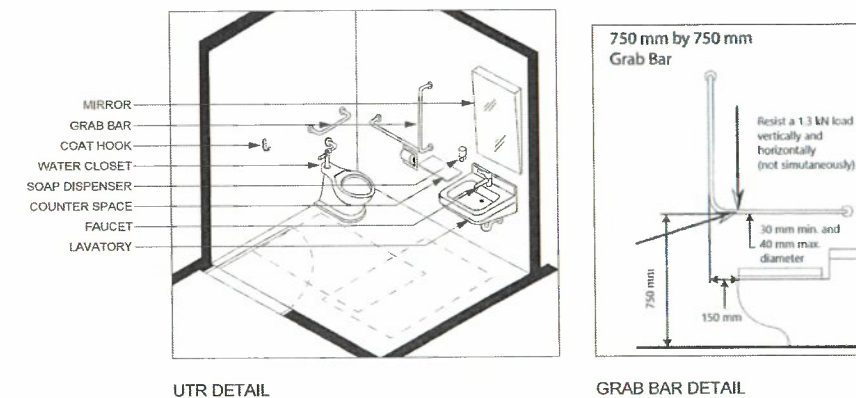
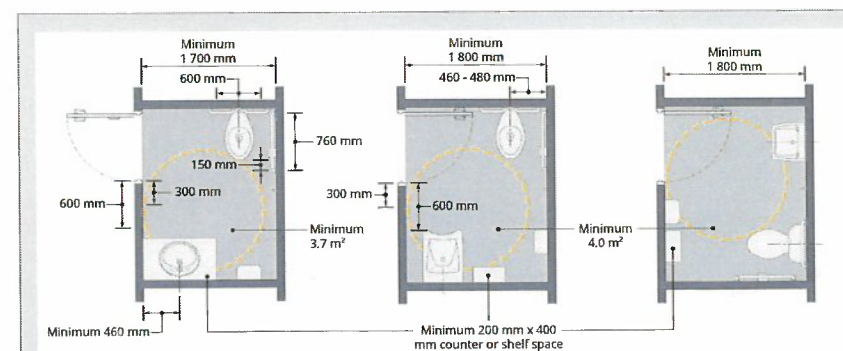
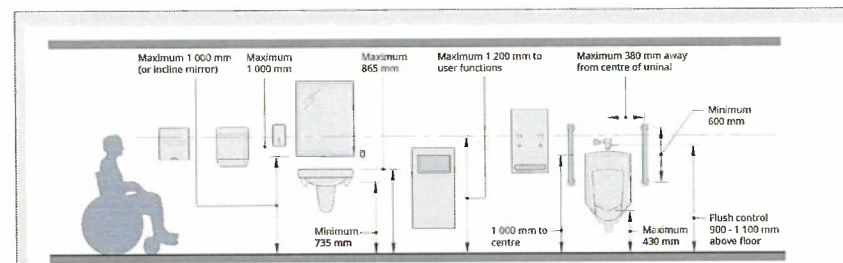
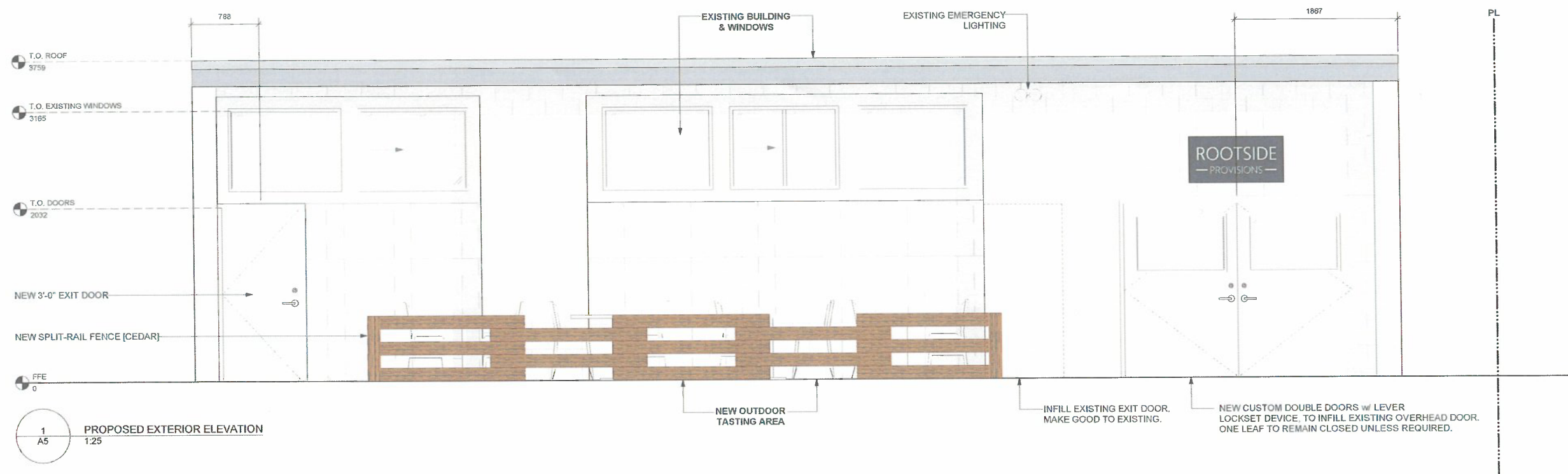
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**EXISTING
FLOOR PLAN**

DRAWING NUMBER:
A3



UNIVERSAL WASHROOM NOTES

DOORS:
-DOOR TO HAVE LATCH-OPERATING MECHANISM LOCATED 900mm TO 1100mm ABOVE THE FLOOR.
-BE OPERABLE WITH ONE HAND IN A CLOSED FIST POSITION.

WATER CLOSET:
 -BE EQUIPPED WITH A SEAT THAT IS NOT THE SPRING-UP TYPE LOCATED 430mm TO 480mm ABOVE THE FLOOR.
 -FLUSH AUTOMATICALLY OR BE EQUIPPED WITH A FLUSHING CONTROL THAT IS LOCATED 500mm TO 900mm ABOVE THE FLOOR, IS LOCATED NOT MORE THAN 300mm FROM THE TRANSFER SIDE, IS OPERABLE WITH ONE HAND.
 -BE EQUIPPED WITH A SEAT LID OR OTHER BACK SUPPORT, AND WHERE IT HAS A TANK, HAVE A SECURELY ATTACHED TANK TOP.

LAVATORY:
-AN ACCESSIBLE WASHROOM SHALL BE PROVIDED WITH AT LEAST ONE LAVATORY.
-BE LOCATED TO PROVIDE A CLEAR FLOOR SPACE IN FRONT OF THE LAVATORY OF NOT LESS THAN 920mm WIDE BY 1350mm DEEP CENTRED ON THE LAVATORY.

COUNTER SPACE:
UNLESS COUNTER SPACE OF NOT LESS THAN 200mm BY 400mm IS PROVIDED, HAVE A SHELF LOCATED NOT MORE THAN 1200mm ABOVE THE FLOOR WITH A USEABLE SURFACE OF NOT LESS THAN 200mm BY 400mm.

GRAB BARS:

- ONE L-SHAPED BAR IS REQUIRED TO BE INSTALLED ON THE WALL NEXT TO THE SEAT.
- SHALL BE SLIP-RESISTANT AND FREE OF ANY SHARP OR ABRASIVE ELEMENTS.
- BE MOUNTED ON SURFACES THAT ARE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.
- BE 30MM TO 40MM IN DIAMETER, WHERE MOUNTED ON A WALL, HAVE A CLEARANCE OF 35MM TO 45MM FROM THE WALL.

FAUCETS:
-FAUCETS TO OPERATE AUTOMATICALLY OR HAVE A MANUAL CONTROL THAT IS OPERABLE WITH ONE HAND IN A CLOSED FIST POSITION.

SOAP DISPENSER:
-HAVE A SOAP DISPENSER THAT IS AUTOMATIC OR CAN BE OPERABLE WITH ONE HAND IN A CLOSED FIST.
-IS NOT MORE THAN 1100MM ABOVE THE FLOOR, WITHIN 500MM FROM THE FRONT OF THE LAVATORY.

MIRROR:
-MIRROR MOUNTED WITH BOTTOM EDGE NOT MORE THAN 1000MM ABOVE THE FLOOR, OR FIXED IN AN INCLINED POSITION.

COAT HOOK:
-COAT HOOK MOUNTED NOT MORE THAN 1200MM ABOVE THE FLOOR ON A SIDE WALL & PROJECTING NOT MORE THAN 50MM FROM THE WALL.

TOWEL DISPENSER:
-HAVE A TOWEL DISPENSER OR OTHER HAND-DRYING EQUIPMENT LOCATED CLOSE TO THE LAVATORY, WITH OPERATING CONTROL NOT MORE THAN 1200MM ABOVE THE FLOOR AREA THAT IS ACCESSIBLE TO PERSONS USING WHEELCHAIRS.

PROJECT:
TENANT
IMPROVEMENT -
TASTING ROOM

PROJECT ADDRESS:

3-859 DEVONSHIRE RD,
VICTORIA, BC

CLIENT:

steller
ARCHITECTURAL
CONSULTING

210-4252 Commons Circle
Victoria, BC V8E 4B2
250-284-5079

Professional Engineer Seal for Edward J. Wilkins, Registered Architect, British Columbia, dated September 12, 2021.

ISSUED FOR:

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UTR DETAILS

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RECEIVED

OCT 01 2021

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

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