

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Development Variance Permit

NO. DVP00115

Owners: 852 and 854 Esquimalt Road Ltd.
880 – 1090 West Georgia Street
Vancouver, BC
V6E 3V7

Lands: PID 026-691-418; Lot A, Section 11, Esquimalt District, Plan
VIP80973, and
PID 002-925-966; Lot 2, Section 11, Esquimalt District, Plan 23904

Address: Current: 856 and 858 Esquimalt Road, Esquimalt, BC
New: 852 and 854 Esquimalt Road, Esquimalt, BC

Conditions:

1. This Development Variance Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Variance Permit regulates the development of lands by varying the provisions of Zoning Bylaw, 1992, No. 2050 as described in Schedule A.
3. Approval of this Development Variance Permit has been issued in general accordance with the site plan prepared by J.E. Anderson & Associates, stamped "Received December, 23, 2021", consistent with the architectural plans provided by WA Architects, stamped "Received May 27, 2022", attached hereto as Schedule 'B'.
4. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.

5. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
6. For the purposes of this Development Variance Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE ____
DAY OF _____, 2022.

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS ____
DAY OF _____, 2022.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt

**Schedule A – Variances to Zoning Bylaw, 1992, No. 2050, Section 67.67
[Comprehensive Development District No. 80 (CD-80)]**

Commercial Space

Zoning Bylaw, 1992, No. 2050, Section 67.67 (5) Commercial Space:

replace:

“The minimum Floor Area dedicated to Commercial Uses shall not be less than 934 square metres.”

with the following:

The minimum Floor Area dedicated to Commercial Uses shall not be less than 802 square metres, comprising at least 2 commercial units, with the smallest commercial unit measuring not less than 115 square metres.

Lot Coverage

Zoning Bylaw, 1992, No. 2050, Section 67.67 (7) Lot Coverage,

replace:

“All Principal Buildings and Structures combined shall not cover more than 39% of the Area of a Parcel.”

with the following:

(7) Lot Coverage

- (a) Principal Buildings shall not cover more than 83% of the Area of the Parcel including a parking structure,
- (b) Notwithstanding 7(a), that portion of the Principal Building constructed at or above the First Storey shall not cover more than 50% of the Area of the Parcel.

Siting Requirements

Zoning Bylaw, 1992, No. 2050, Section 67.67 Section (8) Siting Requirements,

replace:

“(8) Siting Requirements”

THIS IS SCHEDULE A OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00115

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Principal Buildings

- (a) No Building shall be located within 3 metres of the Front Lot Line.
- (b) The eastern wing of the southern Building shall not be located within 7.5 metres of the eastern Interior Side Lot Line.
- (c) The northwestern wing of the southern Building shall not be located within 8.9 metres of the western Interior Side Lot Line.
- (d) The southwestern wing of the southern Building shall not be located within 9.9 metres of the western Interior Side Lot Line.
- (e) The northernmost Building shall not be located within 6.9 metres of the eastern Interior Side Lot Line nor within 10.7 metres of the western Interior Side Lot Line.
- (f) No Building shall be located within 3.2 metres of the Rear Lot Line.
- (g) The separation between the eastern wing of the southern Building and the northernmost Building shall not be less than 14 metres.
- (h) The separation between the northwestern wing of the southern Building and the northernmost Building shall not be less than 22 metres.
- (i) The separation between the northwestern wing of the southern Building and the southwestern wing of the southern Building shall not be less than 12 metres.”

with the following:

(8) Siting Requirements

Within this CD-80 Zone, lot lines and setbacks shall be determined in accordance with Figure 1 (below).

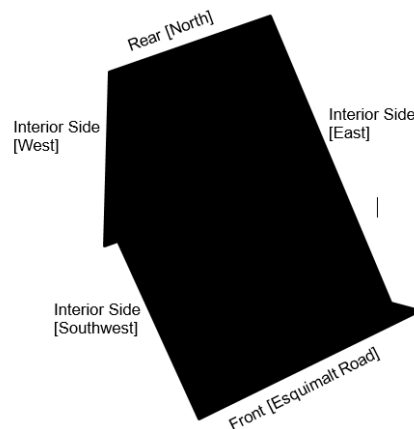


Figure 1.

THIS IS SCHEDULE A OF
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(a) Principal Buildings

- (i) No Building shall be located within 7.1 metres of the Front [Esquimalt Road] Lot Line.
- (ii) The northwest wing of the southern Principal Building [Building A] shall not be located within 4.3 metres of the Interior Side [West] Lot Line.

- (iii) The southwest corner of the southern Principal Building [Building A] shall not be located within 3.1 metres of the Interior Side [Southwest] Lot Line.
- (iv) The western wing of the southern Principal Building [Building A] shall not be located within 11.9 metres of the Interior Side [East] Lot Line.
- (v) No Building shall be located within 7.5 metres of the Rear [North] Lot Line.
- (vi) The northern Principal Building [Building B] shall not be located within 7.7 metres of the Interior Side [East] Lot Line.
- (vii) The northern Principal Building [Building B] shall not be located within 6.4 metres of the Interior Side [West] Lot Line.
- (viii) The separation between the east wing of the southern Principal Building [Building A] and the south wing of the northern Principal Building [Building B] shall not be less than 17.5 metres.
- (ix) The separation between the northwest wing of the southern Principal Building [Building A] and the west wing of the northern Principal Building [Building B] shall not be less than 12.5 metres.
- (x) The separation between the northwestern wing of the southern Principal Building [Building A] and the south wing of the northern Principal Building [Building B] shall not be less than 20.0 metres.

(b) Principal Building Siting Exceptions

- (i) Notwithstanding Section 10 (a) within CD-80 the minimum distance to a Lot Line may be reduced by not more than the following distances to accommodate the parking structure situated below the First Storey of a Principal Building:

- 1. Front [Esquimalt Road] Lot Line: 3.0 metres
- 2. Rear [North Side] Lot Line: 7.0 metres
- 3. Interior Side [East] Lot Line: 1.5 metres
- 4. Interior Side [West] Lot Line: 5.5 metres

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- (ii) Notwithstanding Section 10 (a) The minimum distance to the Front [Esquimalt Road] Lot Line may be reduced by not more 2.2 metres to accommodate a canopy attached to and forming part of the southern Principal Building [Building A].
- (iii) Notwithstanding Section 10 (a) The minimum distance to the Interior Side [East] Lot Line may be reduced by not more 1.0 metres to accommodate a covered entrance architectural feature on the second storey attached to and forming part of the northern Principal Building [Building B].

- (iv) Notwithstanding Section 10 (a) The minimum distance to an Interior Side [West] Lot Line may be reduced by not more 1.1 metres to accommodate a balcony attached to and forming part of the southern Principal Building [Building A].
- (v) Notwithstanding Section 10 (a) The minimum distance to a Rear [North] Lot Line may be reduced by not more 1.0 metres to accommodate a balcony attached to and forming part of the northern Principal Building [Building B].
- (vi) Notwithstanding Section 10 (a) The minimum distance to an Interior Side [East] Lot Line may be reduced by not more 1.0 metres to accommodate a balcony attached to and forming part of the Principal Building [Building B].
- (vii) Notwithstanding Section 10 (a) The minimum distance between two principal buildings may be reduced by not more than 3.2 metres to accommodate balconies attached to and forming part of the Principal Building.
- (viii) Notwithstanding Section 10 (a) stairs to the underground parkade located between the Principal Buildings shall be except from a building separation setback.

Off Street Parking

Zoning Bylaw, 1992, No. 2050, Section 67.67 Section (10) Off Street Parking

replace:

“Notwithstanding Section 13 of Parking Bylaw, 1992, No. 2011 (as amended), the minimum number of required off street parking spaces shall be provided as follows:

- (a) Commercial Use = 46 spaces (plus 1 Loading Space).*
- (b) Dwelling Apartment Use (Southernmost Building) = 110 spaces including no less than 26 Visitor Spaces.*
- (c) Dwelling Townhouse Use (Southernmost Building) = 8 spaces.*
- (d) Dwelling Apartment Use (Northernmost Building) = 91 spaces including no less than Nineteen (19) Visitor Spaces (plus one [1] Loading Space).*
- (e) Dwelling Townhouse Use (Northernmost Building) = 22 spaces.”*

with the following:

(10) Off Street Parking

Notwithstanding Section 13 of Parking Bylaw, 1992, No. 2011 (as amended), the minimum number of required off street parking spaces shall be provided as follows:

- (a) Commercial Use = 29 spaces for 802 m² of commercial space (i.e., 1 space per 28 m² of commercial space).
- (b) Dwelling Apartment Use

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- (i) 211 spaces shall be provided,
 - (ii) with a minimum ratio of 1.065 spaces per dwelling unit,
 - (iii) including a minimum of 6 persons with disabilities spaces,
 - (iv) including a minimum of 19 spaces designated for and marked "Visitor",
 - (v) including 1 (one) space designated for a car share vehicle and marked "Car Share Space".
- (c) Two loading spaces shall be provided in the surface parking area having dimensions of not less than 3 metres in width and 7.5 metres in length and shall be clearly designated for and marked as a "Loading" area.
- (d) Bicycle parking stalls for at least 240 bicycles with a minimum 234 long-term stalls inside the building, and a minimum 6 short-term stalls at the surface level in at least three bike racks.

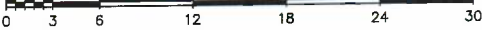
THIS IS SCHEDULE A OF
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THIS IS SCHEDULE **B** OF
DEVELOPMENT VARIANCE
PERMIT NO. **DVP00115**

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Scale 1:300



The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:300.

This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.

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Subject to charges, legal notations, and interests shown on: Title No. CA7551061 (P.I.D. 002-925-966)
Title No. CA7551063 (P.I.D. 026-691-418)

All distances are in metres and decimals thereof.

Total lot area of Lot 2 Plan 23904 and Lot A Plan VIP80973: 7028m²

Note: Proposed Buildings information provided by WA Architects.

Building Coverage is calculated by the outer most limit of building foundation, balconies, and building above ground floor.



SITE PLAN WITH
PROPOSED BUILDINGS

PC URBAN

LOT 2, PLAN 23904 AND
LOT A, PLAN VIP80973,
BOTH IN SECTION 11,
ESQUIMALT DISTRICT

ADDRESS : 856-858 Esquimalt Road

PROJECT SURVEYOR : CWG

DRAWN BY : SAL DATE : SEP 23/21

OUR FILE : 32253 REVISION : DEC 23/21

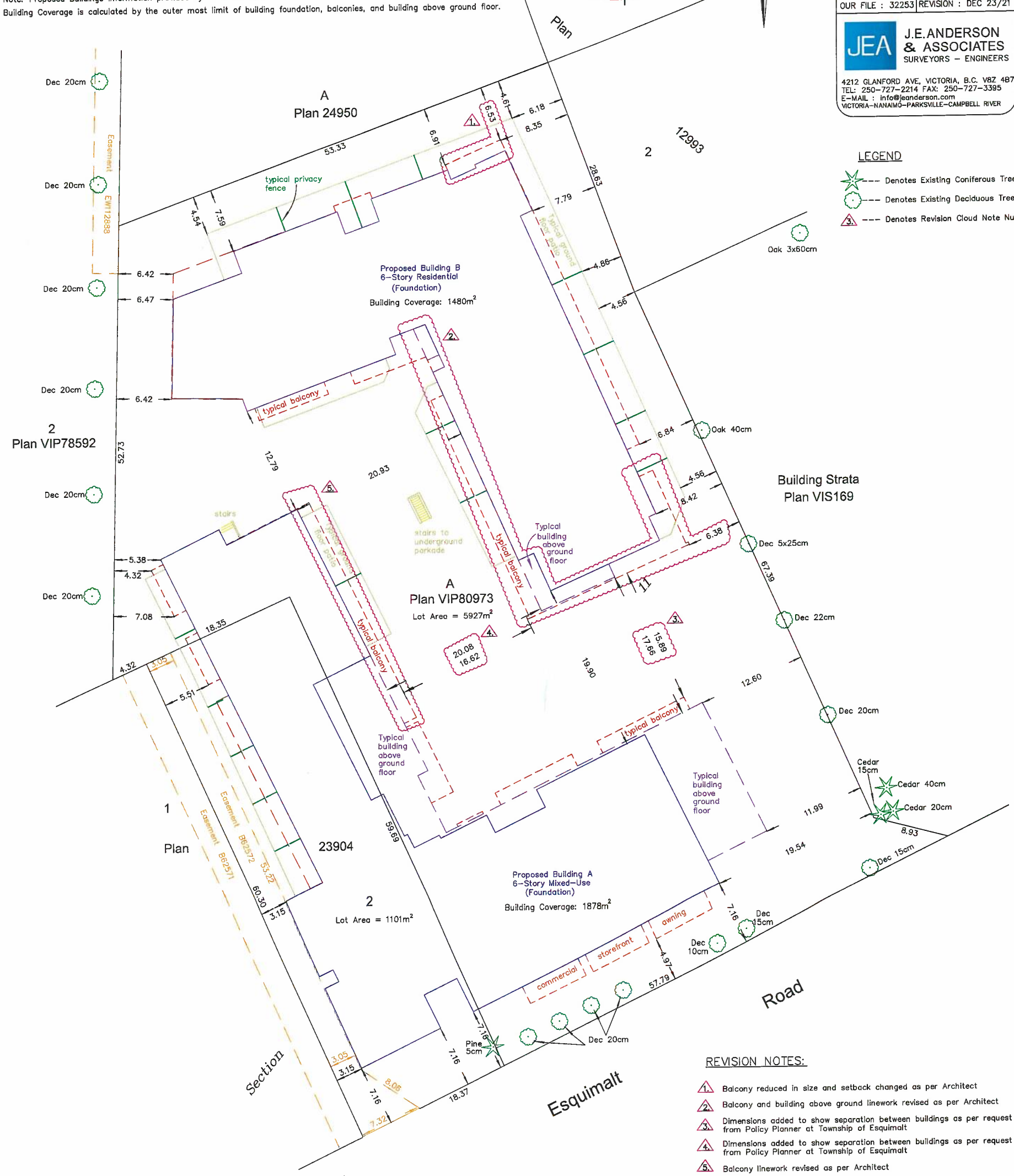


J.E. ANDERSON
& ASSOCIATES
SURVEYORS - ENGINEERS

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E-MAIL : info@jeanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

LEGEND

- Denotes Existing Coniferous Tree
- Denotes Existing Deciduous Tree
- Denotes Revision Cloud Note Number



REVISION NOTES:

- △ Balcony reduced in size and setback changed as per Architect
- △ Balcony and building above ground linework revised as per Architect
- △ Dimensions added to show separation between buildings as per request from Policy Planner at Township of Esquimalt
- △ Dimensions added to show separation between buildings as per request from Policy Planner at Township of Esquimalt
- △ Balcony linework revised as per Architect

PROPOSED MIXED-USE PROJECT

REISSUED FOR DEVELOPMENT PERMIT

856-858 ESQUIMALT ROAD, ESQUIMALT, B.C.

LOT 2, PLAN 23904 & LOT A, VIP80973,
SECTION 11, ESQUIMALT DISTRICT

PROJECT NUMBER: 19074
May 23, 2022

ARCHITECTURAL DRAWING LIST

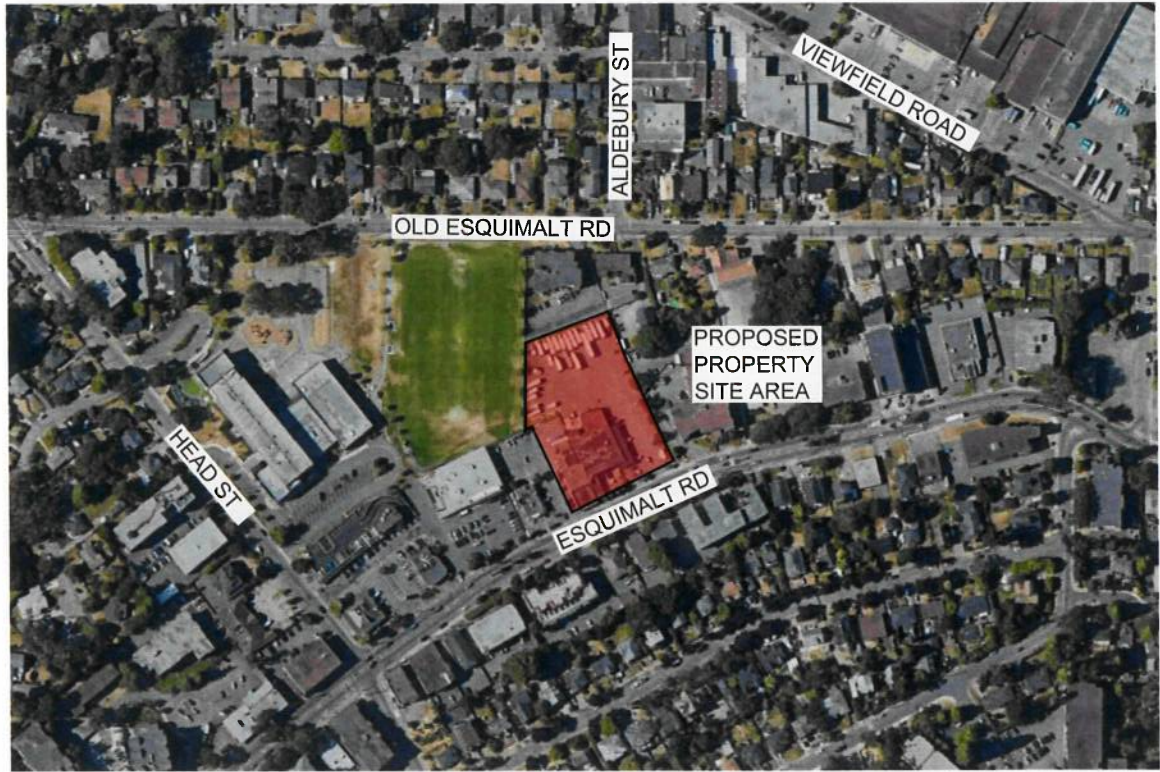
- A000 COVER PAGE
- A001 PROJECT DATA AND AVERAGE GRADE CALCULATION
- A002 CONTEXT PHOTOS
- A100 EXISTING SURVEY
- A101 PROPOSED SITE PLAN
- A102 FIRE DEPARTMENT ACCESS PLAN
- A200 PARKING LEVELS 1 & 2 FLOOR PLANS
- A201 LEVELS 1 & 2 FLOOR PLANS
- A202 LEVELS 3 & 4 FLOOR PLANS
- A203 LEVELS 5 & 6 FLOOR PLANS
- A204 ROOF PLAN
- A210 UNIT PLANS
- A211 UNIT PLANS
- A212 UNIT PLANS
- A300 BUILDING A ELEVATIONS
- A301 BUILDING B ELEVATIONS
- A302 MATERIAL BOARD
- A400 BUILDING SECTIONS
- A401 BUILDING SECTIONS
- A500 PERSPECTIVE
- A501 PERSPECTIVE
- A502 PERSPECTIVE
- A503 PERSPECTIVE
- A600 SHADOW STUDY

THIS IS SCHEDULE **B** OF
DEVELOPMENT VARIANCE
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1 ESQUIMALT ROAD



2 CONTEXT PLAN
N.T.S.



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1	ISSUED FOR DP	2021/08/12
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SEAL:



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PROPOSED MIXED-USE
RESIDENTIAL**

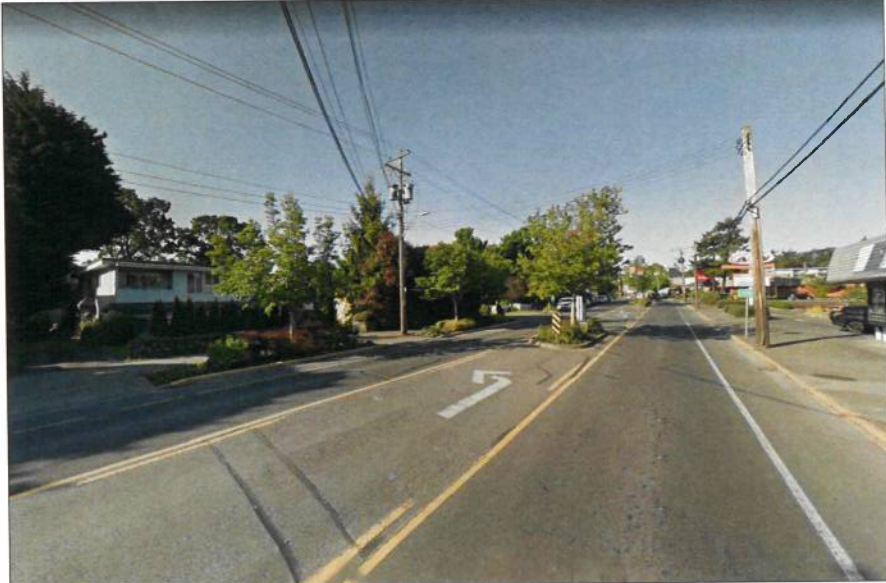
PROJECT ADDRESS:
**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:
COVER PAGE

PROJECT NO: 19074 DRAWN BY: AS
SCALE: AS NOTED REVIEW BY: NB
DWG NO. **A000**



1 CONTEXT VIEW 1



2 CONTEXT VIEW 2



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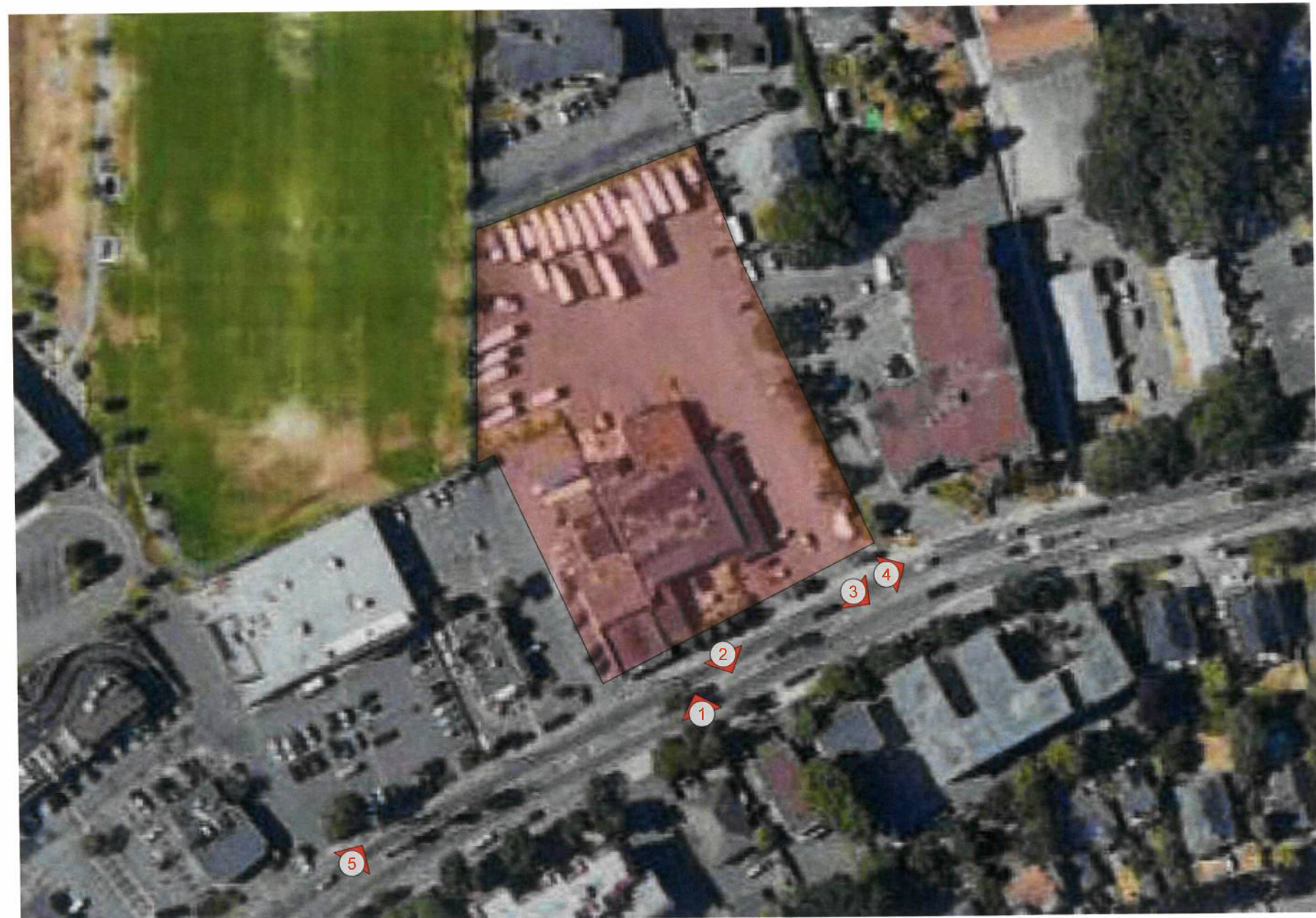
3 CONTEXT VIEW 3



4 CONTEXT VIEW 4



5 CONTEXT VIEW 5



6 CONTEXT KEY PLAN

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1	ISSUED FOR DP	2021/08/12
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804.685.3528 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:
**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:
CONTEXT PHOTOS

PROJECT NO: 19074 DRAWN BY: AS
SCALE: AS NOTED REVIEW BY: NB
DWG NO: **A002**



The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:300.

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Elevations are in metric, based on geodetic datum (CGVD28) and are derived from control monuments 84H0172 (elevation = 24.72 m) and 87H3783 (elevation = 25.50 m).

All distances are in metres and decimals thereof.
Elevations are at natural grade unless noted otherwise.

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SITE PLAN

PC URBAN

LOT 2, PLAN 23904 AND
LOT A, PLAN VIP80973,
BOTH IN SECTION 11,
ESQUIMALT DISTRICT

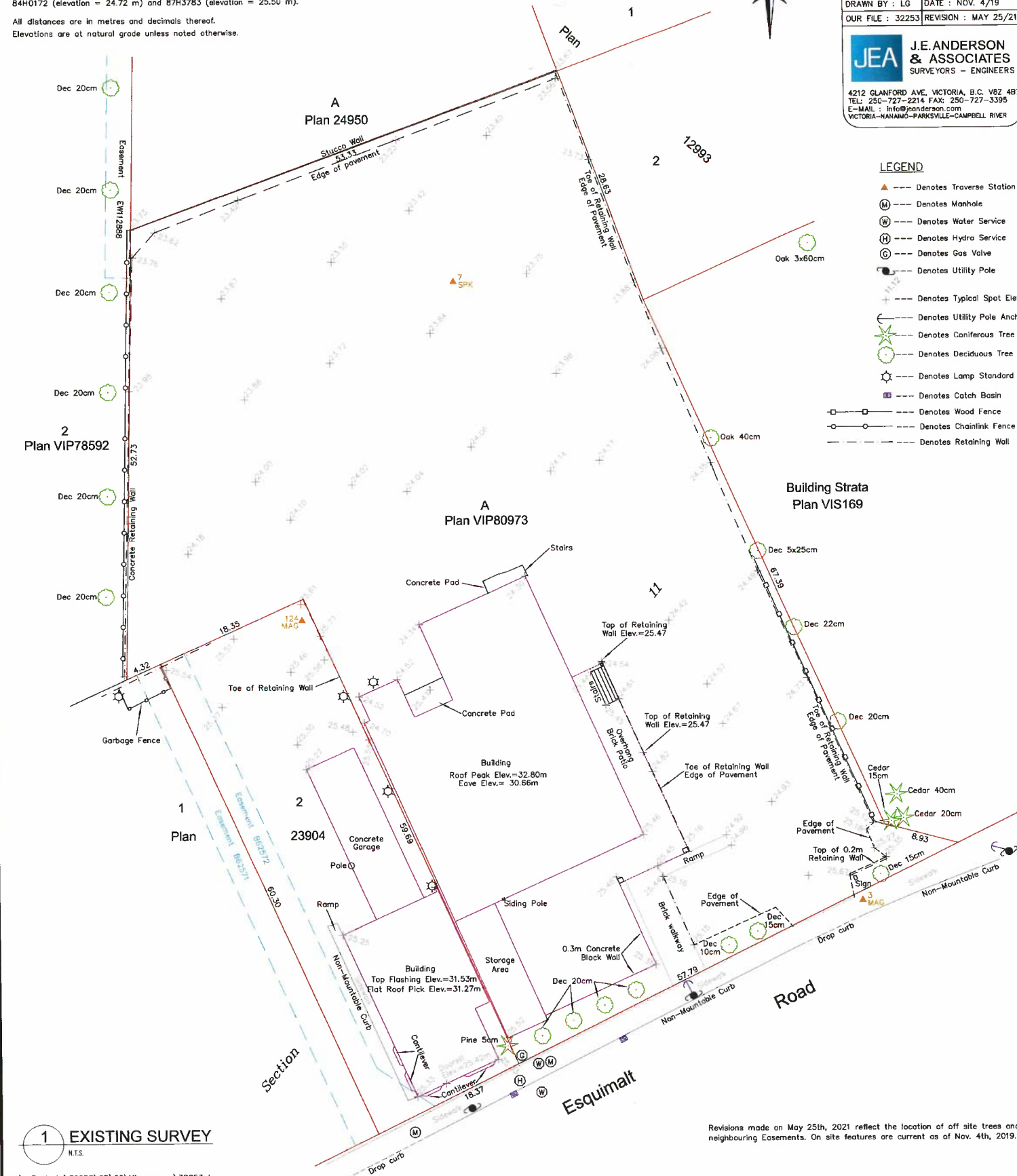
ADDRESS : 856-858 Esquimalt Road
PROJECT SURVEYOR :
DRAWN BY : LG DATE : NOV. 4/19
OUR FILE : 32253 REVISION : MAY 25/21

JEA J.E. ANDERSON
& ASSOCIATES
SURVEYORS - ENGINEERS

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TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeaanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

LEGEND

- Denotes Traverse Station
- (M) --- Denotes Manhole
- (W) --- Denotes Water Service
- (H) --- Denotes Hydro Service
- (G) --- Denotes Gas Valve
- --- Denotes Utility Pole
- Denotes Typical Spot Elevation
- Denotes Utility Pole Anchor
- ★ --- Denotes Coniferous Tree
- --- Denotes Deciduous Tree
- ☆ --- Denotes Lamp Standard
- --- Denotes Catch Basin
- Denotes Wood Fence
- --- Denotes Chainlink Fence
- Denotes Retaining Wall



1 EXISTING SURVEY
N.T.S.

V:_Projects\32253\08\02\Microsurvey\32253.dwg

Revisions made on May 25th, 2021 reflect the location of off site trees and neighbouring Easements. On site features are current as of Nov. 4th, 2019.

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SEAL:



CONSULTANT:

PROJECT NAME:

**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:

**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:

EXISTING SURVEY

PROJECT NO: 19074

DRAWN BY: AS

SCALE: AS NOTED










REVIEW BY: NB

DWG NO

A100

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- 
- Legend for fire safety symbols:
-  BUILDING ACCESS POINT
 -  PROPOSED FIRE HYDRANT
 -  FIRE ALARM ANNUNCIATOR PANEL
 -  FIRE DEPARTMENT CONNECTION
 -  PATH FROM HYDRANT TO FDC
 -  FIRE TRUCK STAGING POINT
 -  FIRE LANE (≥5m HEIGHT CLEARANCE)
 -  VERTICAL CIRCULATION (EXIT STAIR/ELEVATOR)

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GENERAL NOTES:

[illegible]

SEAL:



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PROJECT NAME:

**ESQUIMALT MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:

852, 854 ESQUIMALT ROAD, ESQUIMALT, BC

DRAWING TITLE:

FIRE DEPARTMENT ACCESS PLAN

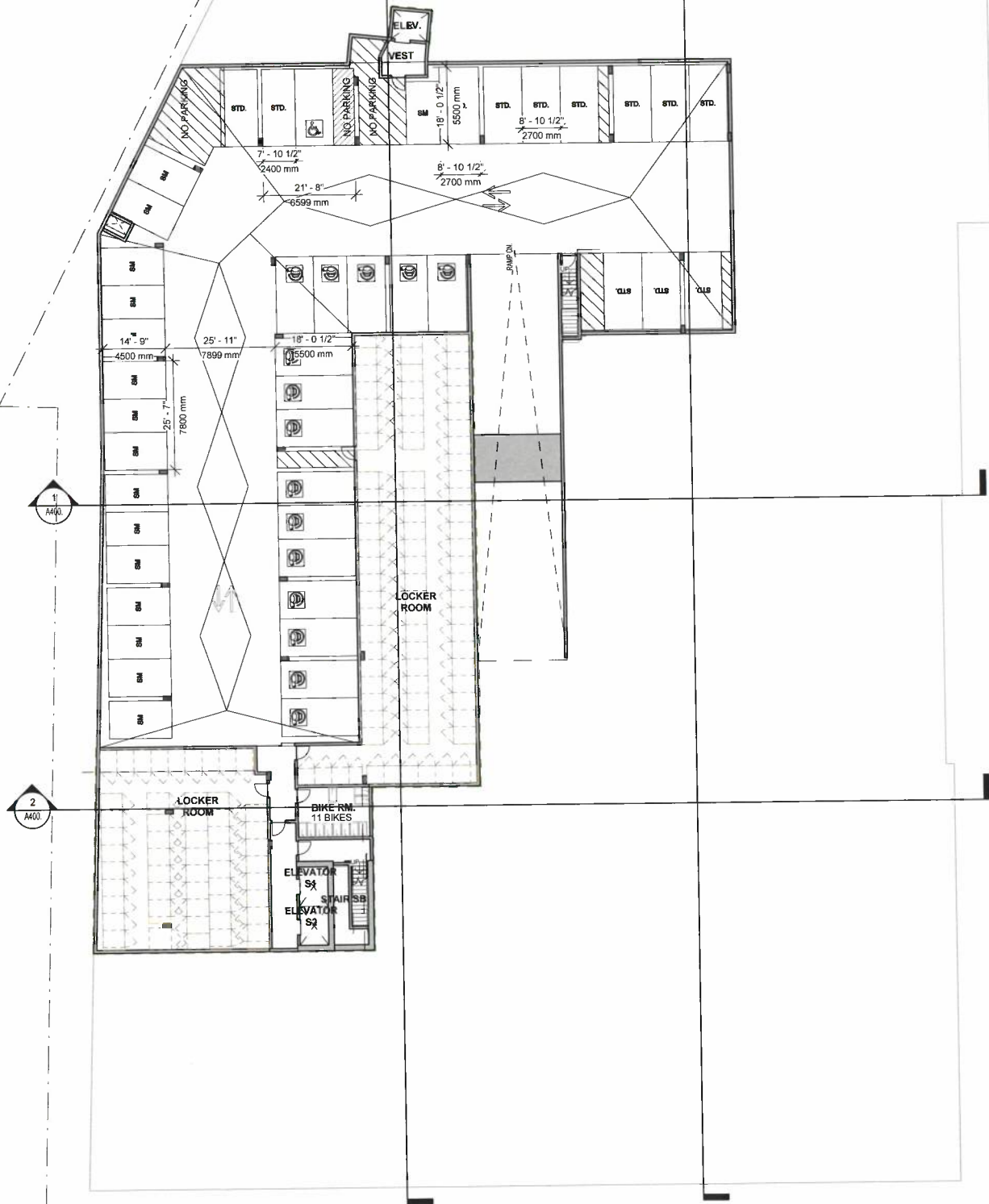
PROJECT NO: 19074
SCALE: As indicated
DRAWN BY: Author
REVIEW BY: Checker

DWG NO:

104

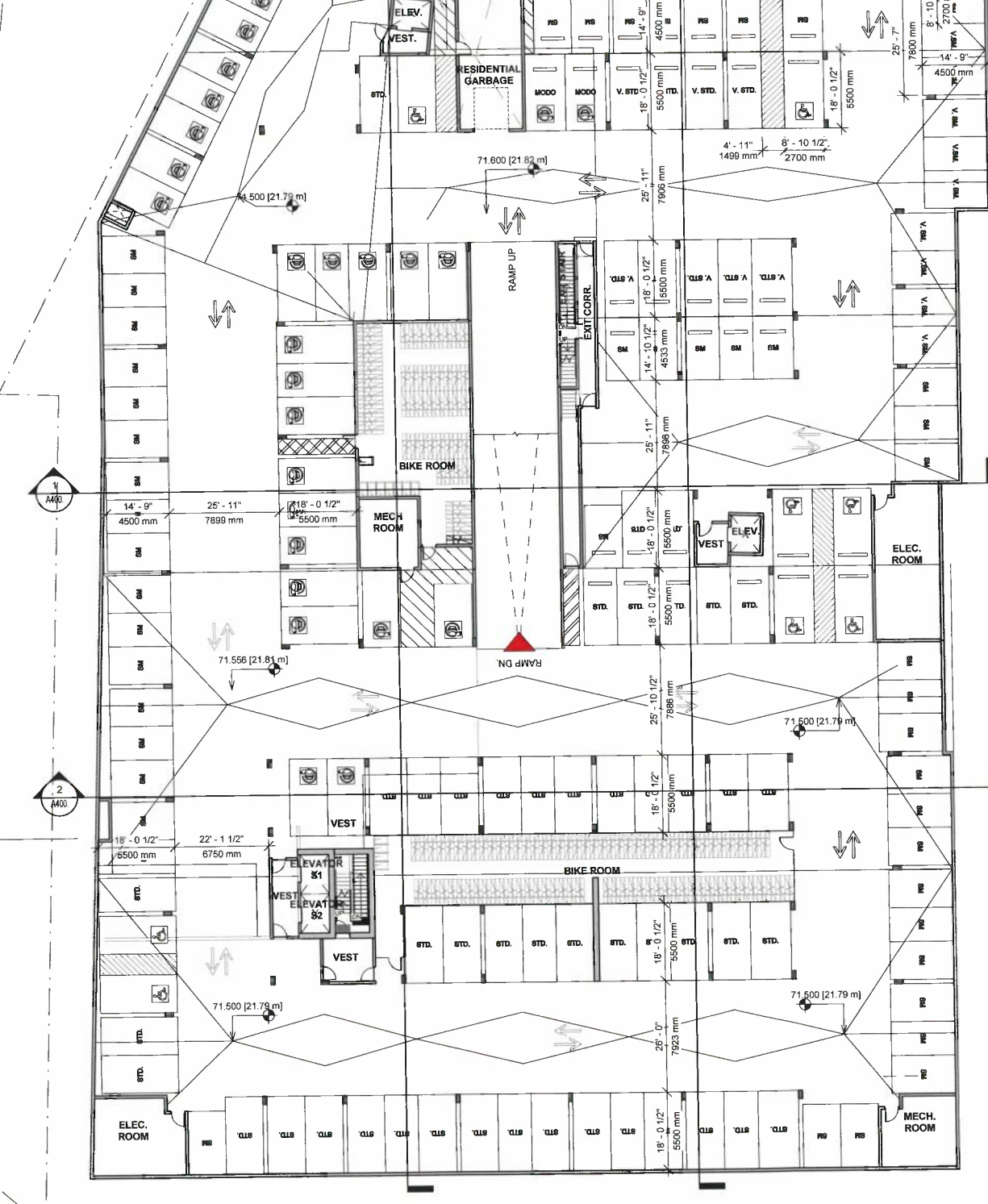
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2 200 PARKADE P2 DP

REFER: A200A
SCALE: 1:200



1 PARKING LEVEL 1 FLOOR PLAN

REFER: A200A
SCALE: 1:200

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PROJECT NAME:

**ESQUIMALT MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:

852, 854 ESQUIMALT ROAD, ESQUIMALT, BC

DRAWING TITLE:

**PARKING LEVELS 1&2
FLOOR PLAN**

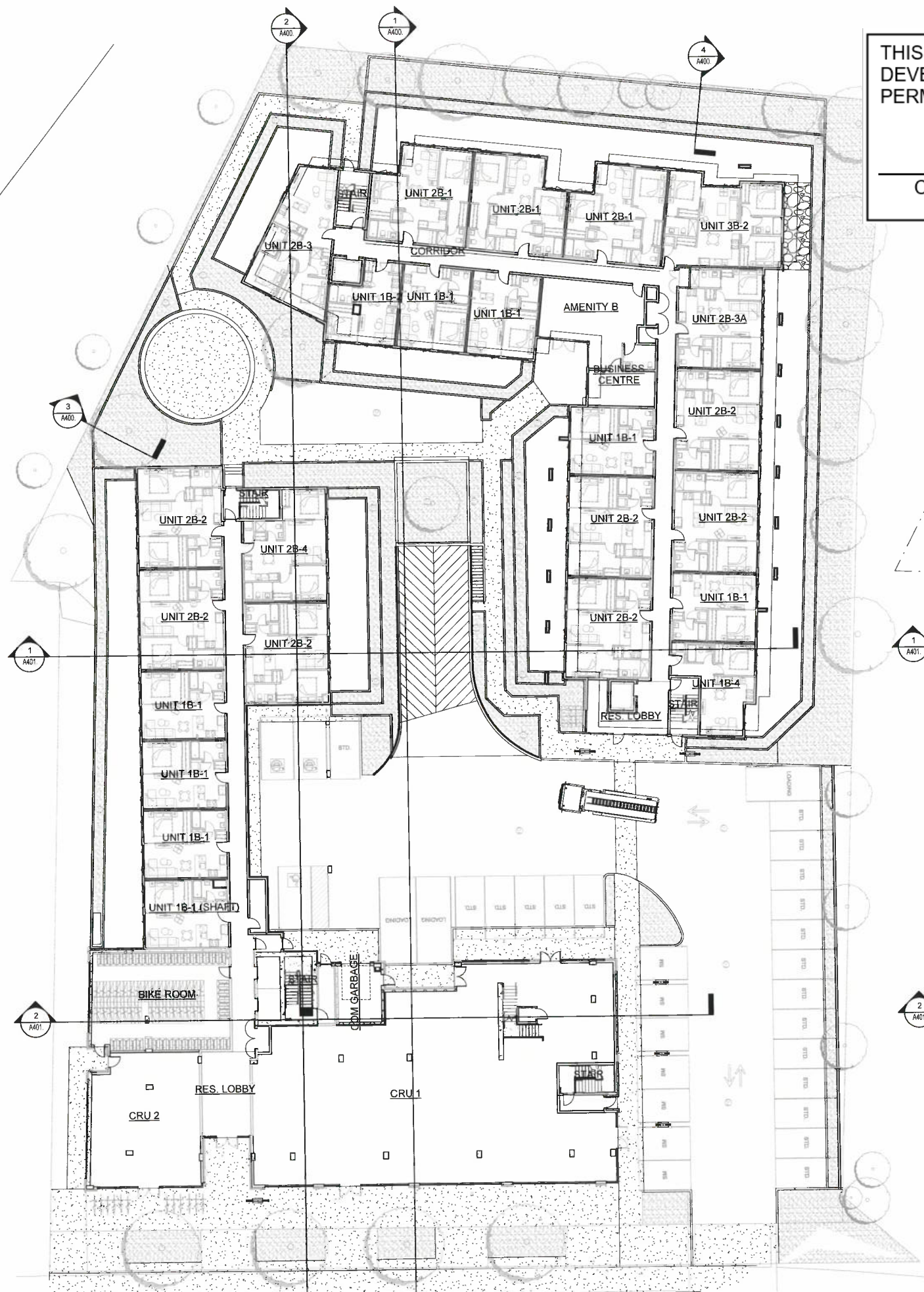
PROJECT NO. 19074

DRAWN BY: Author

SCALE: 1:200

REVIEW BY: Checker

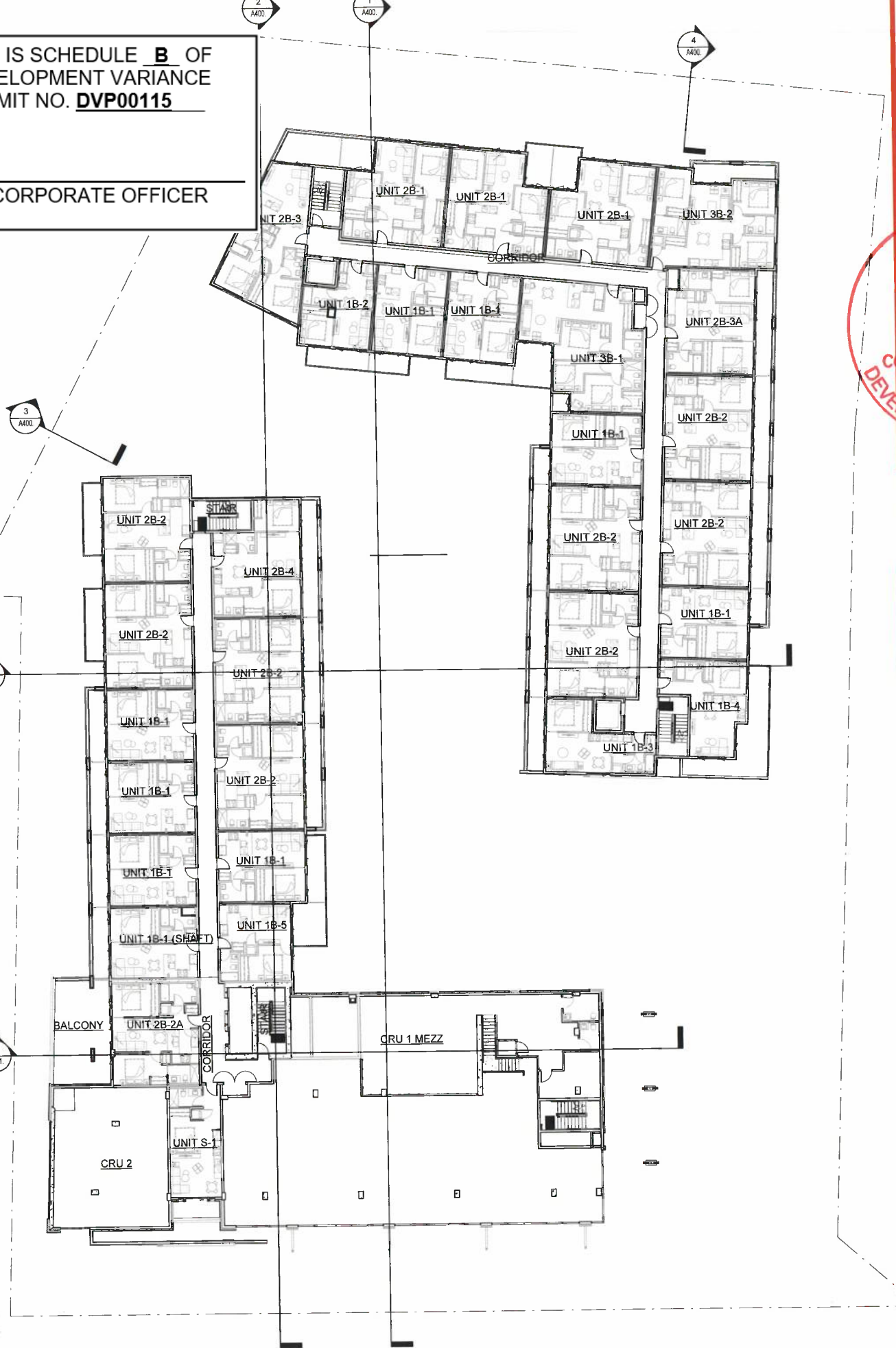
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THIS IS SCHEDULE **B** OF
DEVELOPMENT VARIANCE
PERMIT NO. **DVP00115**

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1 Level 1_DP
REFER: A128 N
SCALE: 1:200



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OWNER/CLIENT:

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CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

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2	REISSUED FOR DP	21.09.20
1	ISSUED FOR DP	21.08.12
NO.	ISSUE	Y/M/D



CONSULTANT:

WA ARCHITECTS

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PROJECT NAME:
**ESQUIMALT MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:
852, 854 ESQUIMALT ROAD, ESQUIMALT, BC

DRAWING TITLE:
**LEVELS 1 & 2 FLOOR
PLAN**

PROJECT NO. 19074
SCALE: 1:200
DRAWN BY: WZ
REVIEW BY: KG

DWG NO.: **A201**

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THIS IS SCHEDULE **B** OF
DEVELOPMENT VARIANCE
PERMIT NO. **DVP00115**

CORPORATE OFFICER

OWNER/CLIENT:

RECEIVED

MAY 27 2022

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

4	ISSUED FOR FOUNDATION PERMIT	22.05.23
3	REISSUED FOR DP	22.05.23
2	REISSUED FOR DP	21.09.30
1	ISSUED FOR DP	21.06.12
NO.	ISSUE	Y/M/D

SEAL:
REGISTERED ARCHITECT
RICHARD
BRITISH COLUMBIA
CONSULTANT:

WA ARCHITECTS

VAN 950 - 1500 West Georgia Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

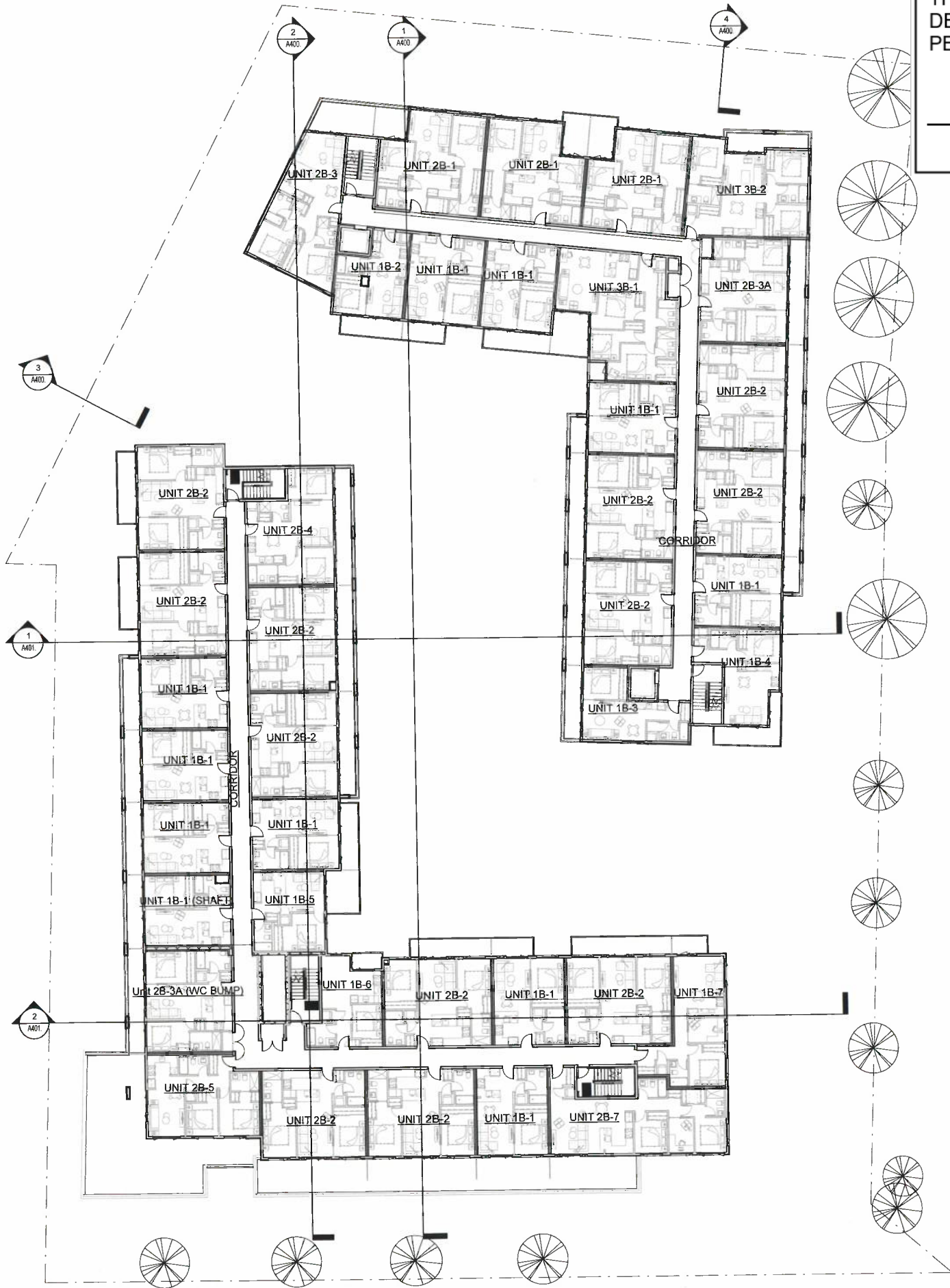
PROJECT NAME:
**ESQUIMALT MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:
852, 854 ESQUIMALT ROAD, ESQUIMALT, BC

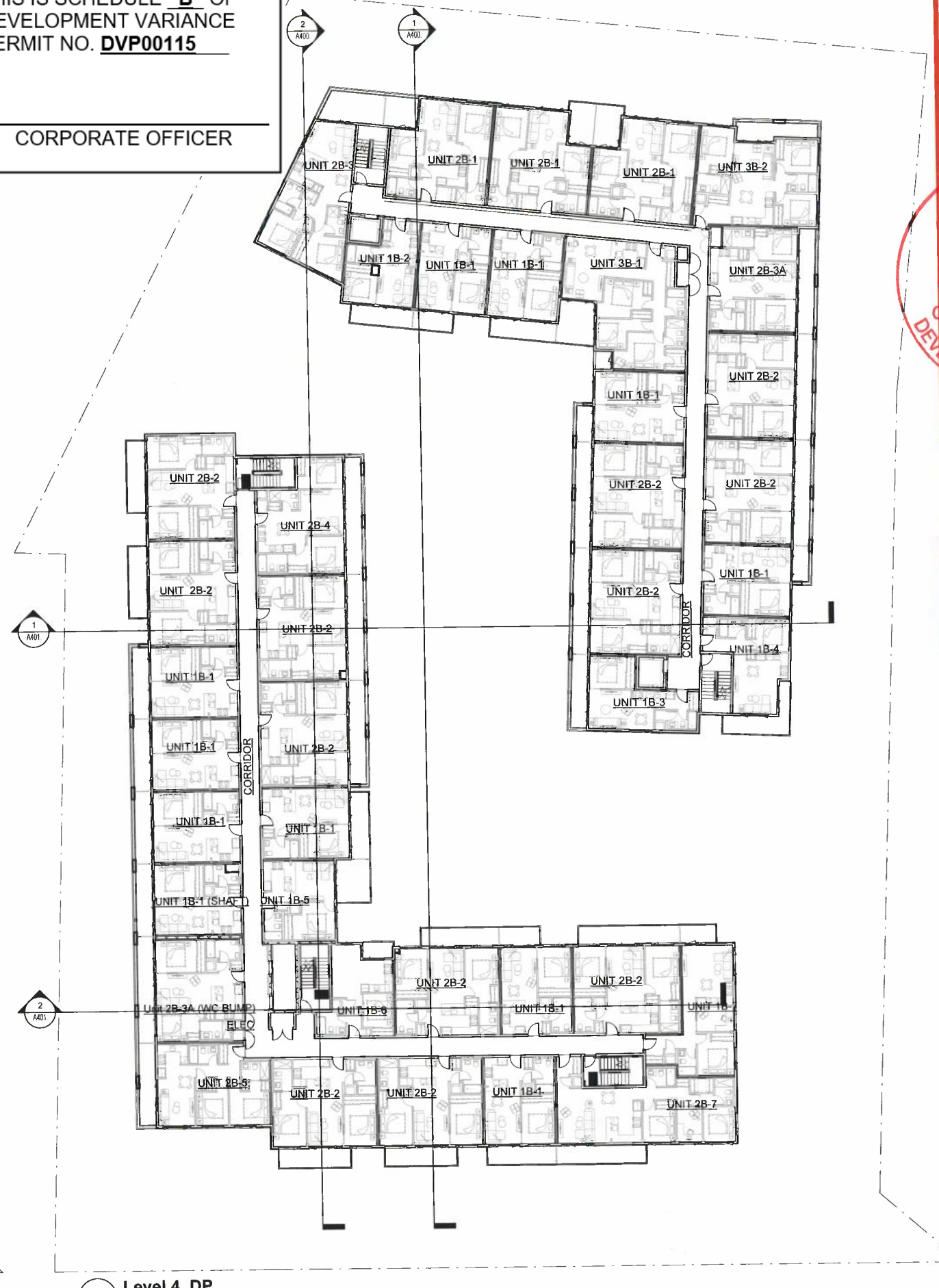
DRAWING TITLE:
**LEVELS 3 & 4 FLOOR
PLAN**

PROJECT NO: 19074
SCALE: 1:200
DRAWN BY: Author
REVIEW BY: Checker

DWG NO: **A202**



1 Level 3_DP
REFER: A128_N
SCALE: 1:200



2 Level 4_DP
REFER: A128_N
SCALE: 1:200



REFER: A128_N
SCALE: 1:200



Level 6_DP

REFER: A128 M
SCALE: 1 : 200

4	ISSUED FOR FOUNDATION PERMIT	22.05.23
3	REISSUED FOR DP	22.05.23
2	REISSUED FOR DP	21.09.30
1	ISSUED FOR DP	21.08.12
NO.	ISSUE	Y/M/D

CONSULTANT

WA ARCHITECTS

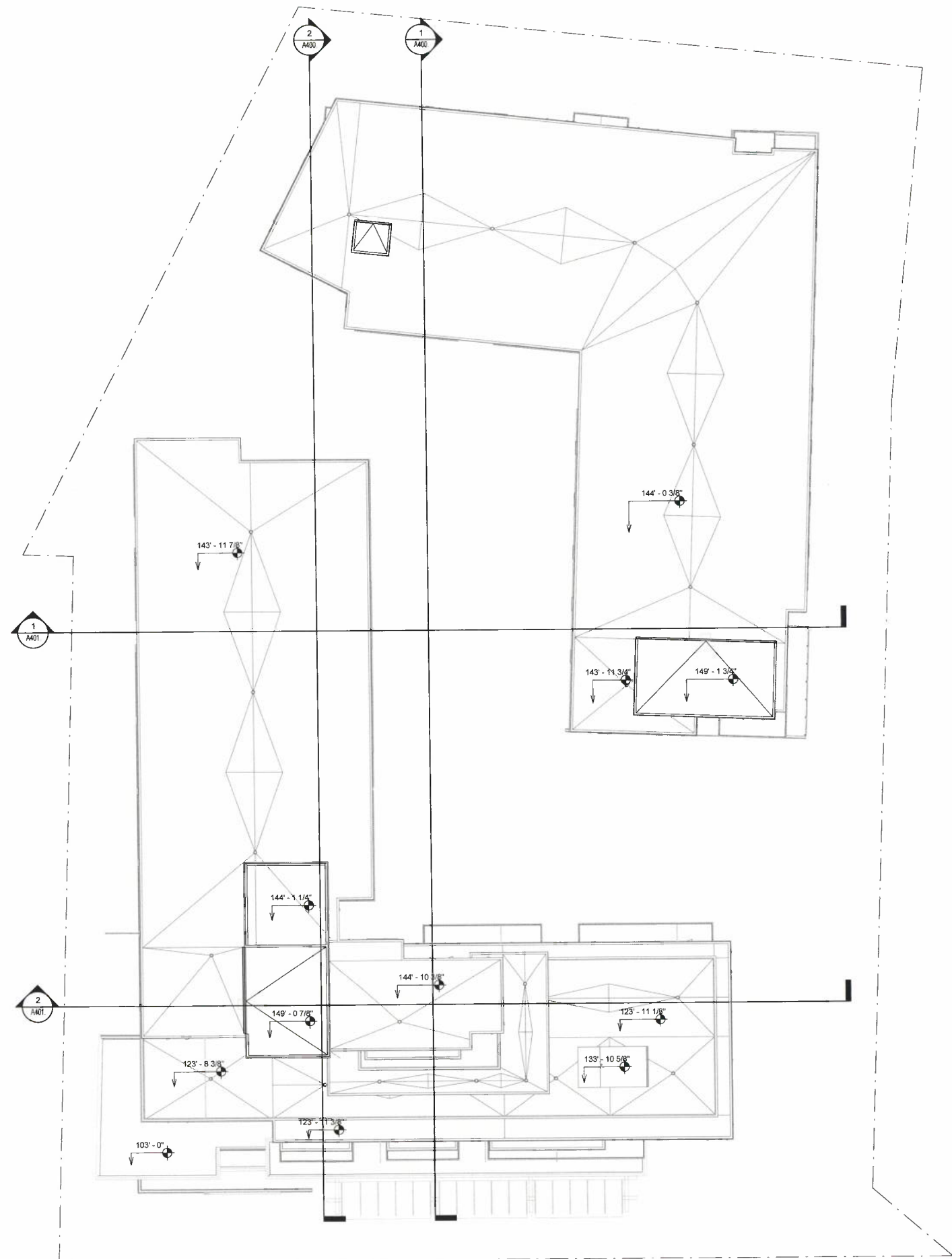
[illegible]

1. <http://www.who.int>

100

DATE: _____ DRAWN BY: _____

1.000



THIS IS SCHEDULE B OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00115

CORPORATE OFFICER

RECEIVED

MAY 27 2022

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**

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OWNER/CLIENT:

GENERAL NOTES:

4	ISSUED FOR FOUNDATION PERMIT	22.05.23
3	REISSUED FOR DP	22.05.23
2	REISSUED FOR DP	21.09.30
1	ISSUED FOR DP	21.08.12
NO.	ISSUE	Y/M/D

SEAL:

CONSULTANT.

**IWA
ARCHITECTS**

VAN 950 - 1500 West Georgia Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
 604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ESQUIMALT MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:

852, 854 ESQUIMALT ROAD, ESQUIMALT, BC

DRAWING TITLE:

ROOF PLAN

PROJECT NO: 19074
SCALE: 1:200

DRAWN BY: Author
REVIEW BY: Checker

DWG NO:

204

THIS IS SCHEDULE **B** OF
DEVELOPMENT VARIANCE
PERMIT NO. **DVP00115**

CORPORATE OFFICER

①	COMPOSITE METAL PANEL	CHARCOAL
②	BRICK	LIGHT GREY
③	CEMENTITIOUS PANEL	WOODGRAIN
④	CEMENTITIOUS PANEL	CHARCOAL
⑤	EIFS	LIGHT GREY
⑥	ALUMINUM STOREFRONT	BLACK
⑦	VINYL WINDOW / DOOR	BLACK
⑧	ALUMINUM / SPANDREL / GLASS GUARDRAIL	BLACK / OFF-WHITE / CLEAR
⑨	PRIVACY SCREEN	BLACK / OPAQUE
⑩	ALUMINUM FLASHING / TRIM	BLACK

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NORTH ARROW:

OWNER/CLIENT:

pcurban
property re-imagined™

RECEIVED

MAY 27 2022

CORP OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO.	ISSUE	YY/MM/DD

SEAL:



CONSULTANT:

IWA ARCHITECTS

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:
**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:
**BUILDING A
ELEVATIONS**

PROJECT NO: 19074 DRAWN BY: AS

SCALE: AS NOTED REVIEW BY: NB

DWG NO: **A300**



1 BUILDING A - SOUTH ELEVATION



2 BUILDING A - EAST ELEVATION



3 BUILDING A - NORTH ELEVATION



4 BUILDING A - WEST ELEVATION

THIS IS SCHEDULE B OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00115

CORPORATE OFFICER

①	COMPOSITE METAL PANEL	CHARCOAL
②	BRICK	LIGHT GREY
③	CEMENTITIOUS PANEL	WOODGRAIN
④	CEMENTITIOUS PANEL	CHARCOAL
⑤	EIFS	LIGHT GREY
⑥	ALUMINUM STOREFRONT	BLACK
⑦	VINYL WINDOW / DOOR	BLACK
⑧	ALUMINUM / SPANDREL / GLASS GUARDRAIL	BLACK / OFF-WHITE / CLEAR
⑨	PRIVACY SCREEN	BLACK / OPAQUE
⑩	ALUMINUM FLASHING / TRIM	BLACK

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NORTH ARROW:

OWNER/CLIENT:

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3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO.	ISSUE	YY/MM/DD

SEAL:



CONSULTANT:

IWA ARCHITECTS

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@iwa-arch.ca | iwa-arch.ca

PROJECT NAME:
**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:
**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:
**BUILDING B
ELEVATIONS**

PROJECT NO: 19074 DRAWN BY: AS

SCALE: AS NOTED REVIEW BY: NB

DWG NO: **A301**



1 BUILDING B - SOUTH ELEVATION

1:200



2 BUILDING B - EAST ELEVATION

1:200



3 BUILDING B - NORTH ELEVATION

1:200



4 BUILDING B - WEST ELEVATION

1:200

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NORTH ARROW:

OWNER/CLIENT:



3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO.	ISSUE	YY/MM/DD

SEAL:



CONSULTANT:



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604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

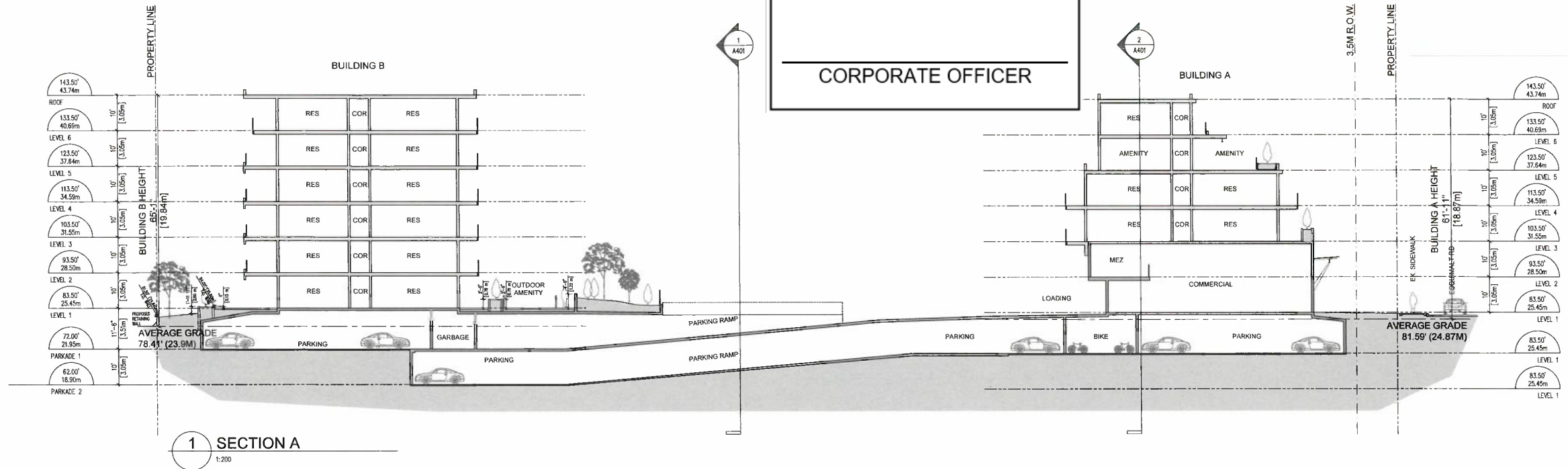
PROJECT ADDRESS:
**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:
BUILDING SECTIONS

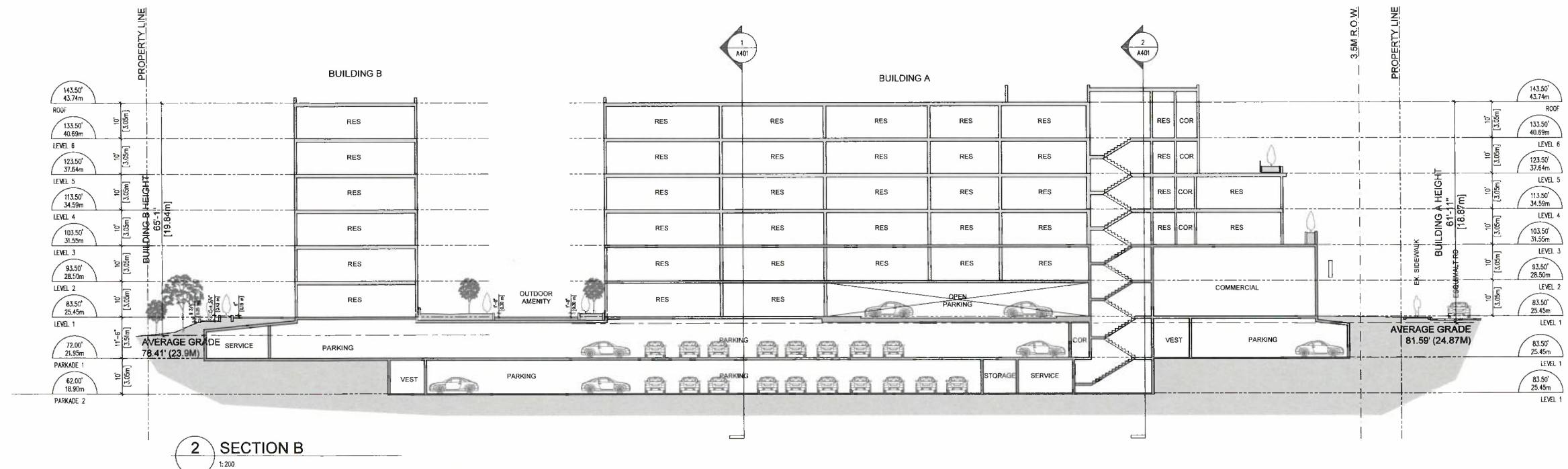
PROJECT NO: 19074 DRAWN BY: AS
SCALE: AS NOTED REVIEW BY: NB
DWG NO: **A400**

THIS IS SCHEDULE **B** OF
DEVELOPMENT VARIANCE
PERMIT NO. **DVP00115**

CORPORATE OFFICER



1 SECTION A
1:200



2 SECTION B
1:200

NORTH ARROW:

OWNER/CLIENT:

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3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO.	ISSUE	YY/MM/DD

SEAL:



CONSULTANT:

IWA ARCHITECTS

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.985.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:

**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:

BUILDING SECTIONS

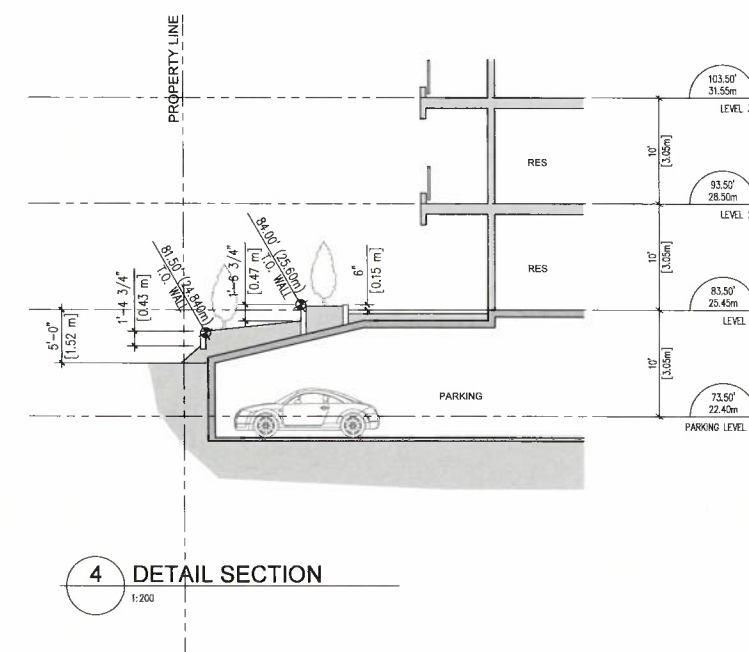
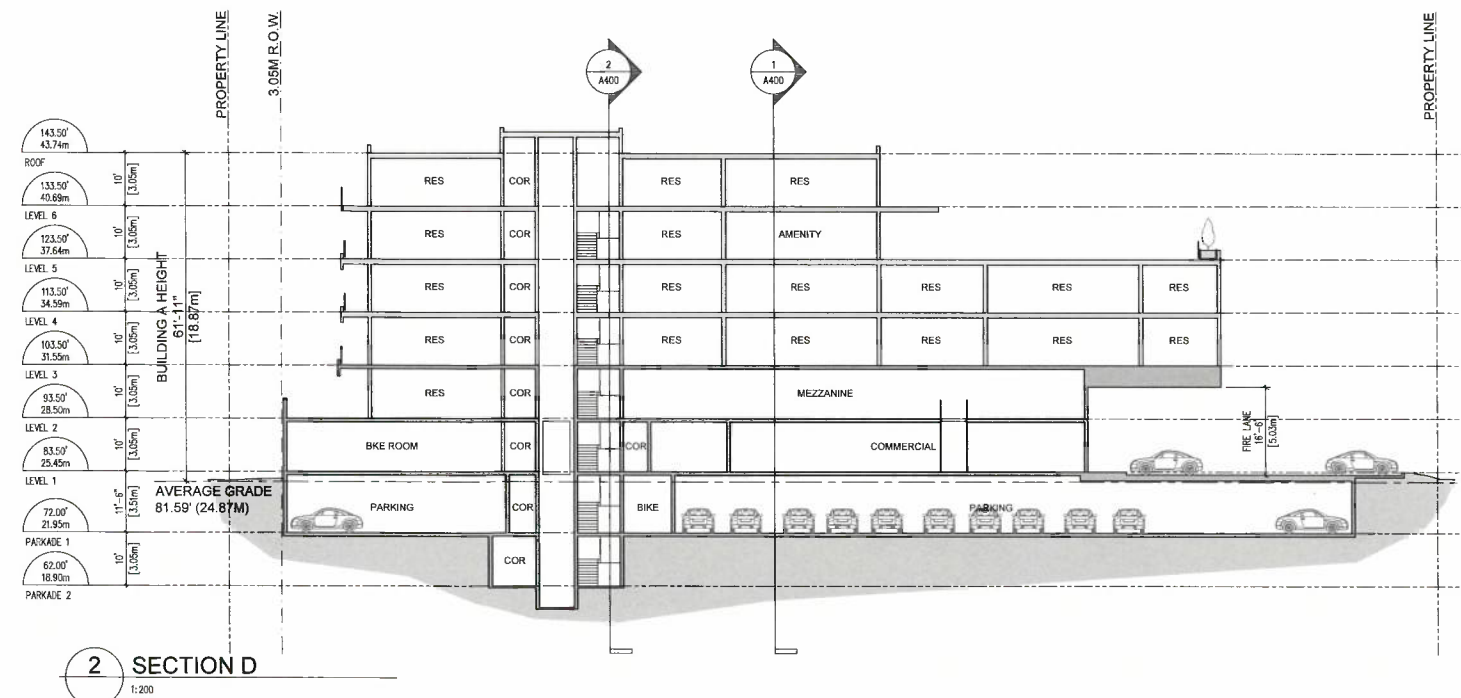
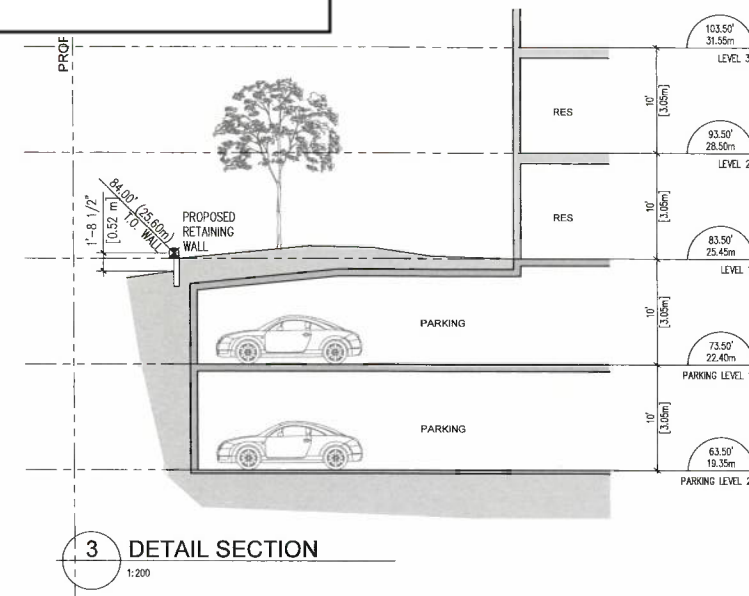
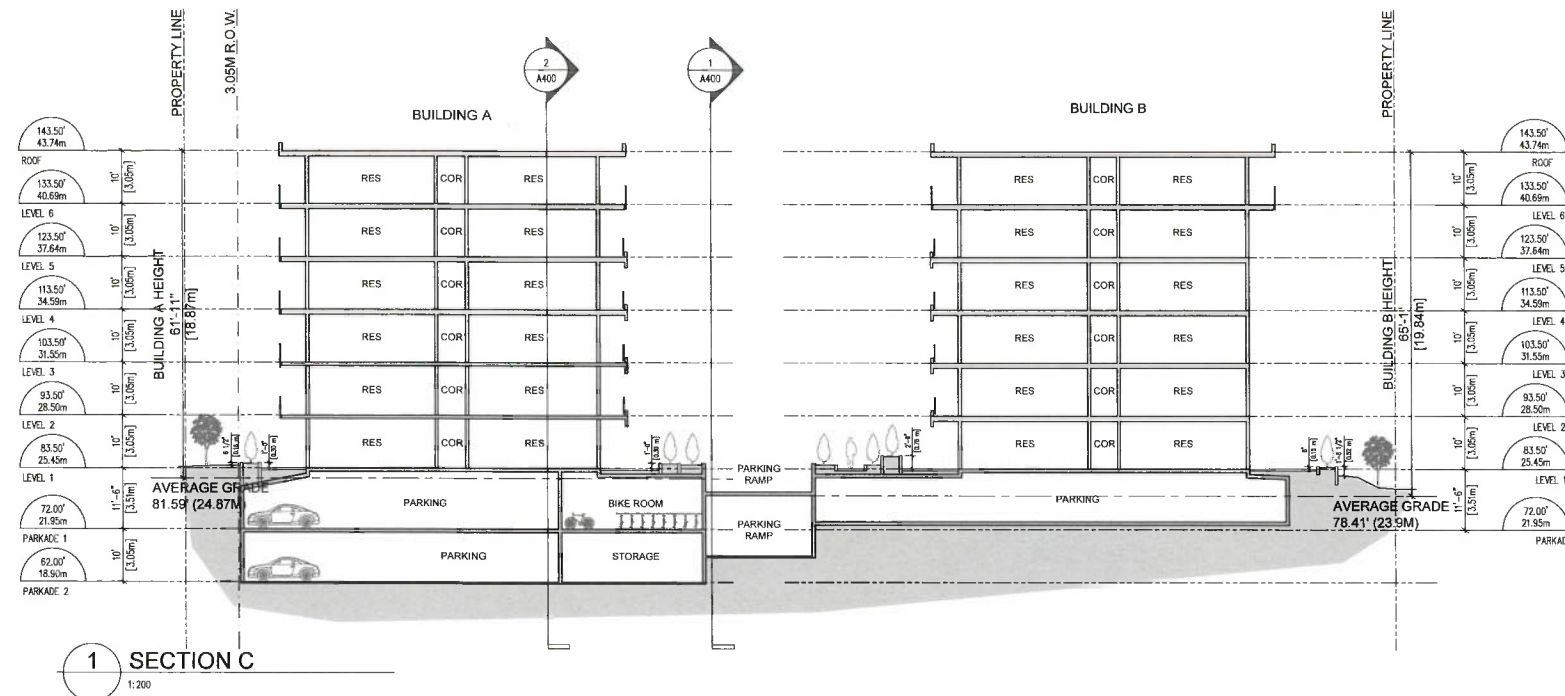
PROJECT NO: 19074 DRAWN BY: AS

SCALE: AS NOTED REVIEW BY: NB

DWG NO: **A401**

THIS IS SCHEDULE **B** OF
DEVELOPMENT VARIANCE
PERMIT NO. **DVP00115**

CORPORATE OFFICER





1 ESQUIMALT ROAD

THIS IS SCHEDULE B OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00115

CORPORATE OFFICER

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NORTH ARROW

OWNER/CLIENT:

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3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO	ISSUE	YY/MM/DD

SEAL:



CONSULTANT:

WA ARCHITECTS

VAN 950 - 1508 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:

**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:

PERSPECTIVE

PROJECT NO: 19074 DRAWN BY: AS

SCALE: AS NOTED REVIEW BY: NB

DWG NO: **A500**



1 ESQUIMALT ROAD

THIS IS SCHEDULE B OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00115

CORPORATE OFFICER

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NORTH ARROW:

OWNER/CLIENT:

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CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO.	ISSUE	YY/MM/DD

SEAL:



CONSULTANT:

WA ARCHITECTS

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VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:
**868-868 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:
PERSPECTIVE

PROJECT NO: 19074 DRAWN BY: AS
SCALE: AS NOTED REVIEW BY: NB
DWG NO: **A501**



THIS IS SCHEDULE B OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00115

CORPORATE OFFICER

1 OUTDOOR AMENITY

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NORTH ARROW:

OWNER/CLIENT:

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3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO.	ISSUE	YYMM/DD

SEAL:



CONSULTANT:

WA ARCHITECTS

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:

**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:

PERSPECTIVE

PROJECT NO: 19074 DRAWN BY: AS

SCALE: AS NOTED REVIEW BY: NB

DWG NO: **A502**

THIS IS SCHEDULE B OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00115

CORPORATE OFFICER



1 COMMON ROOF DECK

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NORTH ARROW:

OWNER/CLIENT:

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MAY 27 2022
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

3	REISSUED FOR DP	2022/05/23
2	REISSUED FOR DP	2021/09/30
1	ISSUED FOR DP	2021/08/12
NO.	ISSUE	YY/MM/DD

SEAL:
REGISTERED ARCHITECT
RICHARD
WA
BRITISH COLUMBIA

CONSULTANT:

WA ARCHITECTS

VAN 959 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
**ESQUIMALT ROAD
PROPOSED MIXED-USE
RESIDENTIAL**

PROJECT ADDRESS:
**856-858 ESQUIMALT ROAD
ESQUIMALT, BC**

DRAWING TITLE:
PERSPECTIVE

PROJECT NO: 19074
SCALE: AS NOTED
DWG NO:
DRAWN BY: AS
REVIEW BY: NB
A503