

**CORPORATION OF THE TOWNSHIP OF ESQUIMALT**

**DEVELOPMENT VARIANCE PERMIT**

**NO. DVP00106**

**Owners:** 836 Viewfield Holdings Ltd.  
6-2250 Bellevue Avenue  
West Vancouver, BC  
V7V 1C6

**Lands:** PID 003-882-497  
Amended Lot 5 (DD 238951I), Section 11, Esquimalt District, Plan  
808

**Address:** 836 Viewfield Road, Esquimalt, B.C.

**Conditions:**

1. This Development Variance Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Variance Permit regulates the development of lands by varying the provisions of Zoning Bylaw, 1992, No. 2050 as follows:  
  
Vary Section 53 (4) Building Height: An increase to the permitted height of a building (or structure) from 10 metres to 19.5 metres for the 'Bucket Loader', and 13.5 metres for the 'Malt Silos', for a variance of 9.5 metres.
3. Approval of this Development Variance Permit has been issued in general accordance with the architectural plans provided by Finlayson Bonet Architecture Ltd. stamped "Received December 4, 2020", and the coordination and grading plan by JE Anderson and Associates stamped "Received October 19, 2020, and attached hereto as Schedule "A".
4. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.

**Development Variance Permit No. DVP00106**

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5. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
6. For the purposes of this Development Variance Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
Director of Development Services

\_\_\_\_\_  
Corporate Officer  
Corporation of the Township  
of Esquimalt

THIS IS SCHEDULE A OF  
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PERMIT NO. DVP00106

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CORPORATE OFFICER

USE, BUILDING OR STRUCT.	REQUIREMENTS	AREA	REQUIRED
TASTING ROOM	1 SPACE PER 5 SEATS WITH A MINIMUM OF 1 SPACE PER 14 m <sup>2</sup> OF GROSS FLOOR AREA	95 m <sup>2</sup> / 60 SEATS	12 STALLS
OFFICES	1 SPACE PER 30 m <sup>2</sup> OF GROSS FLOOR AREA	154.17 m <sup>2</sup>	5.14 STALLS
WAREHOUSE / STORAGE	1 SPACE PER 250 m <sup>2</sup> GROSS FLOOR AREA	3,374 m <sup>2</sup>	13.50 STALLS
MANUFACTURING (LIGHT)	1 SPACE PER 100 m <sup>2</sup> GROSS FLOOR AREA	1,455 m <sup>2</sup>	14.55 STALLS
COMMERCIAL KITCHEN	1 SPACE PER 100 m <sup>2</sup> GROSS FLOOR AREA	35.48 m <sup>2</sup>	0.36 STALLS
LAB	1 SPACE PER 100 m <sup>2</sup> GROSS FLOOR AREA	22.84 m <sup>2</sup>	0.23 STALLS
RETAIL	1 SPACE PER 25 m <sup>2</sup> GROSS FLOOR AREA	15.29 m <sup>2</sup>	0.61 STALLS
<b>TOTAL</b>			<b>47 STALLS</b>
LOADING SPACES -	3 SPACES FOR 2800 TO 4200 m <sup>2</sup> 1 SPACE FOR EACH ADDITIONAL 2300 m <sup>2</sup>		4 SPACES

- KEY NOTES**
- NEW 6'-0" CHAIN LINK FENCE
  - NEW ACCESS GATES  
A = 24' wide / B = 40' wide / C = 28' wide
  - NEW BICYCLE PARKING
  - NEW LANDSCAPE AREA  
(REFER TO LANDSCAPE PLAN)
  - EXISTING STAIRS TO REMAIN
  - EXISTING STAIRS TO BE REMOVED
  - NEW SIGNAGE
  - ELECTRICAL SUBSTATION
  - EXISTING HARDSCAPE WITH SERVICES
  - NEW ASPHALT PAVING
  - ELECTRIC VEHICLE CHARGER
  - EXISTING CONCRETE PAVING
  - EXISTING ASPHALT PAVING
  - EXISTING CHAIN LINK FENCE
  - RAISED HEAVY TIMBER PLANTER
  - NEW PEDESTRIAN WALKWAY
- SYMBOL LEGEND**
- X.X.X. PROPOSED GRADE
  - X.X.X. EXISTING GRADE

**PROJECT DATA**

**CIVIC ADDRESS:**  
836 VIEWFIELD ROAD, ESQUIMALT BC, V9A 4V1

**LEGAL ADDRESS:**  
AMENDED LOTS, (DD 238621), SECTION 11, ESQUIMALT DISTRICT, PLAN 808  
EASTMENT201141G, PLAN 896 RW

**ZONING:** I1 - LIGHT INDUSTRIAL

**SITE AREA**  
8,101.0 M<sup>2</sup> / 87,198.4 FT<sup>2</sup>

**EXISTING BUILDING AREA:**  
5,464 M<sup>2</sup> / 58,814.0 FT<sup>2</sup>

**EXISTING LOT COVERAGE:**  
67.4%

**GROSS FLOOR AREA**

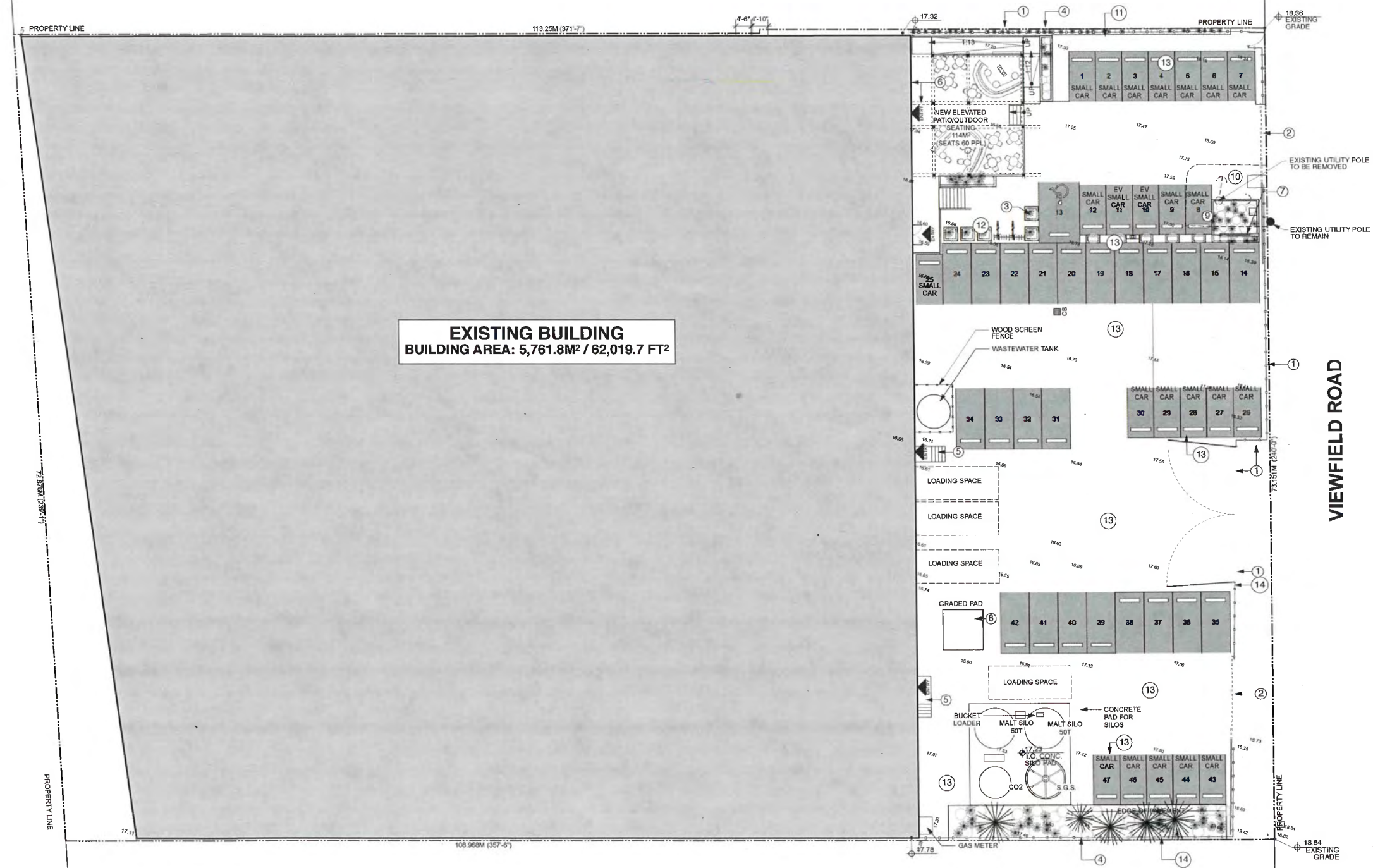
MAIN FLOOR	5,464 M <sup>2</sup> / 58,814.0 FT <sup>2</sup>
MEZZANINE	345 M <sup>2</sup> / 3,705.7 FT <sup>2</sup>
<b>TOTAL</b>	<b>5,809.0 M<sup>2</sup> / 62,519.7 FT<sup>2</sup></b>

**FLOOR AREA RATIO:**  
FLOOR AREA RATIO = 0.717

**HEIGHT:**  
EXISTING

**SETBACKS: EXISTING**

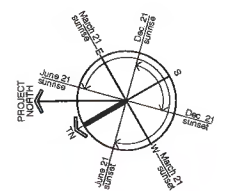
FRONT	REAR	INT. SIDE	INT. SIDE
32.01M	0.67M 6.42M	0.22M	0.54M



**EXISTING BUILDING**  
BUILDING AREA: 5,761.8M<sup>2</sup> / 62,019.7 FT<sup>2</sup>

E+N RAIL TRAIL

VIEWFIELD ROAD



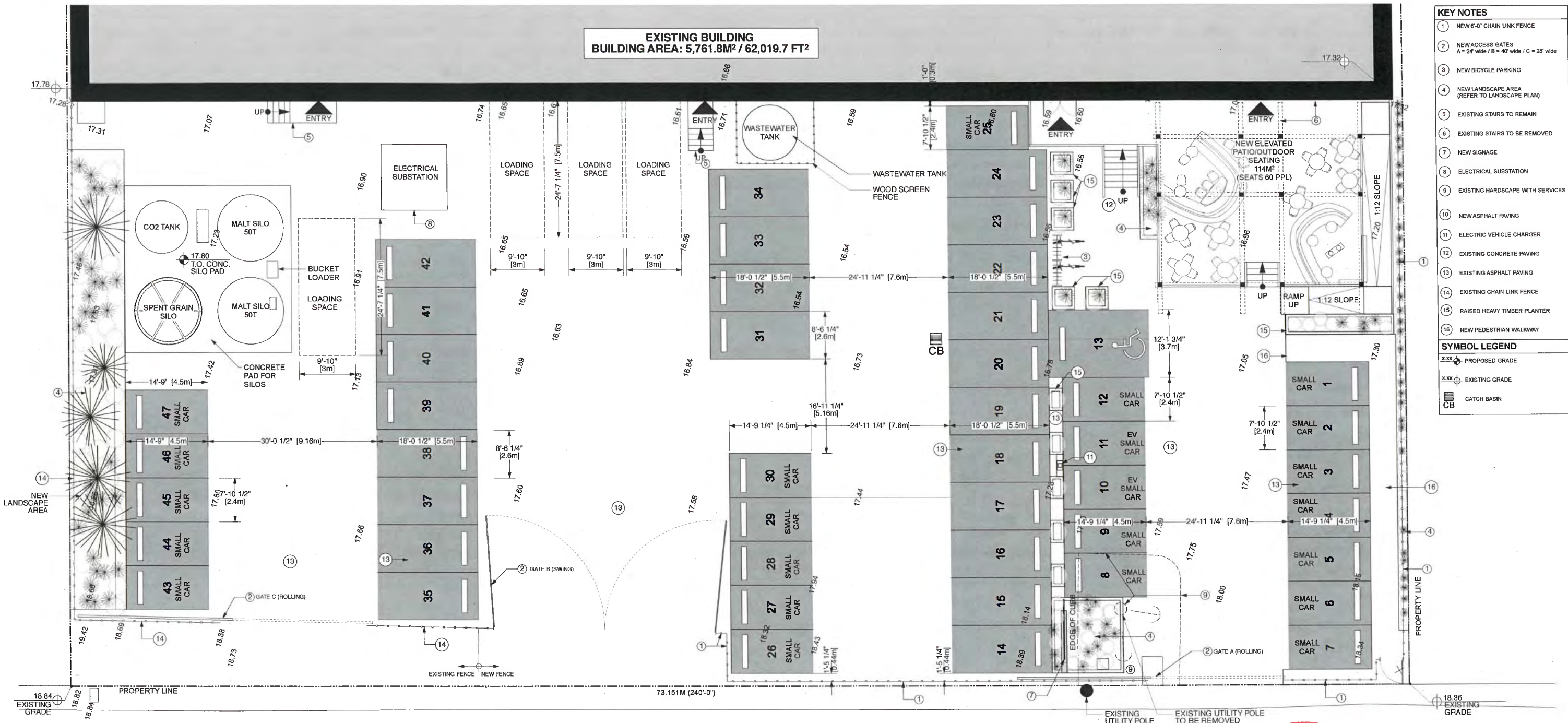
1 SITE PLAN  
Scale: 1/16" = 1'-0"

**A1.00 R1 - SITE PLAN**  
**DRIFTWOOD BREWERY RENOVATION**  
836 VIEWFIELD ROAD, ESQUIMALT, B.C.  
PROJECT NO. 20038  
SCALE: 1/16" = 1'-0"  
DATE: DECEMBER 2, 2020



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EXISTING BUILDING  
BUILDING AREA: 5,761.8M<sup>2</sup> / 62,019.7 FT<sup>2</sup>



**KEY NOTES**

- NEW 6'-0" CHAIN LINK FENCE
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- RAISED HEAVY TIMBER PLANTER
- NEW PEDESTRIAN WALKWAY

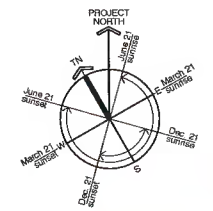
**SYMBOL LEGEND**

- XXX PROPOSED GRADE
- XXX EXISTING GRADE
- CB CATCH BASIN

VIEWFIELD ROAD

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\_\_\_\_\_  
CORPORATE OFFICER



**A1.01 R1 - FRONTAGE SITE PLAN**  
**DRIFTWOOD BREWERY RENOVATION**

856 VIEWFIELD ROAD, ESQUIMALT, B.C.  
PROJECT NO. 20038  
SCALE: 1/8" = 1'-0"  
DATE: DECEMBER 2, 2020



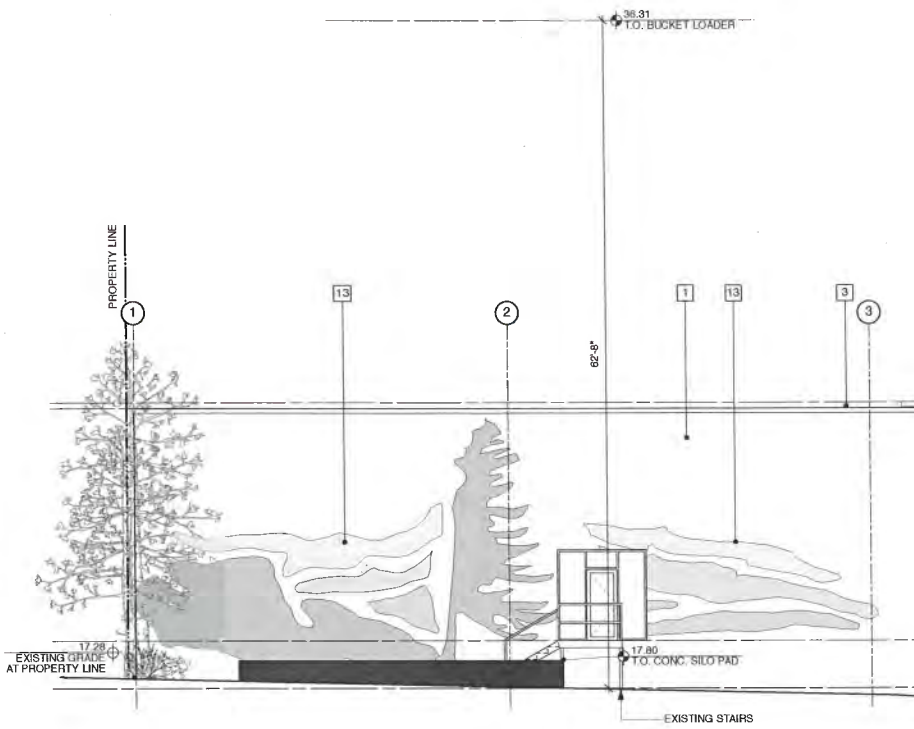
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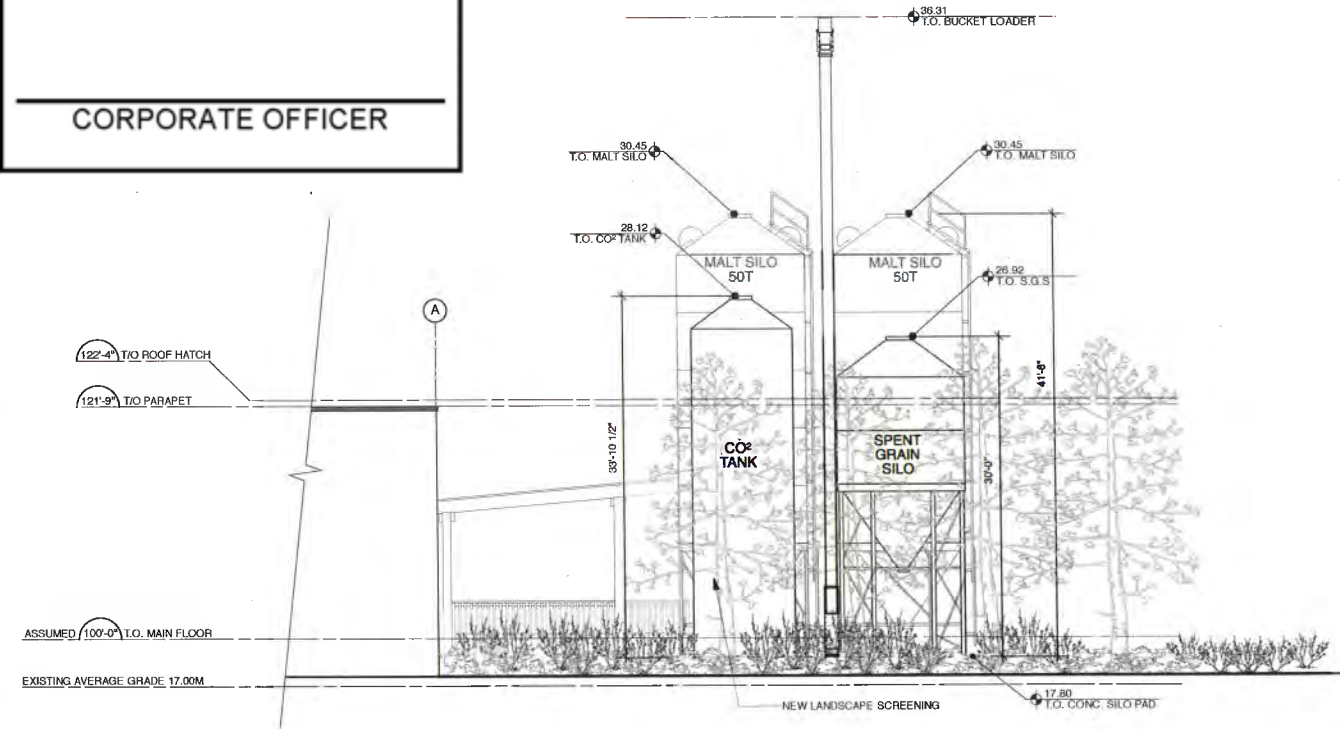
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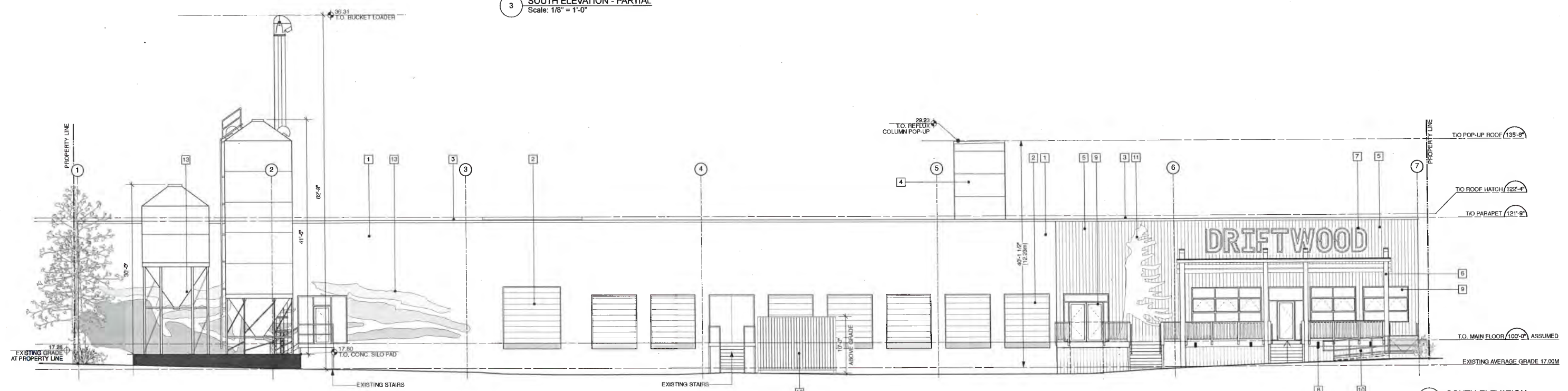
#	MATERIAL SCHEDULE
1	NEW PAINT ON EXISTING CONCRETE
2	NEW PAINT ON LOADING DOCK DOORS
3	EXISTING CAP FLASHING PAINTED CHARCOAL
4	PAINTED FIBRE CEMENT PANEL SIDING WITH TRIM
5	LONGBOARD ALUMINUM SIDING OR SIMILAR WITH WOOD PATTERN FINISH
6	HEAVY TIMBER TRELLIS COVER PATIO WITH REMOVABLE SUN SHADE
7	COMPANY SIGNAGE - BACK LIT
8	SITE LIGHTING
9	NEW ALUMINUM WINDOWS
10	NEW ACCESSIBLE RAMP
11	NEW VINYL WRAP CORPORATE TREE IMAGE
12	WOOD SCREEN FENCE - WASTEWATER TANK BEHIND
13	NEW PAINTED MURAL - CORPORATE LOGO
14	PREFINISHED METAL FLASHING - CHARCOAL COLOUR
15	WOOD STRUCTURE WITH LONGBOARD SKIRTING



3 SOUTH ELEVATION - PARTIAL  
Scale: 1/8" = 1'-0"



2 WEST ELEVATION  
Scale: 1/8" = 1'-0"



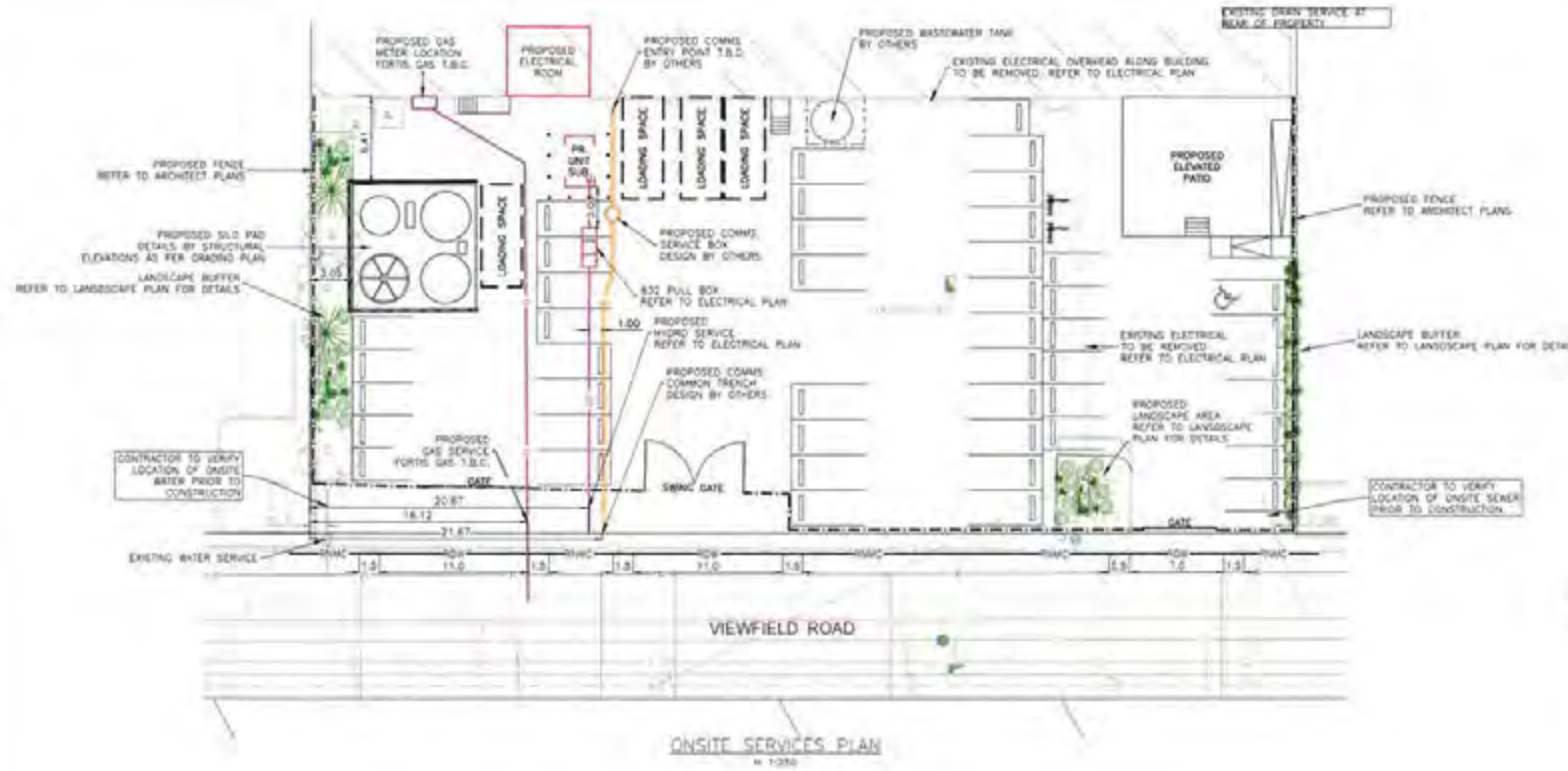
1 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"

**A3.00 R1 - ELEVATIONS**  
**DRIFTWOOD BREWERY RENOVATION**

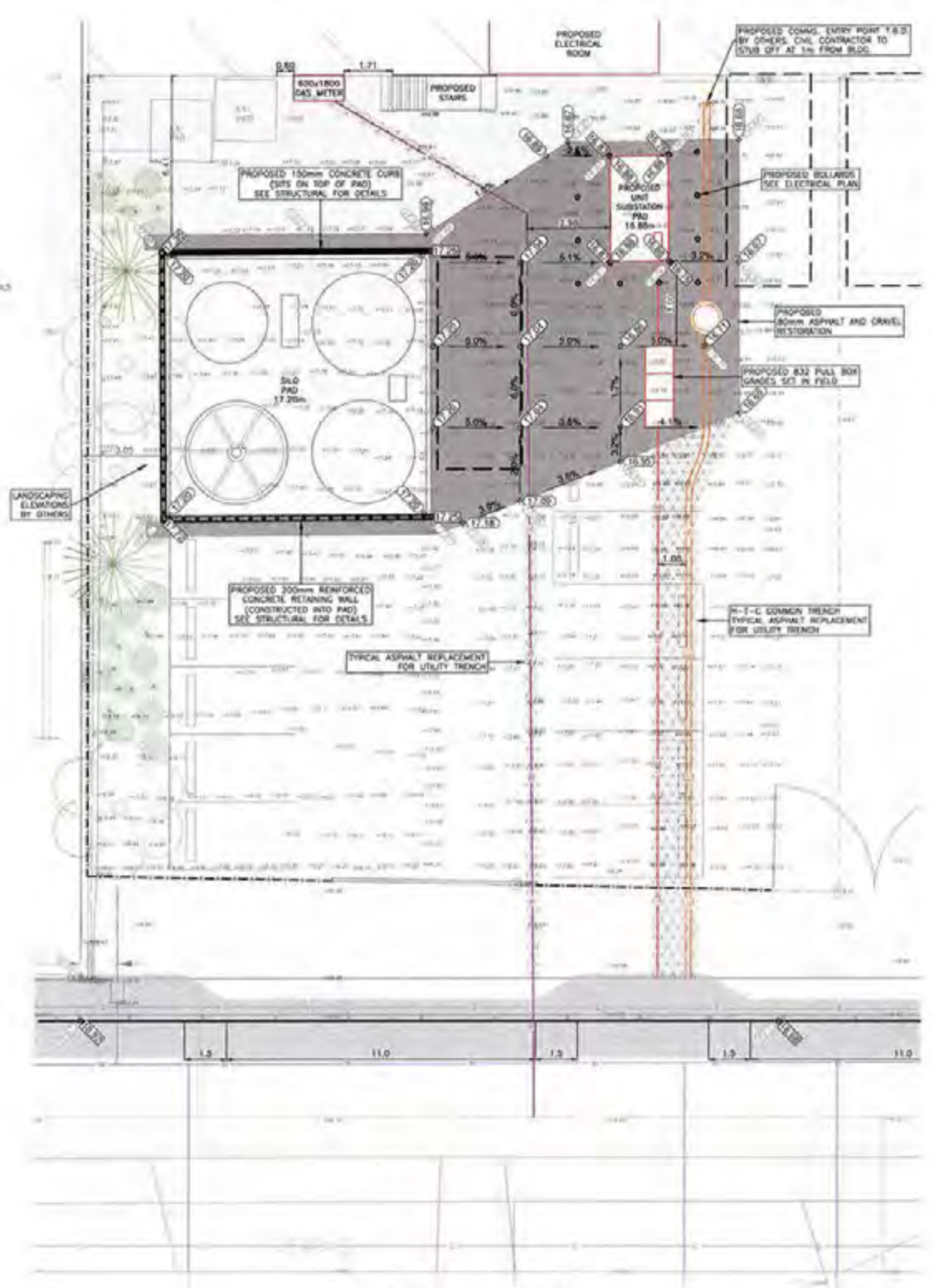
854 VIEWFIELD ROAD, ESQUIMALT, B.C.  
PROJECT NO. 20058  
SCALE: 1/8" = 1'-0"  
DATE: DECEMBER 2, 2020



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ONSITE SERVICES PLAN  
# 1-250



DETAILED GRADING PLAN  
# 1-170

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**ISSUED FOR COORDINATION**

ISSUED		REVISION		LEGEND	
NO	DESCRIPTION	YYYYMMDD	DE DA DK NO	DESCRIPTION	YYYYMMDD DE DA DK
1	ISSUED FOR COORDINATION	20200923			

**JEA** J E ANDERSON & ASSOCIATES  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE 250-727-2214 info@jeaanderson.com

JURISDICTION Town of Esquimalt	CLIENT DRIFTWOOD BREWING COMPANY
PROJECT 836 VIEWFIELD ROAD ONSITE COORDINATION PLAN AND GRADING PLAN	
ENGINEERS SEAL	WIN FILE SHEET 1 OF 1