

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

Development Variance Permit

NO. DVP00105

Owners: LIDA Developments Inc., Inc. No. BC1210238

Lands: PID 030-922-852; Lot A, Section 10, Esquimalt District,
Plan EPP96394

Address: 955 Colville Road, Esquimalt, BC

Conditions:

1. This Development Variance Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Variance Permit regulates the development of lands by varying the provisions of Zoning Bylaw, 1992, No. 2050 as follows:

Section 22 (2) Fences and Retaining Walls: to reduce the required height to horizontal separation ratio to allow the 1.5 metre walls to exist less than 3 metres apart [i.e. from 1:2 ratio to 1:0.40].

Section 67.99 (12)(a) Retaining Walls: A 0.5 metre increase to the permitted height of a retaining wall, provided they are located within 4.3 metres of the Rear Lot Line [i.e. from 1.5 metres to 2.0 metres].

3. Approval of this Development Permit is issued in accordance with the survey plan prepared by Summit Land Surveying, the Engineering drawings by Farhill Engineering Ltd., and consistent with the architectural plans provided by T-Square Design, all stamped "Received June, 3, 2020", attached hereto as Schedule 'A'.
4. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.

5. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
6. For the purposes of this Development Variance Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE ____
DAY OF _____, 2020.

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS ____
DAY OF _____, 2020.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt

SITE PLAN OF PROPOSED STAIR, WALL & ACCESSORY BUILDING LOCATION UPON LOT A, SECTION 10, ESQUIMALT DISTRICT, PLAN EPP96394.

PID: 030-922-852



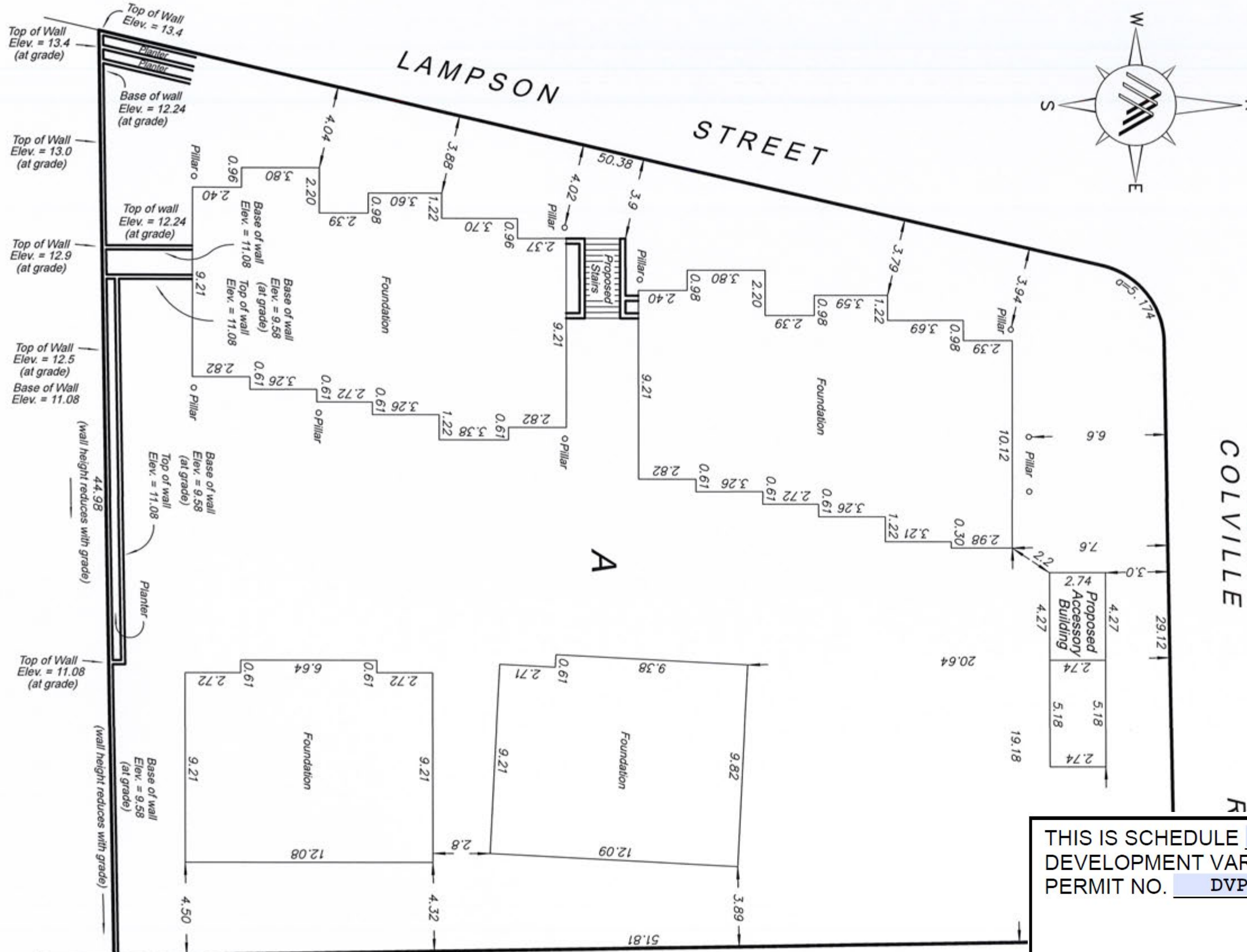
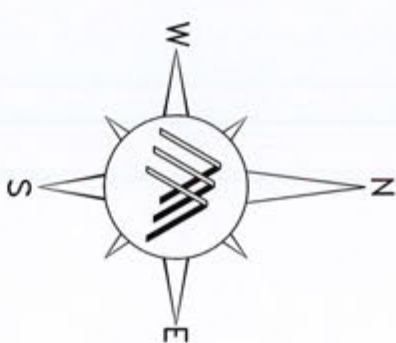
NOTE:
The parcel is subject to Covenant CA7332537.
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Summit Land Surveying
Operated by Apex Land Surveying Ltd.
#101-630 Goldstream Avenue
Victoria B.C. V9B 2W8
Telephone 250.391.6708
www.summitsurveying.ca

File: 22-RJ-WALL

Date: June 1, 2020



THIS IS SCHEDULE **A** OF
DEVELOPMENT VARIANCE
PERMIT NO. **DVP00105**

CORPORATE OFFICER

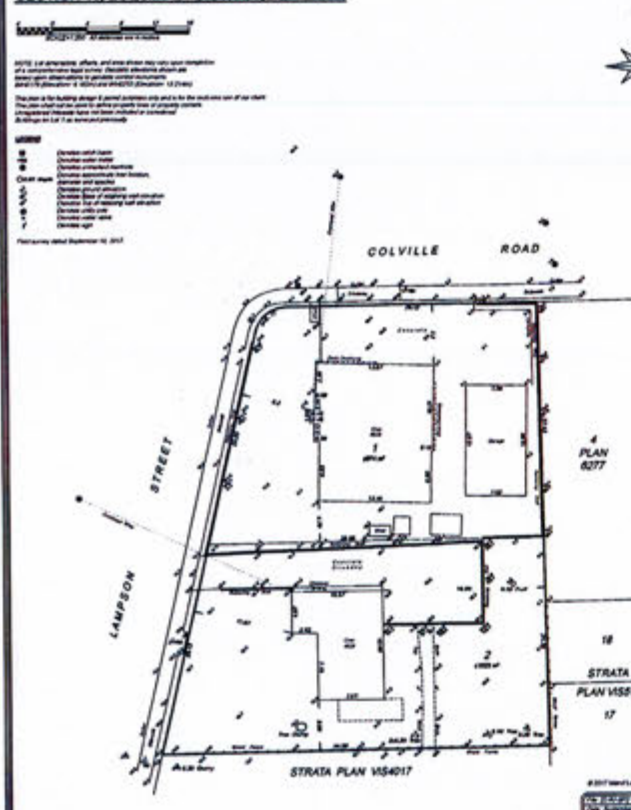
4
PLAN 6277

18
PLAN VIS5131

17
STRATA

STRATA PLAN VIS4017

SITE PLAN OF LOTS 1 & 2, BLOCK 1,
SECTION 10, ESQUIMALT DISTRICT, PLAN 6277



THIS IS SCHEDULE A OF
DEVELOPMENT VARIANCE
PERMIT NO. DVP00105

CORPORATE OFFICER

General Notes

General Notes

Dimensions provided shall take precedence over sizes. Contractor to verify all dimensions of materials and quantities in drawings prior to purchase of materials.

Any discrepancies are to be reported immediately. Any noted omissions in the plans that exceed the requirements listed in the general notes take precedence.

For any deviation from the requirements of the Building Code (workmanship, installation(s), or performance(s)) must satisfy the Building Director to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are the current edition or published revision thereof, as approved by ministerial order by the Province of British Columbia. Any reference to the "National Building Code of Canada" is for the equivalent requirement in the most current edition. All rules shall comply with the current edition of the "British Columbia Building Code". The sizes and quantities of items listed practice shall be as shown on the drawings.

Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) or architect(s) and a civil engineer, are for the project, attest.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.S.B.S. and S.C.S.A. standards. All materials shall be consistently conforming to manufacturers printed drawings, where not inconsistent with the specification; no supplemental notes or drawings shall be required. All materials shall comply with C.S.A. S-20.10, and to be designed by structural engineer unless noted otherwise. Structural Engineering and Steel manufacturers drawings to take precedence over structural design steel fabric.

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

LOT INFORMATION:

CIVIC ADDRESS	939 COLVILLE ROAD
PROPOSED ZONING	COMPREHENSIVE DEVELOPMENT

TOTAL LOT AREA	1997.00 sq.m.
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ALLOWABLE LOT COVERAGE	(RM-3)
25%	499.25 sq.m

PROPOSED LOT COVERAGE	
BLDG A	204.24 sq.m.
BLDG B	200.76 sq.m.
BLDG C	127.56 sq.m.
BLDG D	130.16 sq.m.
ELECTRICAL	25.98 sq.m.

ELECTRICAL	25.98 sq.m.
TOTAL PROPOSED LOT COVERAGE	652.80 sq.m.
32.68%	

ALLOWABLE F.A.R	(RM-3)
70.00%	1397.90 sq.m.

PROPOSED F.A.R.	
BLDG. A	392.68 sq.m.
BLDG B	355.50 sq.m.
BLDG C	280.70 sq.m.
BLDG D	280.75 sq.m.

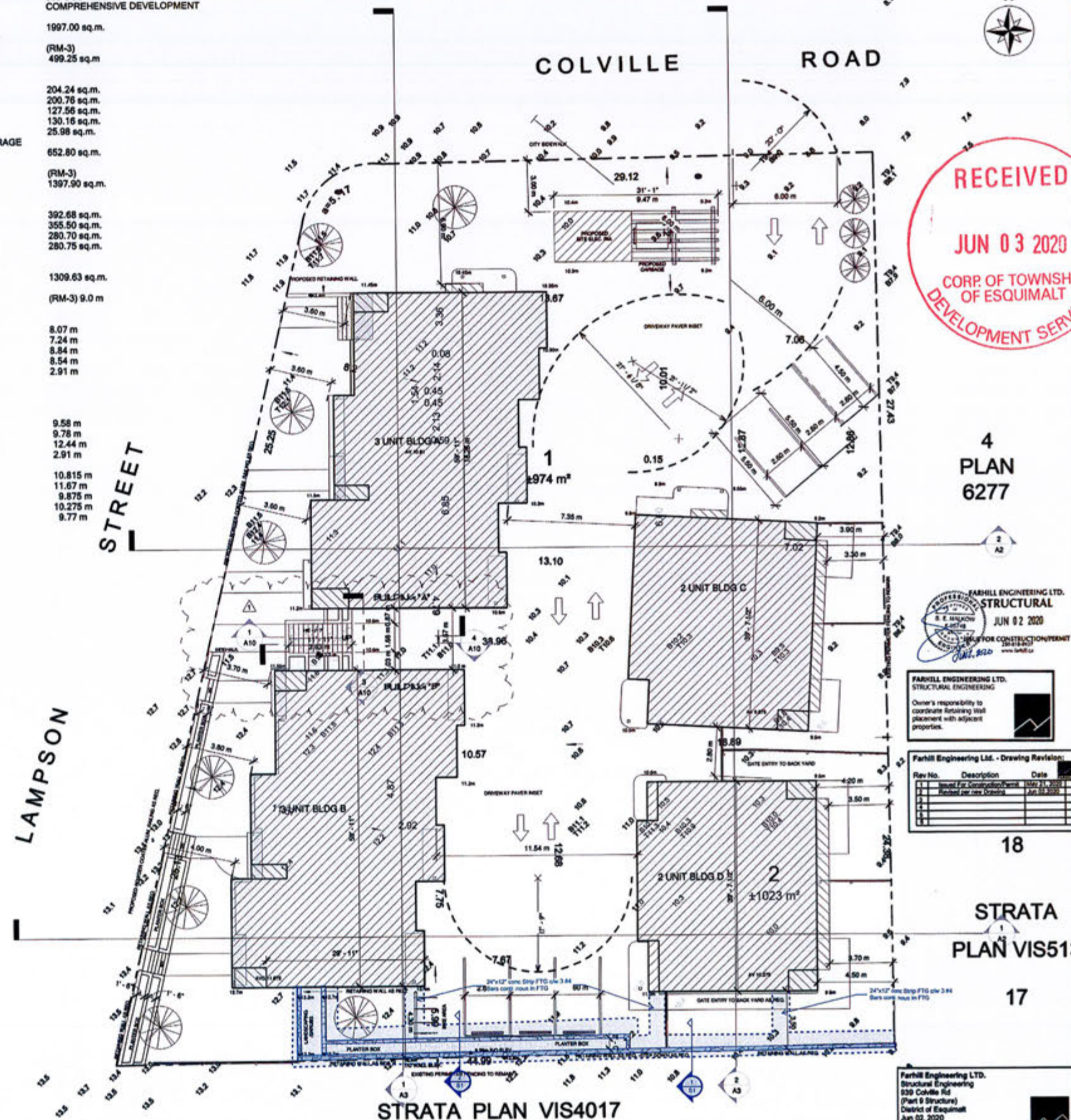
TOTAL F.A.R.	1309.63 sq.m
65.57%	

ALLOWABLE HEIGHT	(RM-3) 9.0 m
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PROPOSED HEIGHT	
BLDG. A	8.07 m
BLDG. B	7.24 m
BLDG. C	8.84 m
BLDG. D	8.54 m
ELECTRICAL	2.91 m

ELEVATIONS:

GARAGES	9.58 m
LOWER FLOOR	9.78 m
MAIN FLOOR	12.44 m
ELECTRICAL	2.91 m
AVERAGE GRADE	
BLDG. A	10.815 m
BLDG B	11.67 m
BLDG C	9.875 m
BLDG D	10.275 m
ELECTRICAL	9.77 m



① Site Plan DWG
1" = 10'-0"

RECEIVED

JUN 03 202

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERV

4
PLAN
6277


FARHILL ENGINEERING LTD.
STRUCTURAL
 JUN 02 2020
 ENGINEER FOR CONSTRUCTION
 1281-9 (2018)
 www.farhill.ca

FARHILL ENGINEERING LTD.
STRUCTURAL ENGINEERING

Owner's responsibility to coordinate Retaining Wall placement with adjacent properties.

Rev No.	Description	Date
1	Issued for construction	May 21, 2008
2	Revised per new drawing	Aug 02, 2008
3		
4		
5		

STRATA
PLAN VIS51:

1

Farhill Engineering Ltd.
Structural Engineering
939 Colville Rd
(Part 9 Structure)
District of Esquimalt
Jun 02, 2020
Lida Homes
Farhill File No.: 31033

Proposed Residence for :

Mr. Ryan Jabs
939 Colville Road, Victoria

DATE: 05/04/2020

DRAWN BY: MS

JOB #: A36-***
SHEET: 1

A1

A1

SHEET A1 OF 1

1. This page must accompany plans for this project which have been submitted for a building permit. These notes apply unless noted otherwise on the drawings.

Items Not Covered by Pflaugh Engineering Ltd.

1. Some elements and components may need professional design by other professionals. This may or may not involve structural design and review. This remains the responsibility of the contractor or owner to arrange and complete. Unless noted otherwise Pflaugh Engineering Ltd. is only responsible for the design of the primary structure.

Pflaugh Engineering Ltd. is not responsible and does not provide design or review for the following items:

- i. Concrete Slab poured in grade including but not limited to, sidewalks, driveways, garage floor slabs or basement floor slabs except the portion shown in the design.
- ii. Interior or exterior back framing
- iii. Exterior Railings
- iv. Interior Railings
- v. Retaining Walls not Attached to Structure
- vi. Architectural details including masonry work
- vii. Cladding, glazing, integrated window mullions
- viii. Interior non-load bearing partition walls and all finishes including drywall and suspended ceilings
- ix. Deck or Stone veneers and their attachments
- x. Chimneys

3. Parbel Engineering Ltd. provides structural engineering services only and does not take any responsibility for BUILDING ENVELOPE particularly in residential design where a qualified envelope engineer may not be retained. Parbel Engineering Ltd. recommends that in all cases a qualified Building Envelope Engineer be retained for design of the building envelope system and details. Any references made to components associated with building envelope is best practice only and should be completed with design provided by a qualified building envelope engineer. In the case of any discrepancy between the structural components and building envelope a Building Envelope engineer shall be retained.

Footings and Foundation
1. All concrete to meet CSA A23.1 and A23.3 requirements
2. The engineer must be contacted at least 24 hours prior to pouring to allow for inspection of the cribbing and reinforcement for concrete footings, suspended slabs and foundation walls.
3. Floor joist are not considered to provide lateral support for walls unless explicitly noted by engineer.
4. See Fehill Engineering foundation details for rebar placement and coverages. If the required detail is not shown please contact the engineer.

6. Reinforcing Steel to be Grade 60 (400MPa) Metric or Grade 60 Imperial Reinforcing bars in CSA C308 Cover as follows

- i. Cast against and exposed to air - 2" (50mm)
- ii. Exposed to air - 1" (25mm)
- iii. Walls with damp proofing - 1" (30mm)

7. Ensure all metal splices are minimum 24" length in C.O.D.

8. All corners to have hooks with minimum 24" legs in both directions walls only, not required in footing

9. All Rebar/rod must be free draining granular material. Foundation should be sealed with two layers of bituminous membrane and utilize a sloped drain hole. (Detail Drawn)

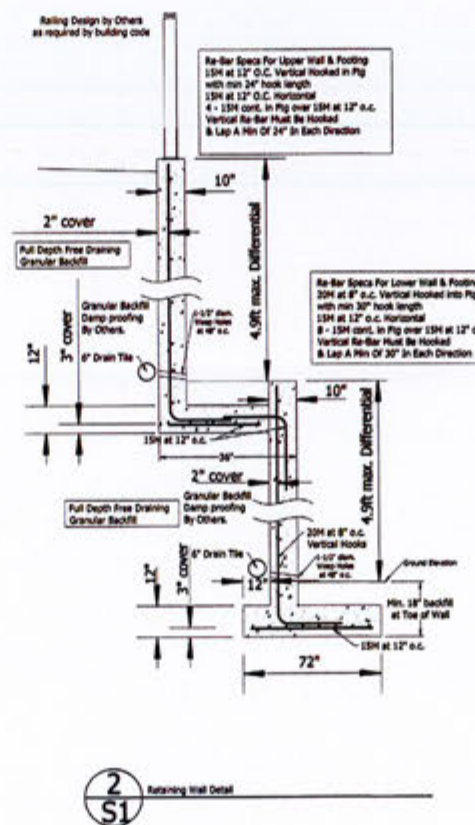
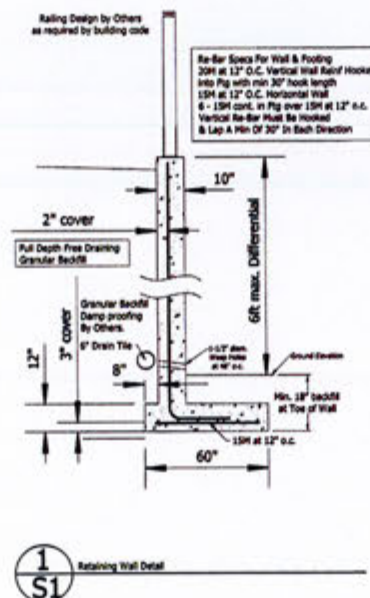
10. The foundation design is based on the assumption that the soil is provided by a Geotechnical engineer. If a geotechnical engineer has not been retained it is assumed that the soils will meet at least 1500PSF (0.0002psi) or better bearing capacity as provided in table 3.4.4.1 of the CBCS 2018. Retain a geotechnical engineer to verify the soil conditions and provide this section of the building soils.

11. The foundation walls have been designed for lateral earth pressure per section 9.4.4.6 of CBCS 2018 and 4300PSF equivalent static fluid loads

12. Ensure horizontal steel bars are continuous, all corners to have hooks with min 24" Legs both directions and ensure adequate lap length and lapability for downward or tie design.

The diagram illustrates a failure mechanism for a slope. It shows a cross-section of a slope with a failure surface (a curved line) and a maximum slope angle indicated by a triangle and the label "Max Slope".

1. Backfilling is the responsibility of the contractor or owner. All concrete design completed by Parit Engineering requires full strength of concrete to be reached at 28 days.
2. All interior areas must be backfilled first and the slab or grade must be installed. Any backfilling completed prior to 28 days or without the installation of the basement slab or ground seal is at the sole responsibility of the contractor or owner.
3. All backfill must be free draining granular material or approved by the owner's or contractor's Geotechnical Engineer. 3/4" drain rock or crushed road base is a generally acceptable option.



Loading of Retaining Walls as per email from Ryzuk
Geotechnical Engineering dated May 08, 2020
Non-Rigid Wall
Site Class: C
2% in 50 year Seismic Event
PGA = 0.58
Available Bearing: 145kPa (SLS) 218kPa (ULS)

Rev No.	Description	Date
1	Revised_Upper Wall Fig	22-May-2020 D
2		
3		
4		
5		

FARHILL ENGINEERING LTD.

105 - 937 Dundas Ave
VICTORIA BC, V9B 2S4
Phone: (778) 817-0351
info@famill.ca
www.famill.ca

Ferhill Engineering Ltd. - Structural Engineering
Retaining Wall
939 Colville Rd - General Notes
Structural
District of Esquimalt
May 21, 2020
Lida Homes
Ferhill File No.: 31033
Design: DTW

Sheet Title
S1 - General Notes

SCALE: NTS

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PERMIT NO. DVP00105

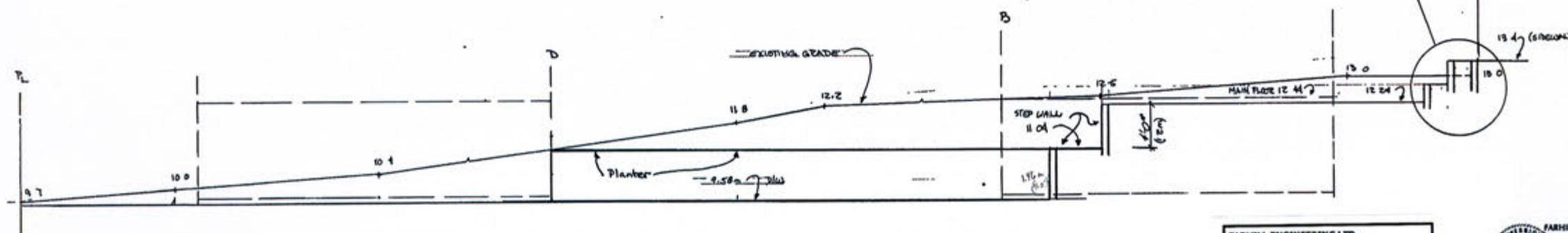
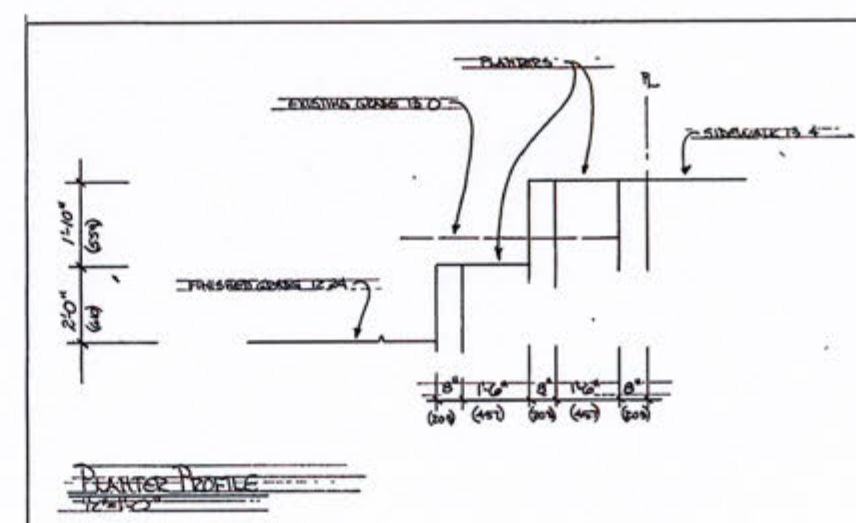
CORPORATE OFFICER

FARHILL GENERAL NOTES



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PERMIT NO. DVP00105

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South Property Line Profile
2/10/20

FARHILL ENGINEERING LTD.
STRUCTURAL ENGINEERING
939 Colville Rd
Structural
District of Esquimalt
May 21, 2020
Lida Homes
Farhill File No.: 31033
Design: DTW



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Lida Homes



T-SQUARE Design & Consulting
2850 Lakehurst Drive, Victoria, BC
design@tsquare.ca
250-382-2893
DATE: 29/03/19 DESIGNED BY: JLL
SCALE: AS SHOWN DRAWN BY: JLL
DRAWING No.: 245-T PROFILE