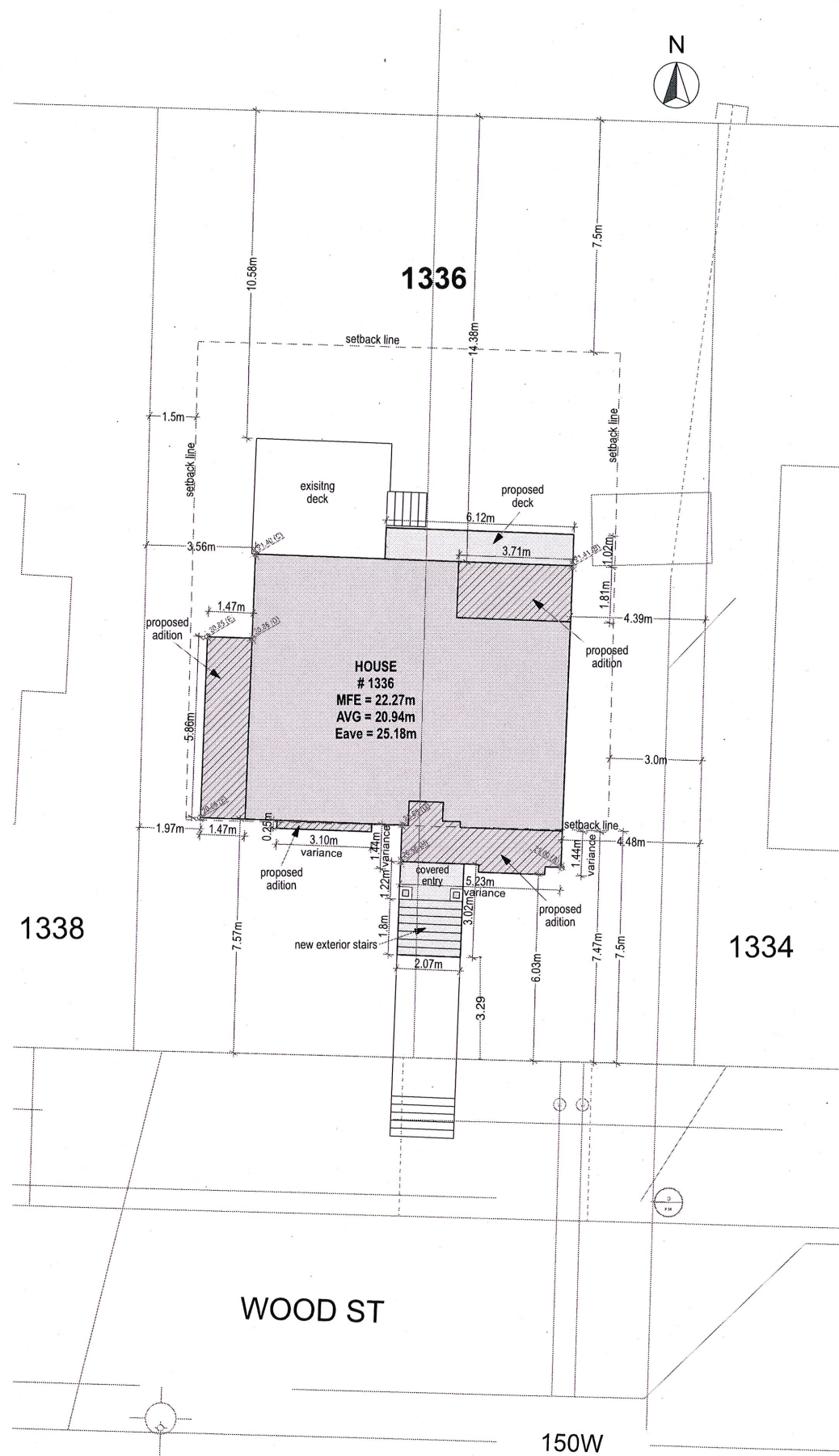


1  
A002  
EXISTING SITE PLAN  
SCALE: 1/4" = 1'-0"



2  
A002  
PROPOSED SITE PLAN  
SCALE: 1/4" = 1'-0"

AVERAGE GRADE  
A = 21.00m  
B = 21.41m  
C = 21.40m  
D = 20.86m  
E = 20.85m  
F = 20.68m  
G = 20.68m  
H = 20.66m  
167.54m/8 = 20.94m



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250.893.8127  
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1336 Wood St,  
Esquimalt, BC

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### Property Information

Project Type: Remodel & Addition

Owners: Jake Wenaus

Address: 1336 Wood St, Esquimalt, BC

Legal Description:

Zoning: RS-1

#### Setbacks:

	Zoning	Proposed	Existing
Rear	7.5m	10.58m	10.58m
Side	1.5m/3.0m	1.97m/4.39m	3.44m/4.39m
Front	7.5m	3.29m*	7.47m

\*Variance is required

Eaves	0.6m	0.3m	0.3m
Height	7.3m	5.0m	

#### Floor Area:

Lower		900.71 SF	887.54 SF
Main		1125.81 SF	875.49 SF
Total		2026.52 SF	1763.03 SF

Lot Area: 5996.32 SF

Building Footprint: 1396.27 SF 887.54 SF

Lot Coverage 30% 23.28% 14.80%

Floor Area Ratio 0.35 0.34 0.29

Main Floor Elevation 22.27m

Average Grade 20.94m

### Applicable Codes

-BC Building Code Current Edition (2012)

### Energy

Compliance path: BCBC 9.36  
Requirements applicable to this project: Prescriptive Path

### Ventilation

BCBC 9.32

ISSUED FOR  
PERMIT

ISSUED:

Cover Sheet and Site  
Plan

A002



**PLAN LEGEND**

- NEW EXTERIOR WALL
- NEW PARTITION WALL
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW FOUNDATION WALL
- EXISTING FOUNDATION WALL TO REMAIN
- BEAM COLUMN FLOOR DRAIN
- DIMENSION PLACEMENT
- ROOM SIZES ARE INTERIOR DIMENSIONS WIDTH X DEPTH
- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
- KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
- FRESH AIR SUPPLY PASSIVE AIR INLET

**ADAPT DESIGN**

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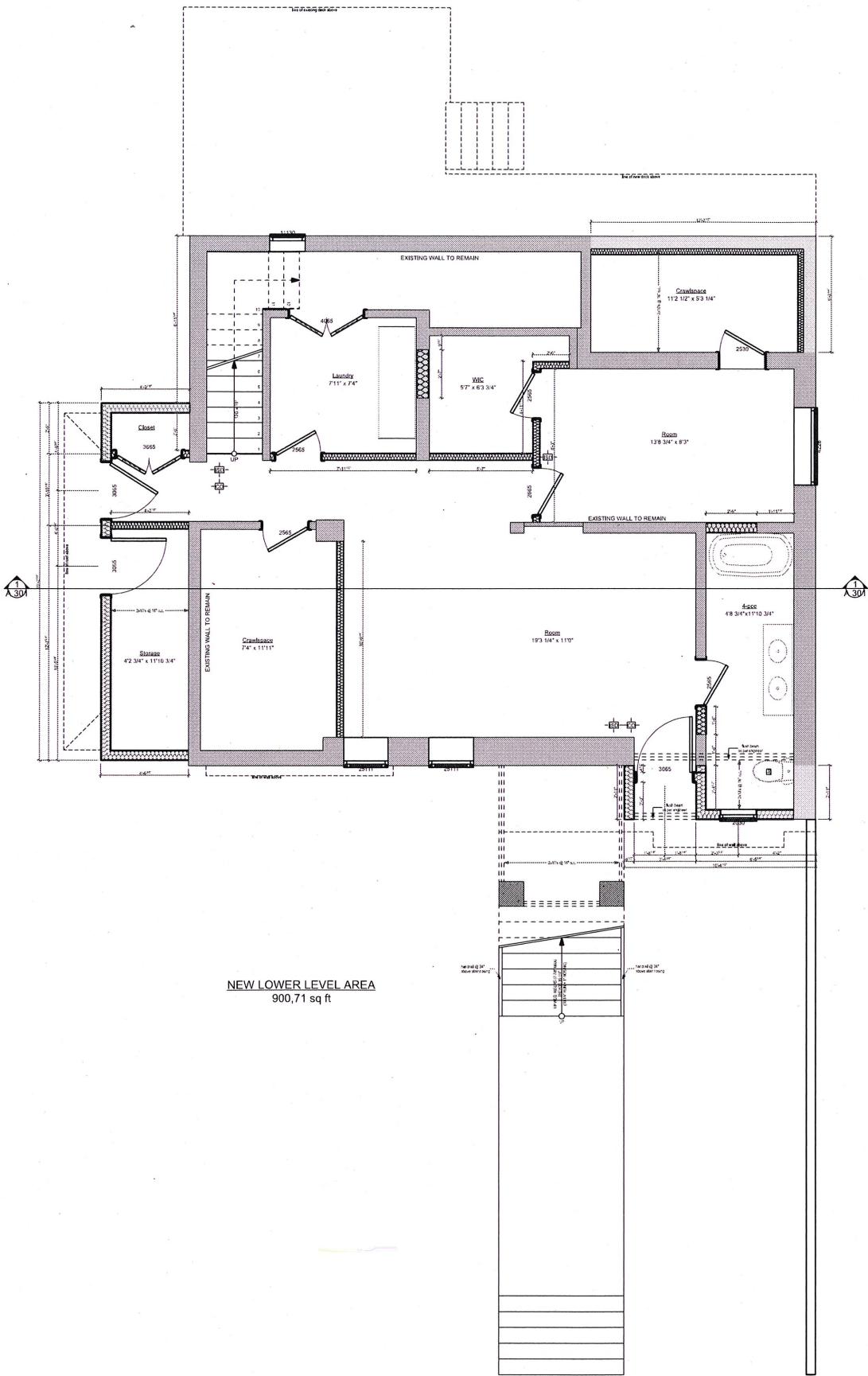
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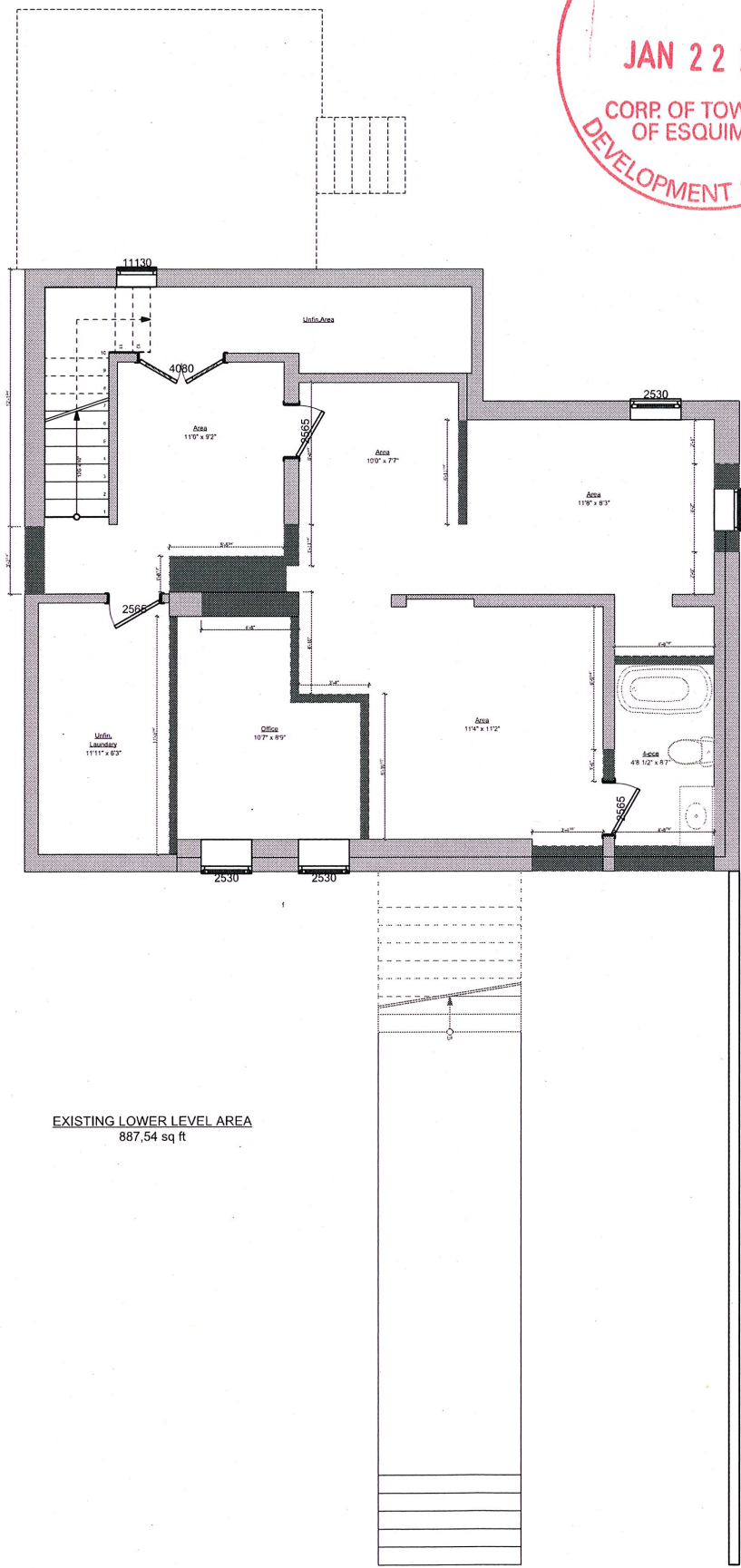
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RECEIVED  
JAN 22 2019  
CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES



NEW LOWER LEVEL AREA  
900.71 sq ft

1 LOWER LEVEL - NEW PLAN  
SCALE: 1/4" = 1'-0"



EXISTING LOWER LEVEL AREA  
887.54 sq ft

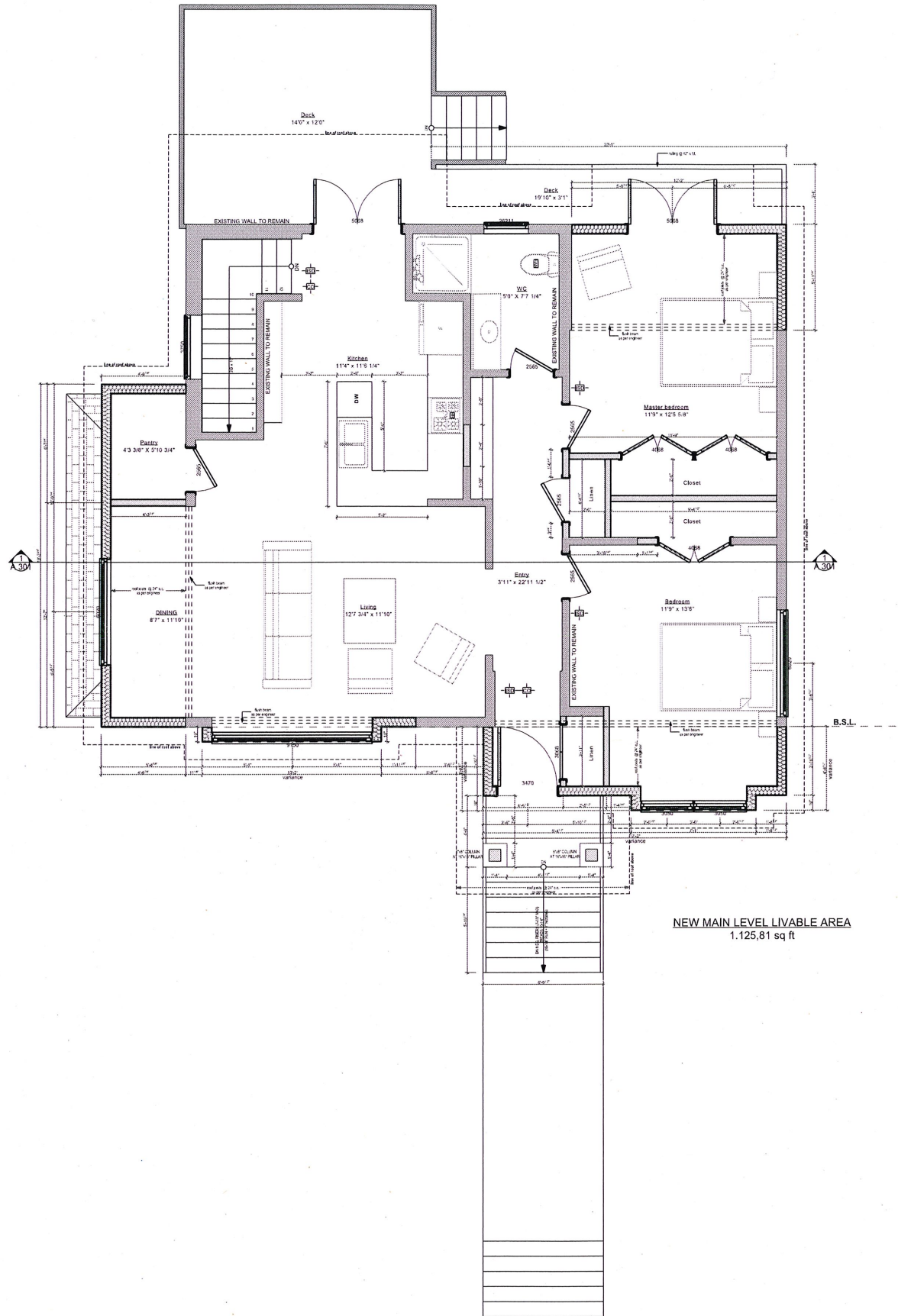
2 LOWER LEVEL - EXISTING-DEMO PLAN  
SCALE: 1/4" = 1'-0"

ISSUED FOR PERMIT

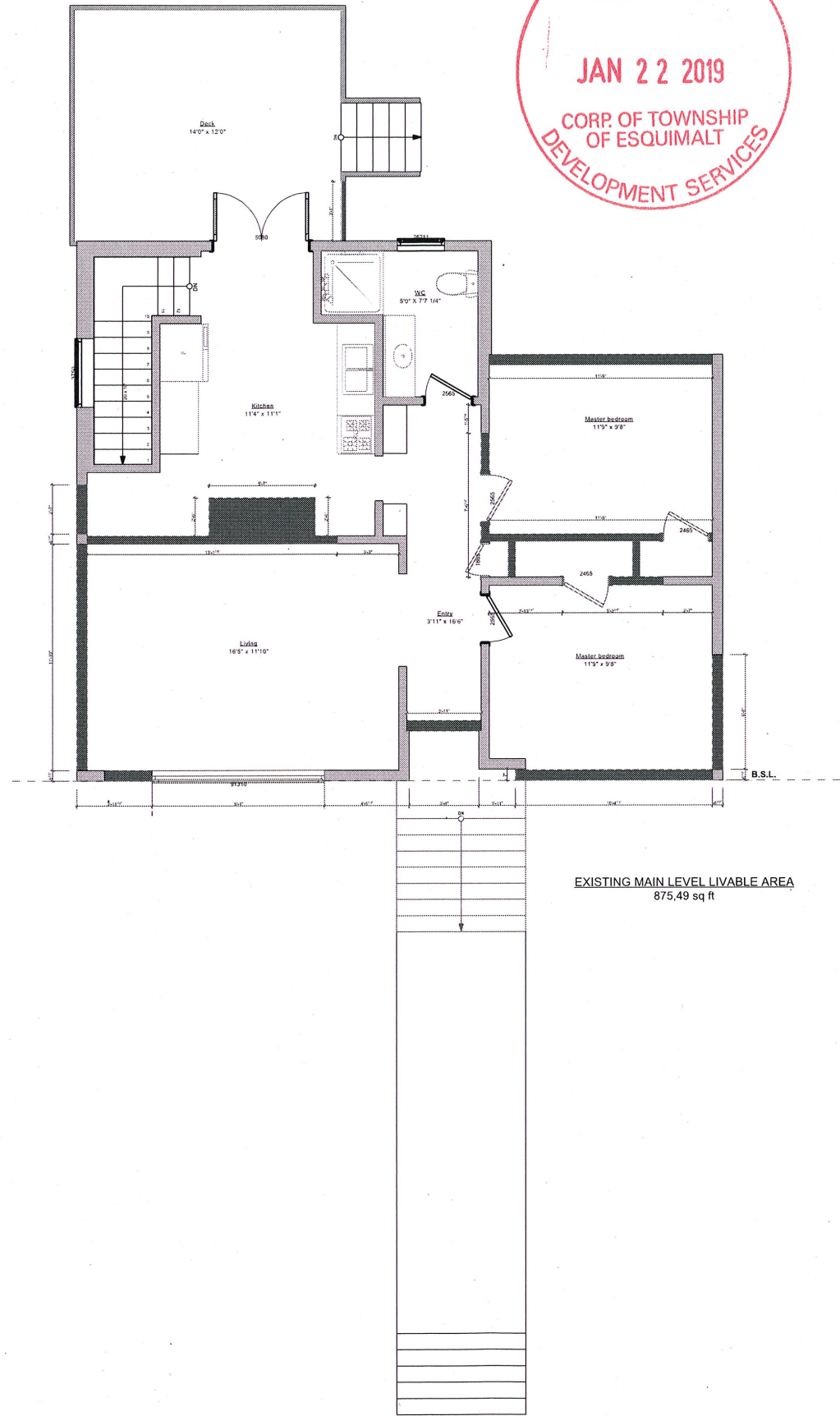
ISSUED:

Lower level





NEW MAIN LEVEL LIVABLE AREA  
1,125.81 sq ft



EXISTING MAIN LEVEL LIVABLE AREA  
875.49 sq ft



PLAN LEGEND	
	NEW EXTERIOR WALL
	NEW PARTITION WALL
	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW FOUNDATION WALL
	EXISTING FOUNDATION WALL TO REMAIN
	BEAM COLUMN FLOOR DRAIN
	DIMENSION PLACEMENT
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ISSUED FOR  
PERMIT

ISSUED:

Main Level

A103

1 MAIN FLOOR - NEW PLAN  
SCALE: 1/4" = 1'-0"

2 MAIN LEVEL- EXISTING-DEMO PLAN  
SCALE: 1/4" = 1'-0"



EXTERIOR CLADDING LEGEND

- 1 HARDIESHINGLE SIDING PAINTED
- 2 CEMENT BOARD LAP SIDING
- 3 ASPHALT ROOFING SHINGLES
- 4 STONE VENEER BY OWNER

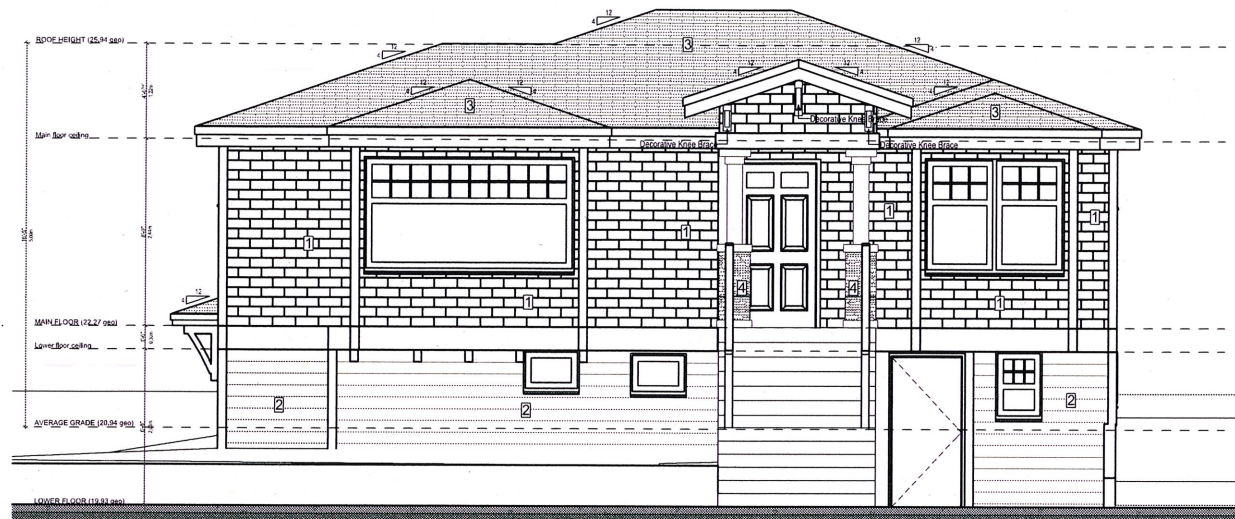
ADDITIONAL EXTERIOR FINISHINGS

GUTTERS 5" CONTINUOUS ALUMINUM (PREFINISHED)  
CIV 4"x1" ALUMINUM DOWNSPOUT (PREFINISHED)  
SOFFIT VENTED ALUMINUM (PREFINISHED)  
FASCIA CLEAR CEDAR SIDING (PAINTED)  
BELLY BAND 2X4 COMB FACED SPF (PAINTED)  
WINDOW TRIM 2X4 COMB FACED SPF TOP AND SIDES CIV  
DOOR TRIM 2X4 SLOPED SILL AND 2X4 SUBSILL (PAINTED)  
CORNER BOARDS 1X4 COMB FACED SPF (PAINTED)

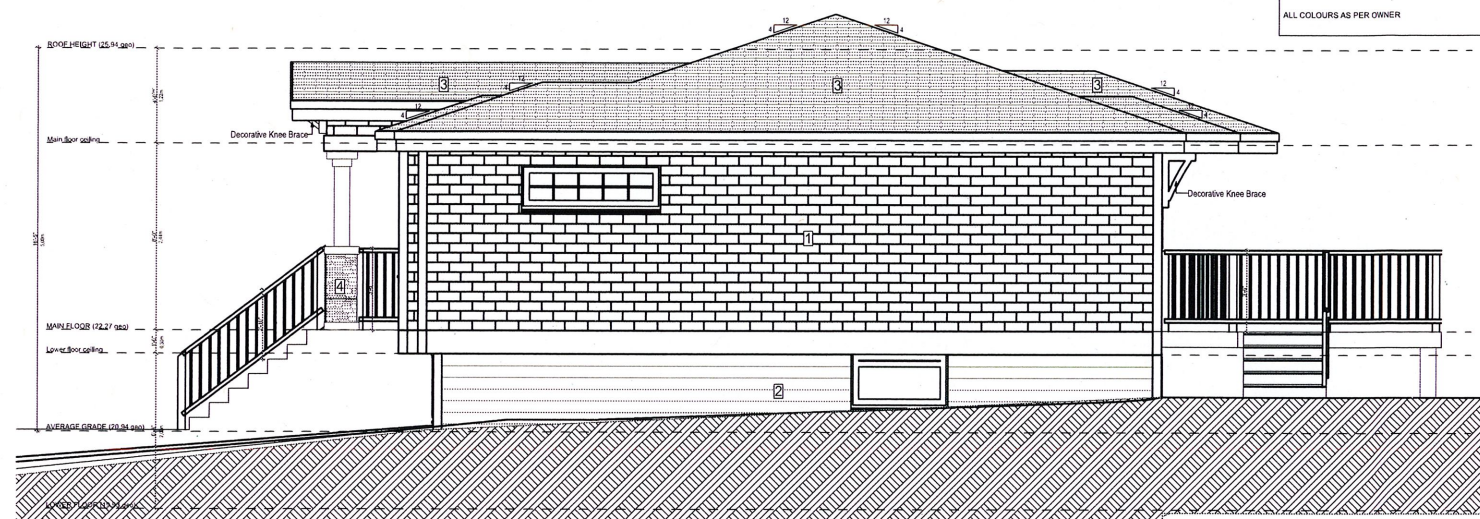
NOTE:  
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO CROSSING WINDOWS

FLASH OVER ALL MATERIAL TRANSITIONS. DOOR AND WINDOW HEADERS

ALL COLOURS AS PER OWNER



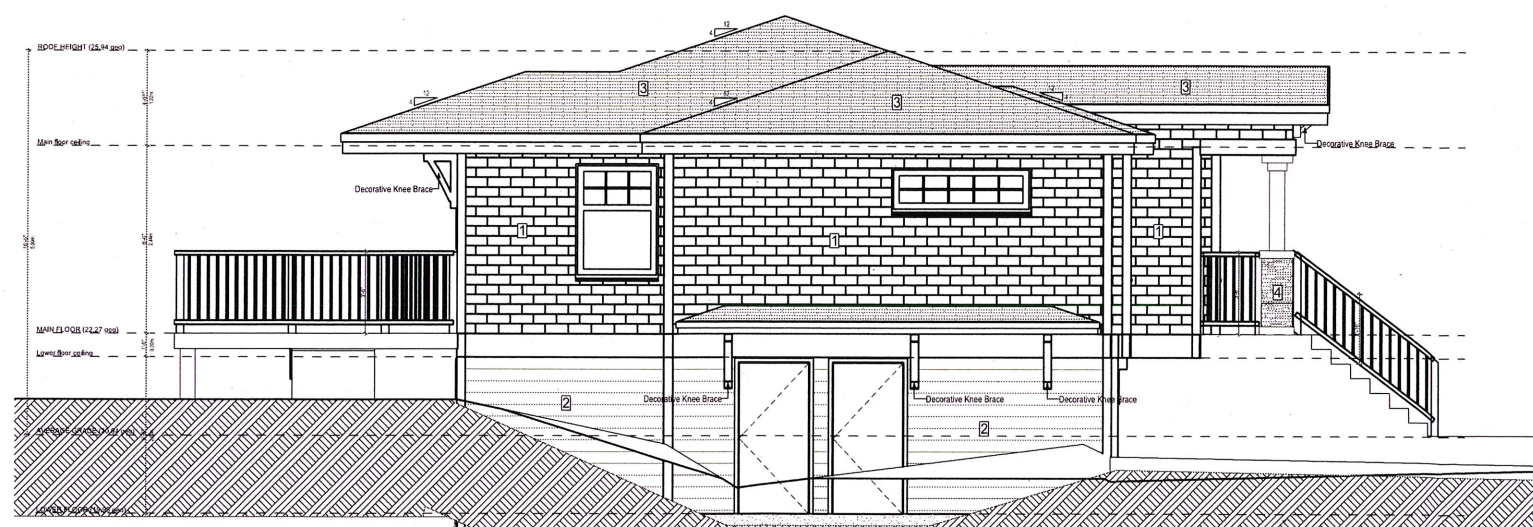
1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

LIMITING DISTANCE BCBC 9.10.15.4  
LIMITING DISTANCE = 1.97m  
EXPOSING BUILDING FACE = 26.95m<sup>2</sup>  
TOTAL PROPOSED AREA OF OPENINGS = 1.06m<sup>2</sup>  
PROPOSED % OPENINGS = 3.93%  
BCBC T9.10.15.4  
MAX. ALLOWABLE AREA OF GLAZED OPENINGS = 8%