



1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

**EXTERIOR CLADDING LEGEND**

- 1 CLEAR CEDAR SIDING STAINED
- 2 STUCCO ACRYLIC FINISH
- 3 CONCRETE FOUNDATION
- 4 STONE VENEER AS PER OWNER
- 5 ASPHALT ROOFING SHINGLES
- 6 FROSTED GLASS

**ADDITIONAL EXTERIOR FINISHINGS**

GUTTERS: 6" CONTINUOUS ALUMINUM (PREFINISHED)  
 CW 4"X3" ALUMINUM DOWNSPOUT (PREFINISHED)  
 SOFFIT: VENTED ALUMINUM (PREFINISHED)  
 FASCIA: 2X15 COMB FACED SPF (PAINTED)  
 BELLY BAND: 2X8 COMB FACED SPF (PAINTED)  
 WINDOW TRIM: SHEET METAL REVEALS (PREFINISHED)  
 DOOR TRIM: SHEET METAL REVEALS (PREFINISHED)

NOTE:  
 WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING WINDOWS.  
 FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS  
 ALL COLORS AS PER OWNER



1500 Shorncliffe Road Victoria BC Canada  
 250.893.8127  
 www.adaptdesign.ca

**COLVILLE ROAD 1076**

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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ISSUED FOR DP

ISSUED:

ELEVATIONS

**A-201**



**3 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXTERIOR CLADDING LEGEND**

- 1 CLEAR CEDAR SIDING STAINED
- 2 STUCCO ACRYLIC FINISH
- 3 CONCRETE FOUNDATION
- 4 STONE VENEER AS PER OWNER
- 5 ASPHALT ROOFING SHINGLES
- 6 FROSTED GLASS

**ADDITIONAL EXTERIOR FINISHINGS**

GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SOFFIT	CVW 4"x2" ALUMINUM DOWNSPOUT (PREFINISHED)
FASCIA	VENTED ALUMINUM (PREFINISHED)
BELLY BAND	2X16 COMB FACED SPF (PAINTED)
WINDOW TRIM	2X8 COMB FACED SPF (PAINTED)
DOOR TRIM	SHEET METAL REVEALS (PREFINISHED)
	SHEET METAL REVEALS (PREFINISHED)

NOTE:  
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCIC EGRESS REQUIREMENTS, CONTRACTOR TO VERIFY ALL I.O. PRIOR TO ORDERING WORK.

FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS  
ALL COLORS AS PER OWNER



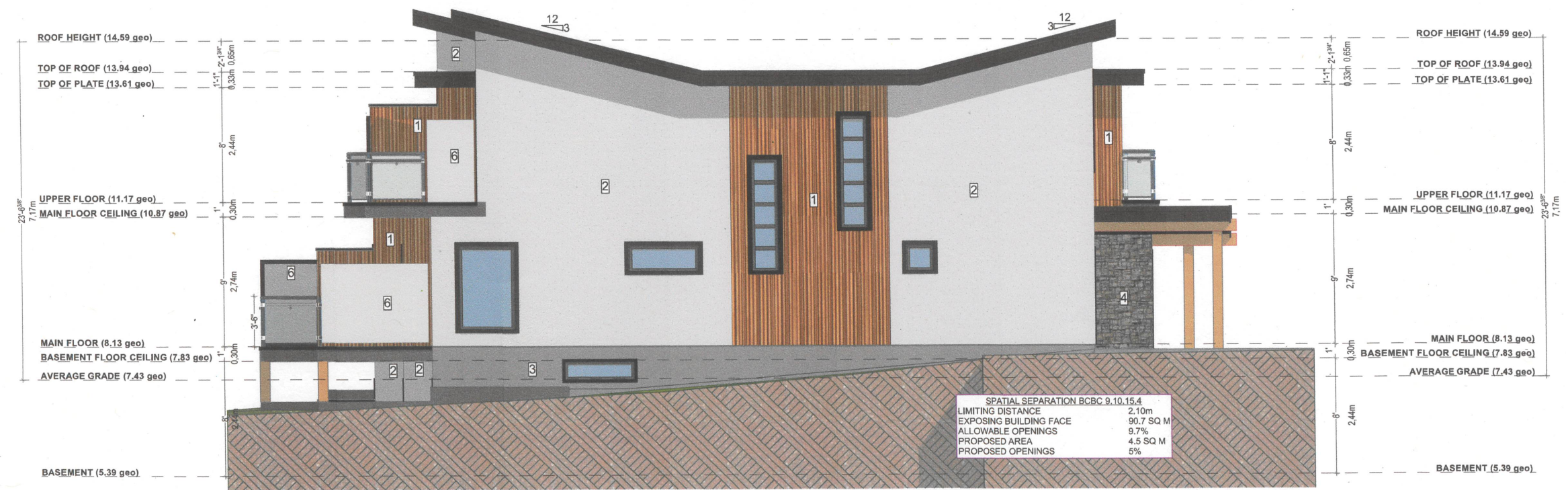
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**4 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

Spatial Separation BCBC 9.10.15.4

LIMITING DISTANCE	2.10m
EXPOSING BUILDING FACE	90.7 SQ M
ALLOWABLE OPENINGS	9.7%
PROPOSED AREA	4.5 SQ M
PROPOSED OPENINGS	5%



ISSUED FOR DP

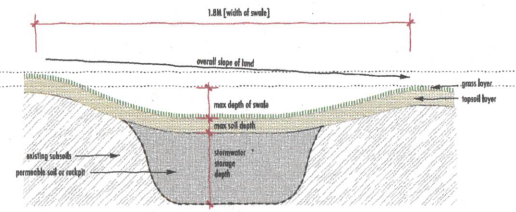
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ELEVATIONS

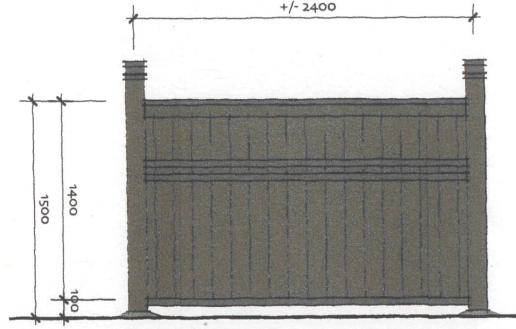
**A-202**

**LEGEND**

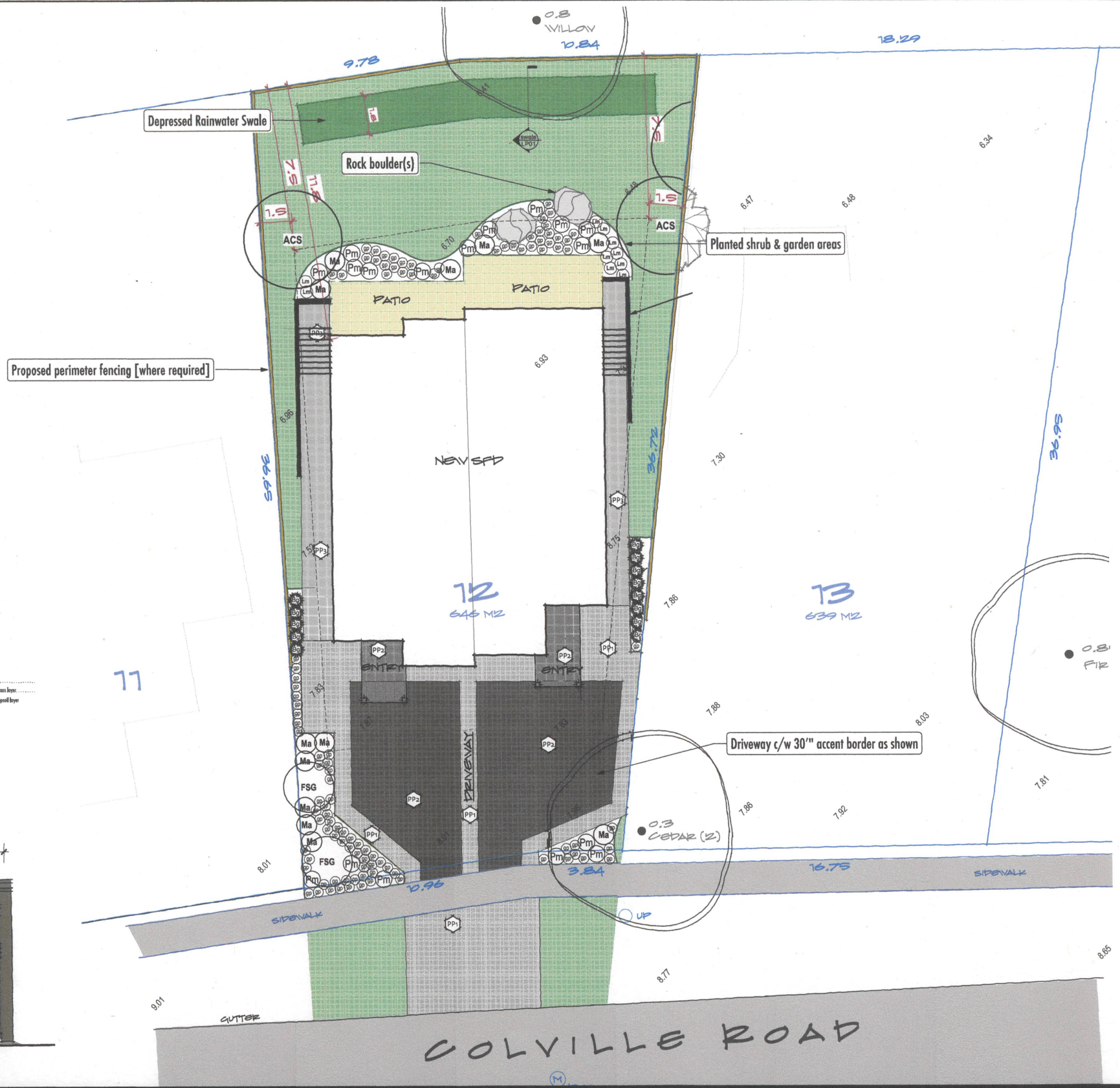
- HARDSCAPE FINISHES:**
- PP1 CIP concrete paving; Smooth or Orangetop finish. Natural colour.
  - PP2 SF Kimo or equal - permeable unit pavers; Old Country Stone; All types. Charcoal colour
  - PP3 CIP concrete paving; Smooth finish. Natural colour.
  - PP4 Existing road and sidewalk paving (to remain)
- SOFTSCAPE:**
- Lawn
  - Planting area
- MISCELLANEOUS:**
- Wooden privacy fencing or screening approx. 1500-1800mm height
  - Large rock boulders approx. 4' x 3' dia.
  - Concrete or mortared rock retaining/upstand walls; Heights may vary.
- NOTES:**
- 1) All building layout information and setback dimensions supplied by Adapt Design.
  - 2) All survey information supplied by Adapt Design.
  - 3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
  - 4) All errors and omissions must be reported immediately to the Designer.
  - 5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designer's name.



PROPOSED TYPICAL STORMWATER SECTION\*  
SCALE: NTS  
\* SEE ENGINEERING SPECIFICATIONS BY OTHERS IF REQUIRED



PROPOSED PERIMETER FENCING  
SCALE: NTS



**SITE PLANT LIST:**

SYMB	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES:</b>				
ACS	2	Acer Crimson Sentry	Crimson Sentry Maple	4cm cal. b&b
FSG	2	Fagus sylvatica Dawyck Gold	Gold Columar Beech	4cm cal. b&b
<b>SHRUBS:</b>				
Bg	13	Buxus Green Velvet	Boxwood	#3
e	5	Echinacea purpurea	Purple Coneflower	#1
r	7	Rudbeckia fulgida	Orange Coneflower	#1
Lm	10	Liriope Big Blue	Liriope Big Blue	#1
Ma	11	Mahonia aquifolium	Oregon Grape	#5
Pm	16	Polystichum munitum	Western Sword Fern	#3
<b>GROUNDCOVERS, BULBS AND VINES</b>				
gp	99	Gaultheria procumbens	Wintergreen	Sp3, 45cm o.c.

**NOTES:**

Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition). All growing medium to comply to BCLSA/ BCLNA standard designation "IP - Level-1 Well Groomed Areas". Undergrround irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sleeved.

Fencing to be built as shown on plan; portions of fencing along sideyards to be built with trellis top where shown, if requested. All fencing to be built to municipal standards and specifications.

All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and/or arborist where necessary. Arborist to install tree protection fencing for boulevard tree where necessary, and be retained for project supervision when tree impact is affected. Boulevard landscape to remain unchanged from existing.

Driveway and hardsurface grading, rear yard retaining walls (if any), and BioSwale design & sizing to be determined by others. Driveway to be a permeable surface as shown, complete with concrete borders.

Contractor to locate, identify and have crews be aware of all new and existing services on and into the property. All hard and soft landscape elements to meet municipal standards and specifications.



LP.02  
02.JUNE.2023  
1 : 1 0 00  
LATEST REVISION: 10.SEPT.2023

**1076 COLVILLE ROAD  
LANDSCAPE LAYOUT**

DUPEX DEVELOPMENT :: 1072-1076 COLVILLE ROAD :: SKL.02 :: landscape layout ::