

K0434 - 553 Paradise St. Township of ESQUIMALT

New Detached Accessory Dwelling Unit (DADU) to replace existing Garage

GENERAL LANDSCAPE NOTES

1. VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. (BC 1 CALL)
2. ALL LANDSCAPE MATERIALS AND CONSTRUCTION TO MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. TYPICAL SUB-BASE FOR HARD LANDSCAPE TO BE 6" OF COMPACTED (98% SPD) 3/4" MINUS CRUSHED ROCK BASE ON COMPACTED SUBGRADE (98% SPD) OR ON BEDROCK.
3. INSTALL IRRIGATION SLEEVE UNDER NEW PAVING DIAMETER TO SUIT IRRIGATION LINES.

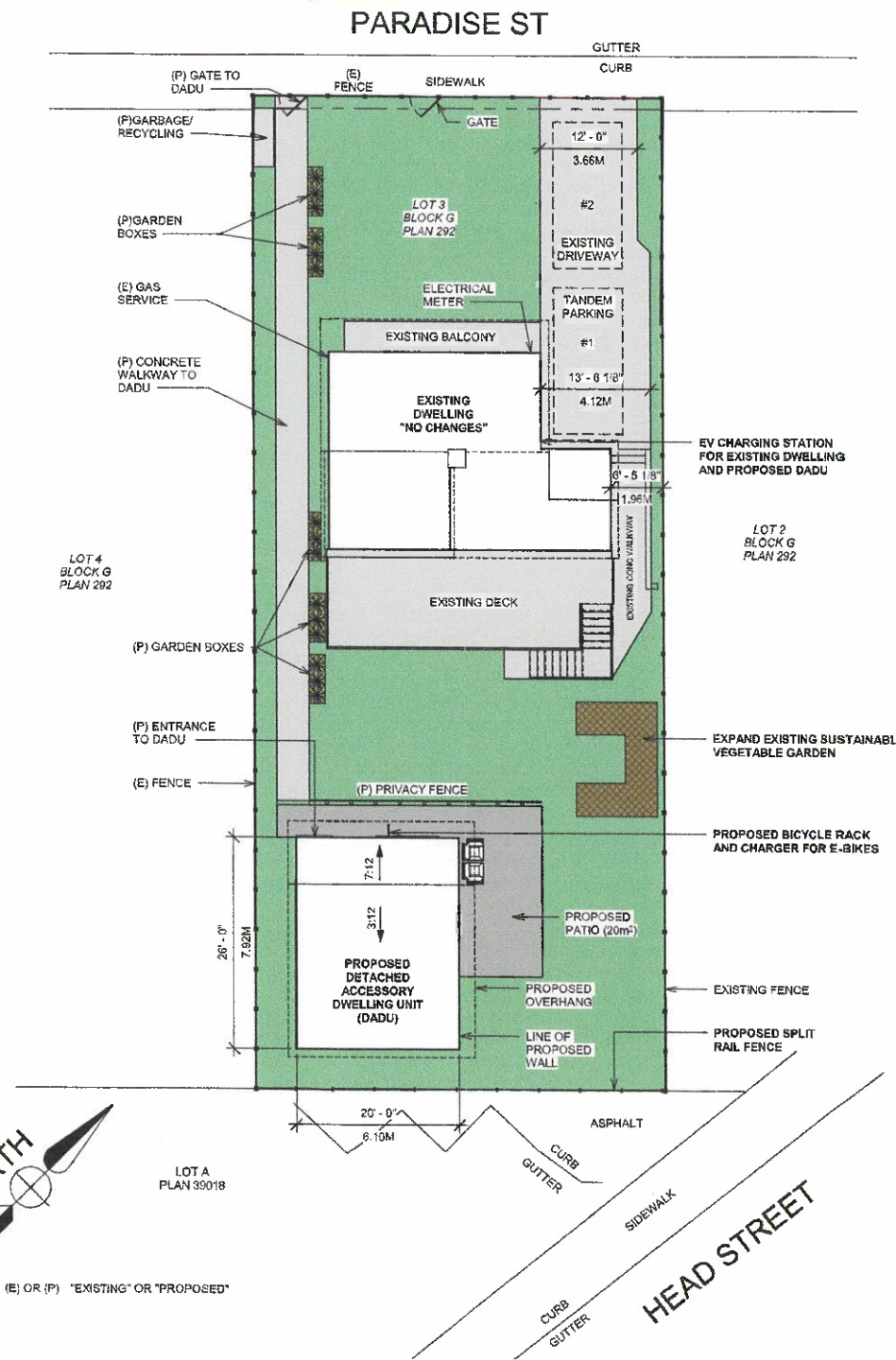
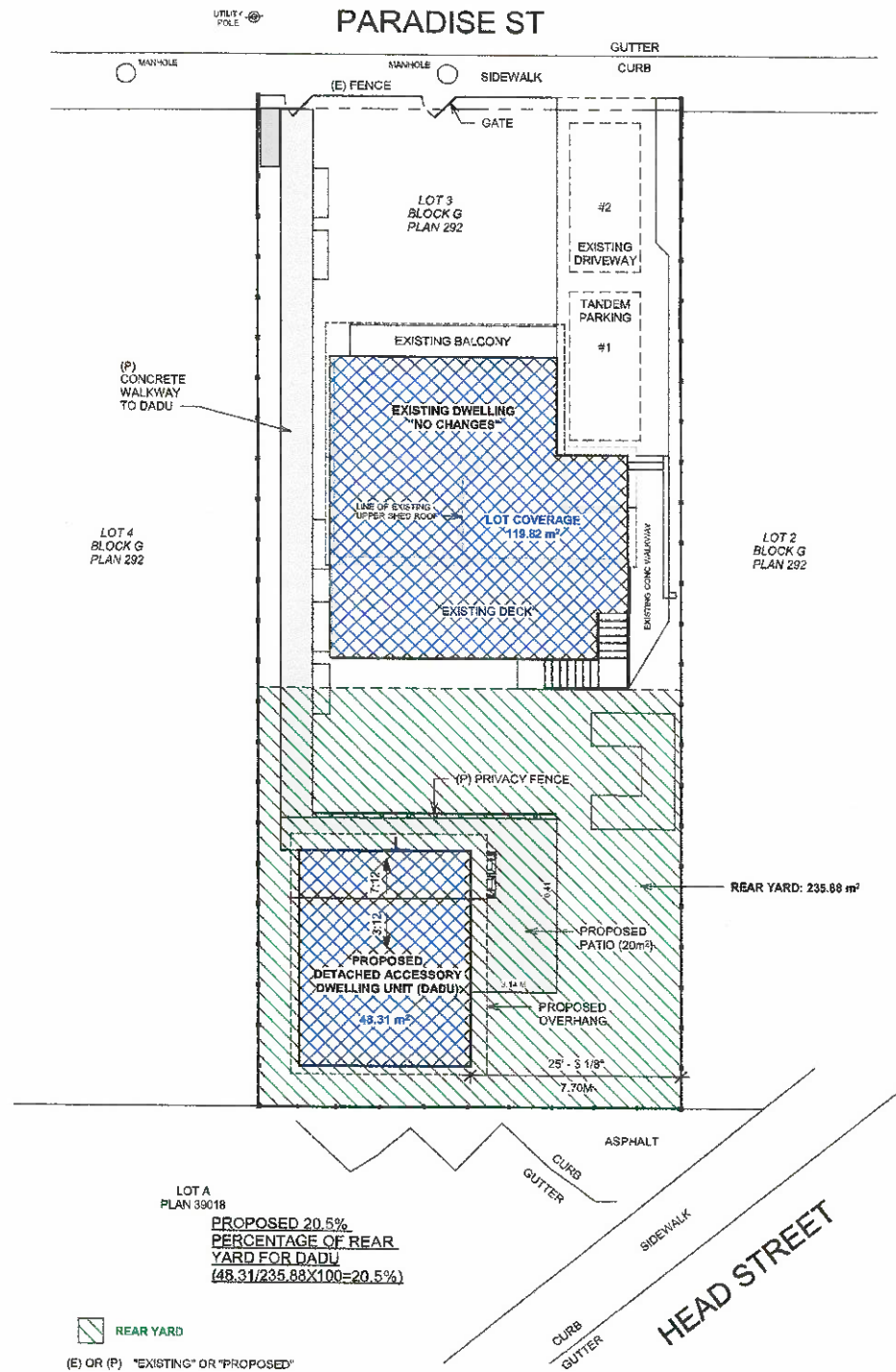
PLANTING NOTES

1. ALL EXISTING PLANTS TO BE RETAINED ARE TO BE PROTECTED DURING INSTALLATION AND CONSTRUCTION.
2. SOIL DEPTHS TO MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD.
3. ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING WHERE PLANTING SOIL IS TO BE RUN AGAINST THE BUILDING FACE.
4. SOIL MIX IN LAWN AREAS TO COMPLY WITH CANADIAN LANDSCAPE STANDARD.
5. PLANTERS AND PLANT POTS TO BE IRRIGATED.
6. LANDSCAPING TO CONSIST PRIMARILY OF NATIVE PLANTS



MAVERICKS

C-2009 Fernwood Rd
Victoria, BC V8T 2Y8
(250) 634-0196



PROPOSED 20.5%
PERCENTAGE OF REAR
YARD FOR DADU
(48.31/235.88X100=20.5%)

REAR YARD
(E) OR (P) "EXISTING" OR "PROPOSED"

② DADU REAR YARD COVERAGE
3/32" = 1'-0"

① LANDSCAPE PLAN
3/32" = 1'-0"

DEVELOPMENT PERMIT

No.	Description	Date
1	ISSUED FOR PLANNING	2021.02.26
2	PLANNING REV	2021.04.19
3	ISSUED FOR REZONING	2021.10.21
4	ISSUED FOR DFA	2022.10.26

Chris Moore

553 Paradise St. Victoria, BC V9A 5E3
LANDSCAPE PLAN

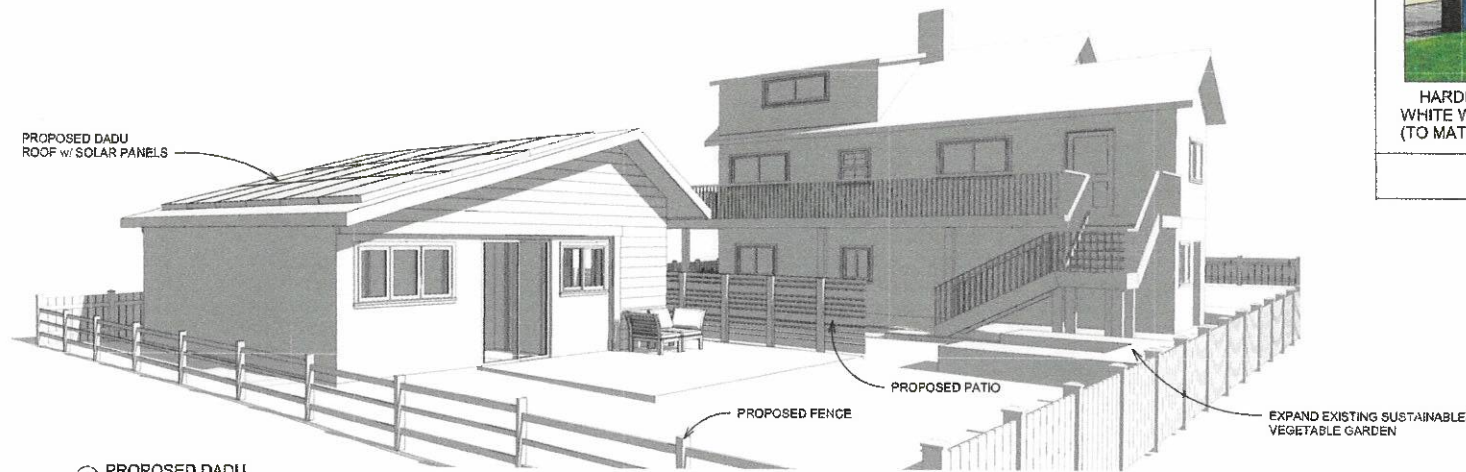
Project number	K0434
Date	2022.10.28
Drawn by	KO
Checked by	MH

A2

Scale: As indicated

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6 PROPOSED DADU



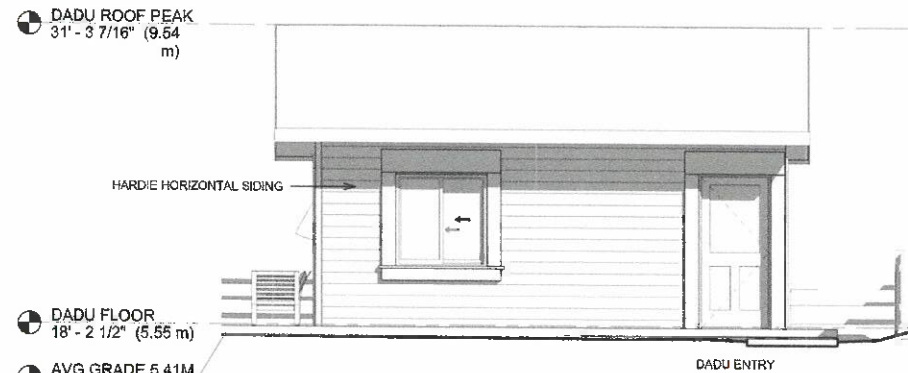
HARDIE SIDING & WHITE WINDOW TRIM (TO MATCH EXISTING)
 HARDIE SIDING & WHITE TRIM BOARDS (TO MATCH EXISTING)
 DADU PATIO (TO MATCH EXISTING)
 ROOFING MATERIAL (TO MATCH EXISTING)
 SOLAR PANEL

PROPOSED D.A.D.U. MATERIALS

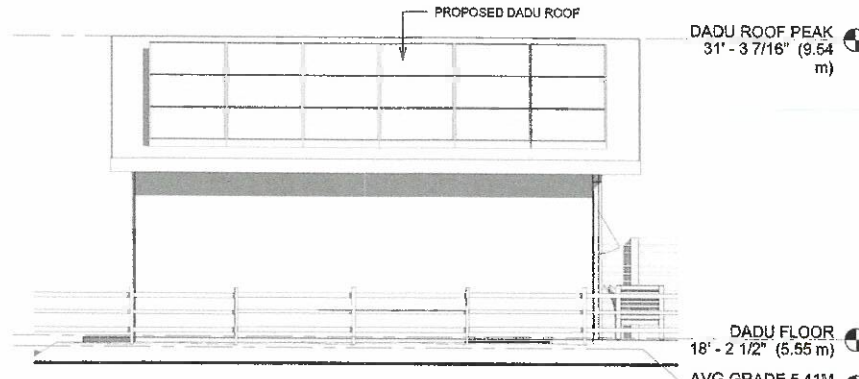


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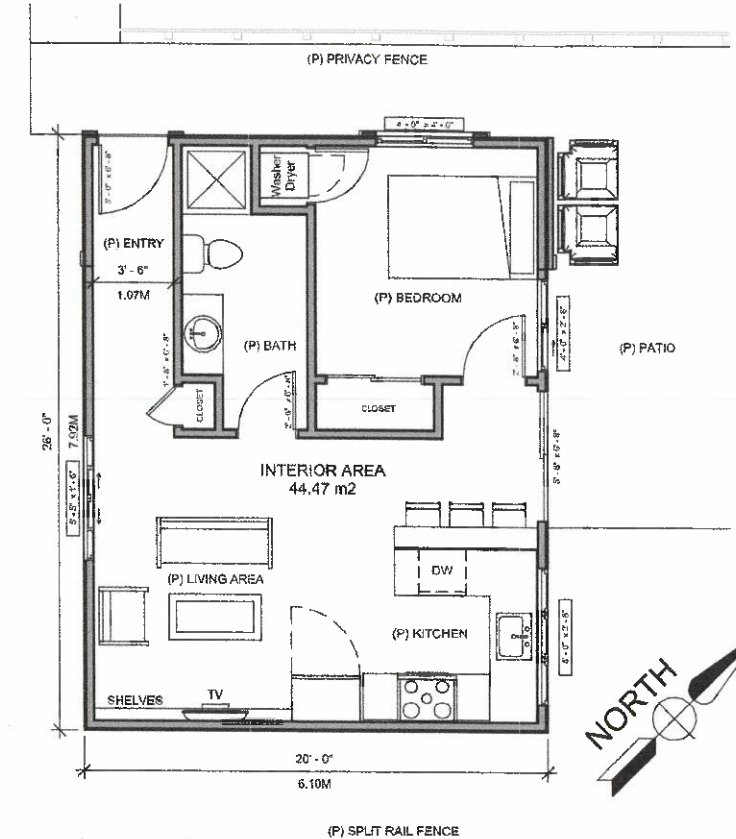
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4 DADU NORTH ELEVATION
 1/4" = 1'-0"



5 DADU SOUTH ELEVATION
 1/4" = 1'-0"

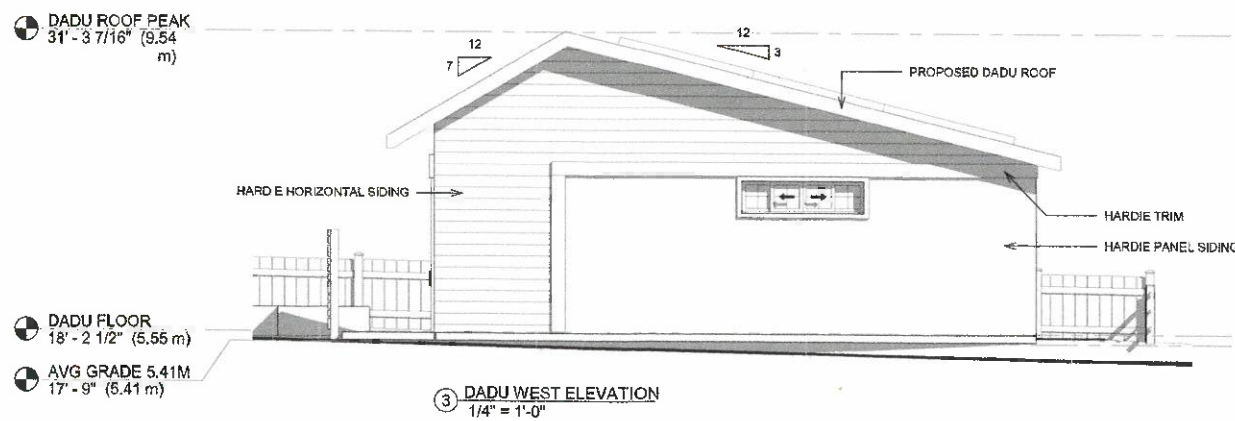


1 (P) FLOOR PLAN - D.A.D.U.
 1/4" = 1'-0"

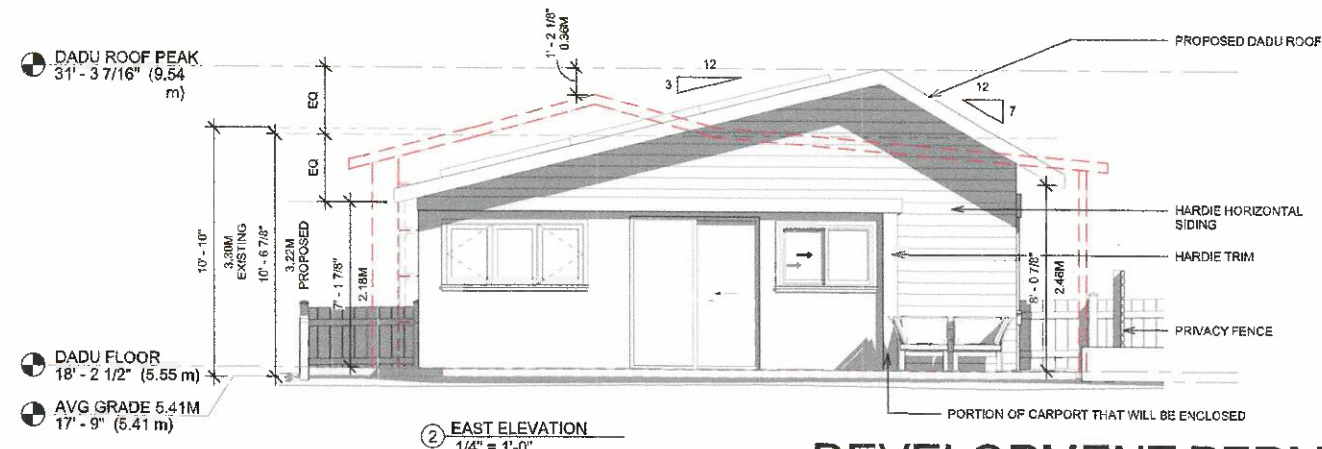
LEGEND

- EXISTING WALLS TO BE DEMO / MODIFIED
- EXISTING WALLS TO REMAIN
- NEW WALLS / MODIFIED WALL
- (E) OR (P) 'EXISTING' OR 'PROPOSED'

LOT COVERAGE: ACCESSORY	10%	58.32 m ²	10.4%	EXISTING
		46.91 m ²	8.7%	PROPOSED



3 DADU WEST ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"

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 PROPOSED DADU PLAN & ELEVATIONS

Project number	K0434
Date	2022.10.28
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Checked by	MH

A3

Scale 1/4" = 1'-0"