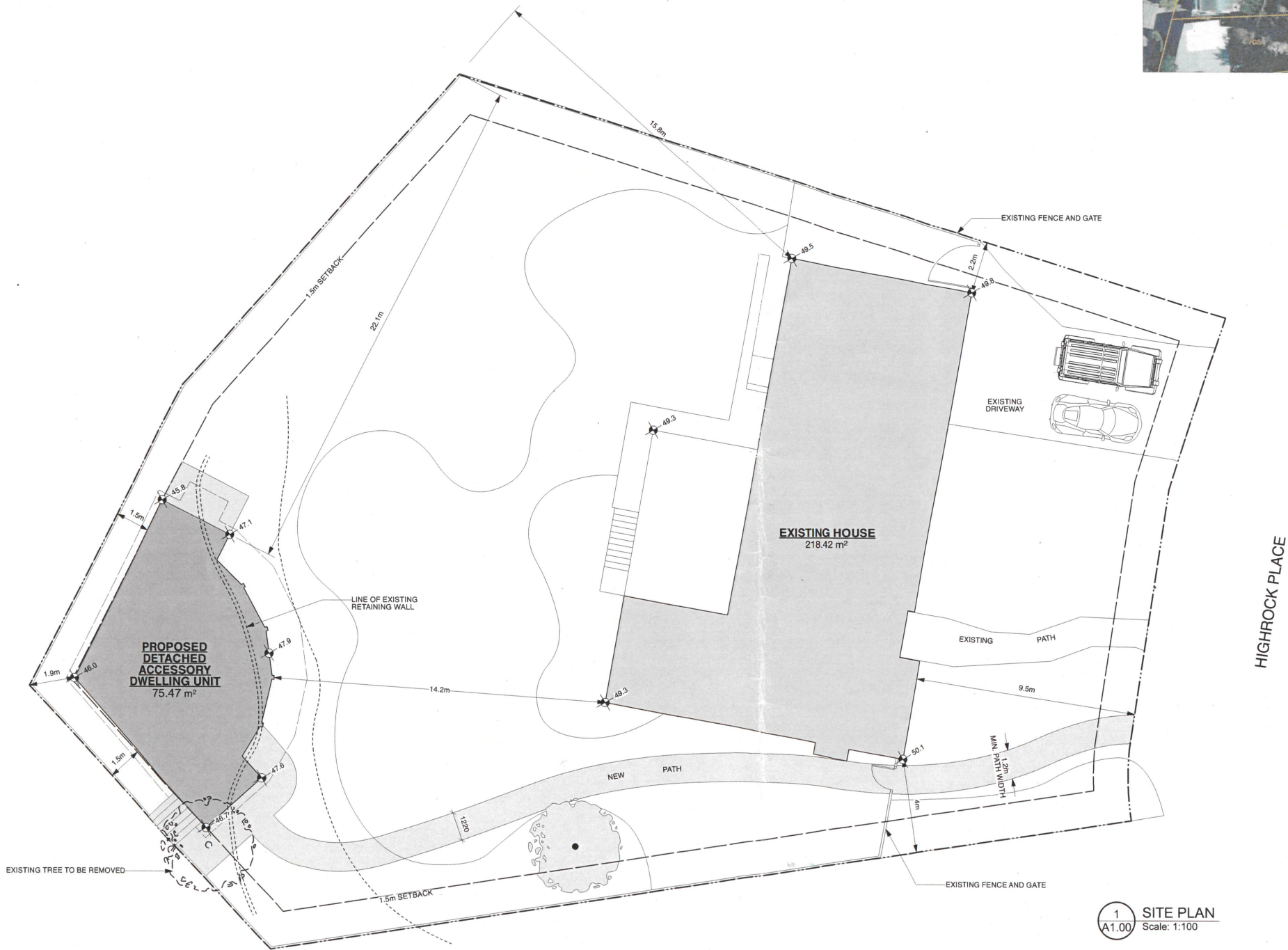
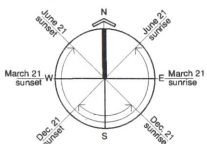




2
A1.00
AERIAL
Scale: N.T.S.



1
A1.00
SITE PLAN
Scale: 1:100

DRAWING LIST

- A1.00 SITE PLAN & PROJECT DATA
- A2.00 EXISTING HOUSE - LOWER FLOOR PLAN
- A2.01 EXISTING HOUSE - UPPER FLOOR PLAN
- A3.00 DETACHED ACCESSORY DWELLING UNIT - PLAN & BUILDING SECTIONS
- A4.00 DETACHED ACCESSORY DWELLING UNIT - ELEVATIONS

GENERAL NOTES

- ALL WORK TO CONFORM TO 2018 BRITISH COLUMBIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, BYLAWS AND STANDARDS.
- ALL DIMENSIONS ARE IN METRIC (MILLIMETERS) UNLESS OTHERWISE NOTED.
- DO NOT SCALE FROM DRAWINGS!

PROJECT DATA

LEGAL DESCRIPTION: LOT E SECTION 10 ESQUIMALT DISTRICT PLAN VIP45667, PID 008-762-589
LOT SIZE: 0.130 HECTARE / 0.320 ACRE / 1 295.9 m²
ZONING: RS-6
BUILDING AREA:
• EXISTING HOUSE: 218.42 m²
• PROPOSED DETACHED ACCESSORY DWELLING UNIT: 75.47 m²
• TOTAL: 293.89 m²
GROSS FLOOR AREA:
• EXISTING HOUSE:
• LOWER FLOOR: 192.27 m² - 45.00 m² GARAGE = 147.27 m²
• MAIN FLOOR: 125.91 m²
• TOTAL: 273.18 m²
• GARDEN SUITE (65.0 m² MAX): 63.90 m²
• TOTAL: 337.08 m²
FLOOR AREA RATIO (0.35 MAX): 0.26
LOT COVERAGE (30% MAX):
• EXISTING HOUSE: 16.9%
• PROPOSED DETACHED ACCESSORY DWELLING UNIT: 5.8%
• TOTAL: 22.7%
LOT COVERAGE - DETACHED ACCESSORY DWELLING UNIT (10% MAX): 5.8%
REAR YARD LOT COVERAGE:
• REAR YARD AREA: 663.6 m²
• MAX LOT COVERAGE ALLOWED: 25% (165.9 m²)
• PROPOSED LOT COVERAGE: 11.3% (75.47 m²)
AVERAGE NATURAL GRADE: 46.85 m
AVERAGE FINISHED GRADE: 46.75 m
HEIGHT (4.2 m MAX): 3.96 m
SETBACKS:
• EXISTING HOUSE:
• FRONT YARD (EAST): 9.5 m
• REAR YARD (WEST): 15.8 m
• INT. SIDE (NORTH): 2.2 m
• INT. SIDE (SOUTH): 4.0 m
• PROPOSED DETACHED ACCESSORY DWELLING UNIT:
• REAR YARD (WEST): 1.5 m
• INT. SIDE (NORTH): 22.1 m
• INT. SIDE (SOUTH): 1.5 m
DISTANCE BETWEEN BUILDINGS: 14.2 m
OFF STREET PARKING:
• REQUIRED
• SINGLE FAMILY HOME: 1
• DETACHED ACCESSORY DWELLING UNIT: 1
• EXISTING: - 4 (2 CAR GARAGE PLUS 2 IN DRIVEWAY)



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Rev	Date	Description
Checked		SMB
Drawn		RJC
Scale		AS NOTED

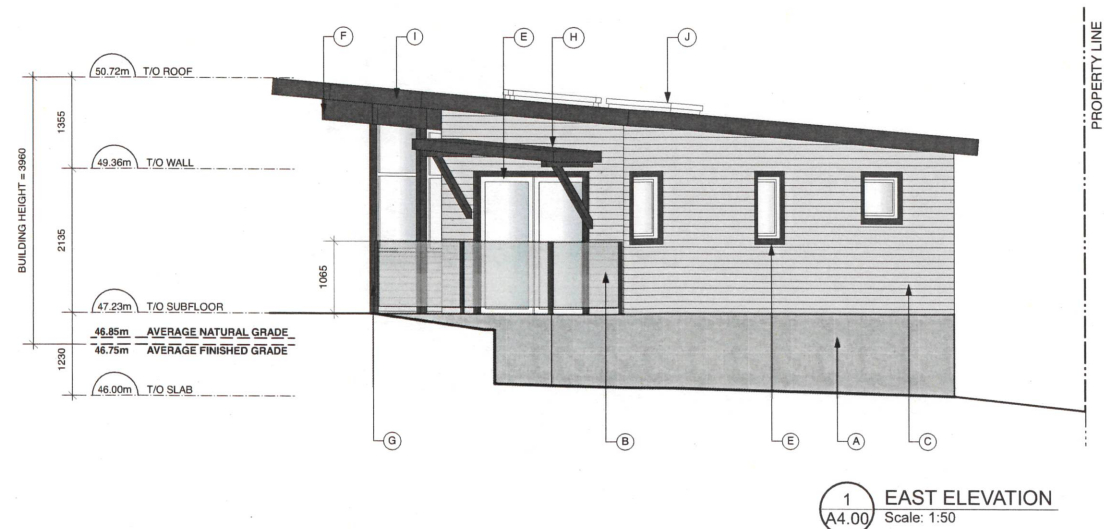
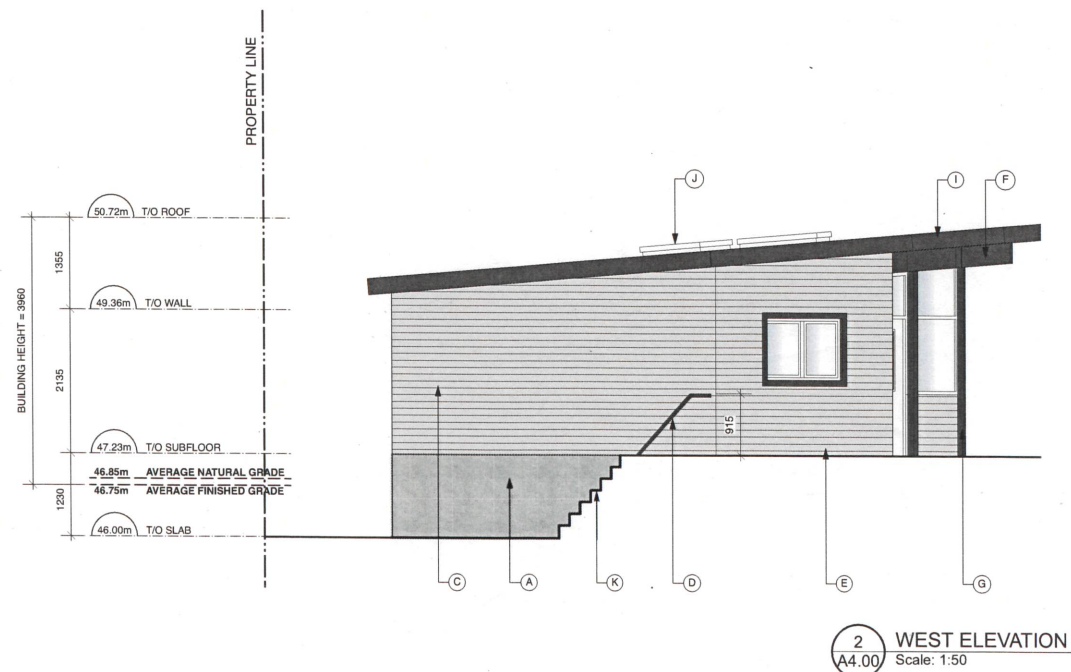
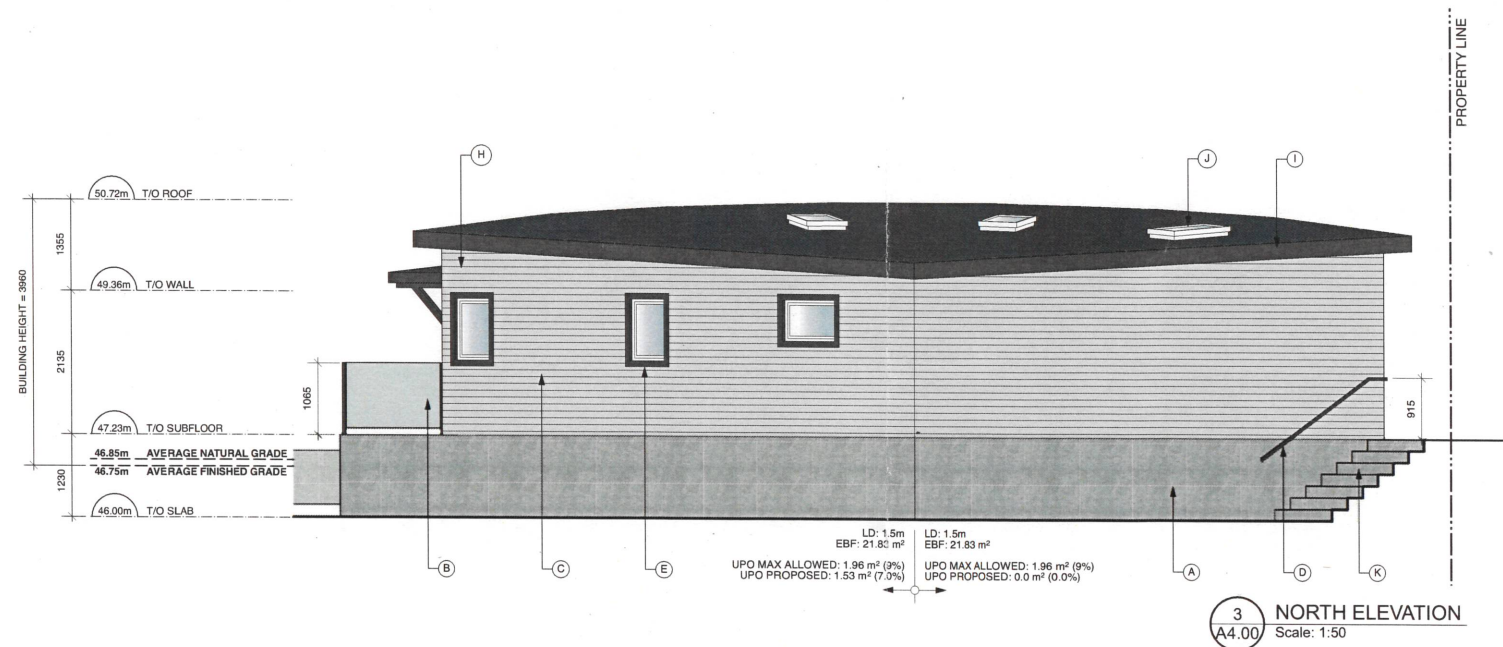
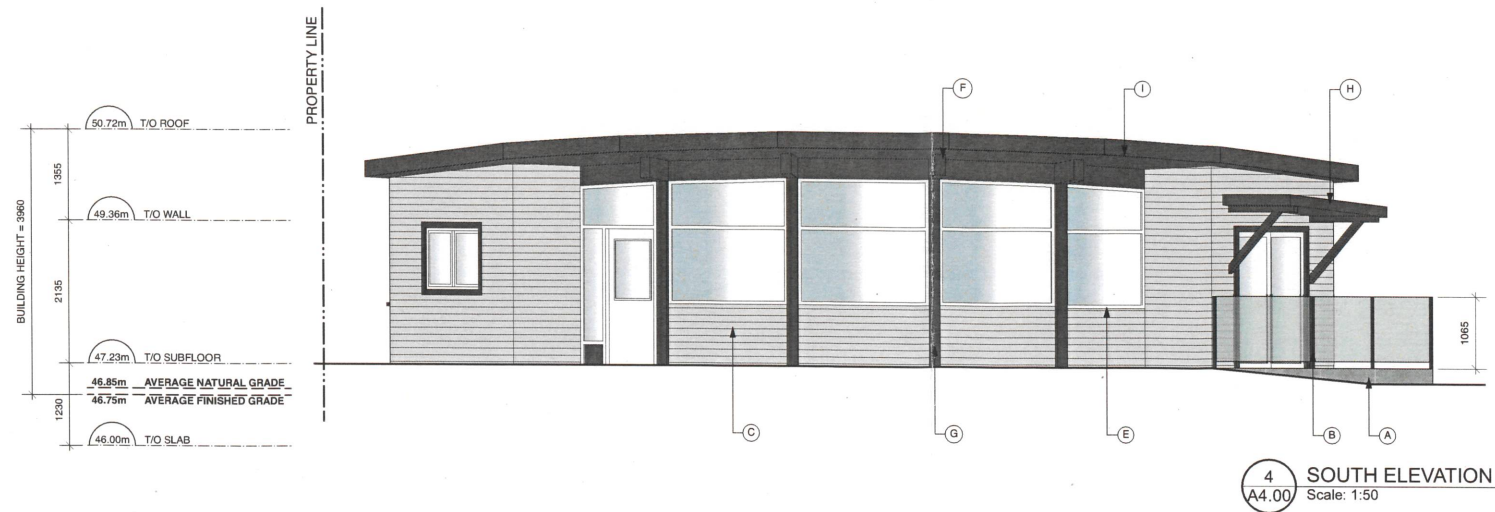
Date
MAY 28, 2022

Project Name
**NEW GARDEN
SUITE**
1189 HIGHROCK PLACE,
VICTORIA, BC V9A 4W1

Drawing Title
**SITE PLAN &
PROJECT
DATA**

Drawing No.
A1.00
Project No.
21440

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SYMBOL LEGEND	
ASSEMBLY TAG	ITEM TO BE DELETED
MATERIALS TAG	PROPERTY LINE
KEY NOTES TAG	

MATERIALS LEGEND	
A. EXPOSED CONCRETE	
B. 1070 mm HIGH GUARD WITH TEMPERED GLASS PANELS	
C. HORIZONTAL FIBER CEMENT LAP SIDING	
D. 915 mm HIGH 38 mm Ø HAND RAIL	
E. 100 mm DOOR AND WINDOW TRIM	
F. TIMBER BEAM WITH PREFINISHED METAL CAP FLASHING	
G. TIMBER POST	
H. CANOPY WITH 89x89 WOOD KNEE BRACE	
I. COMBED FACE SPRUCE FASCIA	
J. 610 mm x 1220 mm CURB MOUNTED FIXED SKYLIGHT	
K. CONCRETE STAIRS	

COLOURS	



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Rev	Date	Description
Checked		SMB
Drawn		RJC
Scale		1:50
Date	MAY 28, 2022	
Project Name	NEW GARDEN SUITE	
	1189 HIGHROCK PLACE, VICTORIA, BC V9A 4W1	
Drawing Title	DETACHED ACCESSORY DWELLING UNIT - ELEVATIONS	
Drawing No.	A4.00	
Project No.	21440	

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