1 UPPER FLOOR PLAN SCALE: \(\frac{1}{4}"=1'-0" \)

A AHJ COORD
B COORD
C DP APP





JESSE RATCLIFFE ARCHITECTURE

DATE: 2022-04-27 SCALE: AS NOTED DRAWN: JR

RENOVATION 924 SELKIRK AVENUE ESQUIMALT BC

UPPER FLOOR PLAN

ALL EXPERIOR MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED/TAGGED OTHERWISE.

 ALL NEW EXTERIOR DOORS & WINDOW ARE TO MEET REQUIREMENTS OF CURRENT EDITION OF BCBC INCL. ALL AMMENDMENTS & REQUIREMENTS FOR USI VALUES.

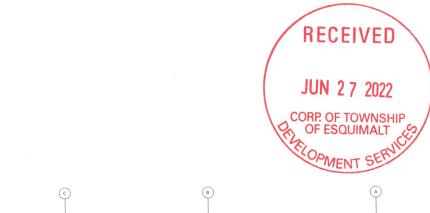
MATERIALS LEGEND

MATERIALS LEGEND

1. EX DROP SIDING
2. EX CEDAR SIDEWALL SINGLE
3. EX ASPHALT SHINGLE ROOF
4. EX WINDOWS
5. MDO PANEL, PAINTED
7. ASPHALT SHINGLE ROOF TO MATCH EX
8. WOOD WINDOWS & DOORS, PAINTED
9. ALUMINUM GUTTER TO MATCH EXISTING
10. CONCRETE FOUNDATION

В A MAIN RIDGE SOUTH 12.89 M 42.29 MEAN HEIGHT DORMER 11.45 M 37.56 SECOND CLG 10.66 M 34.97 MEAN HEIGHT ROOF (10.23 M) 33.56 LIMIT OF SCOPE OF WORK SECOND FLOOR 8.10 M 26.57 8 NEW 2980 NEW 29.580 NEW 2980 1 MAIN FLOOR 5.13 M 16.83' (10)-GRADE 4.15 M 13.62 CRAWL 3.67 M 12.04' BSMT FLOOR (2.90 M) 9.52'







NORTH ELEVATION
SCALE: ¼"=1'-0"

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JESSE RATCLIFFE ARCHITECTURE

3736 PRINCE EDWARD STREET VANCOUVER BC V5V 3Y2

T: 604.569.5420 E. jesse@jesseratcliffe.com DATE: 2022-04-27 SCALE: AS NOTED DRAWN:

REVISION:

RENOVATION 924 SELKIRK AVENUE ESQUIMALT BC

A 5.10 NORTH & SOUTH ELEVATIONS

- 17PICAL ELEVATION NOTES

 1. ALL EXTERIOR MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED/TAGGED OTHERWISE.

 2. ALL NEW EXTERIOR DOORS & WINDOW ARE TO MEET REQUIREMENTS OF CURRENT EDITION OF BCBC INCL. ALL AMMENDMENTS & REQUIREMENTS FOR USI VALUES.

MATERIALS LEGEND

- MATERIALS LEGEND

 1. EX DROP SIDING

 2. EX CEDAR SIDEWALL SINGLE

 3. EX ASPHAIT SHINGLE ROOF

 4. EX WINDOWS

 5. MOD PANEL, PAINTED

 6. TRIM & CLAD POSTS/BEAMS, PAINTED

 7. ASPHALT SHINGLE ROOF TO MATCH EX

 8. WOOD WINDOWS & DOORS, PAINTED

 9. ALUMINUM GUTTER TO MATCH EXISTING

 10. CONCRETE FOUNDATION

RECEIVED JUN 27 2022 CORP. OF TOWNSHIP

14-02-22 24-02-22 27-04-22



SCALE: 4"=1'-0"

JESSE RATCLIFFE ARCHITECTURE

DATE: 2022-04-27

SCALE: AS NOTED DRAWN: JR

WEST ELEVATION ALLOWABLE GLAZED OPENINGS

LIMITING DISTANCE EXPOSING BUILDING FACE

2.78 M (9.12') 89.57 SM (964.1 SF)

12.05 SM (129.67 SF)

ALLOWABLE GLAZED OPENINGS (INTERPOLATED) (13.45%)

PROPOSED GLAZED OPENINGS

7.61 SM (81.9 SF)

RENOVATION 924 SELKIRK AVENUE ESQUIMALT BC

EAST ELEVATION

TYPICAL ELEVATION NOTES

- TYPICAL ELEVATION NOTES

 1. ALL EXTERIOR MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED/TAGGED OTHERWISE.

 2. ALL NEW EXTERIOR DOORS & WINDOW ARE TO MEET REQUIREMENTS OF CURRENT EDITION OF BCBC INCL. ALL AMMENDMENTS & REQUIREMENTS FOR USI VALUES.

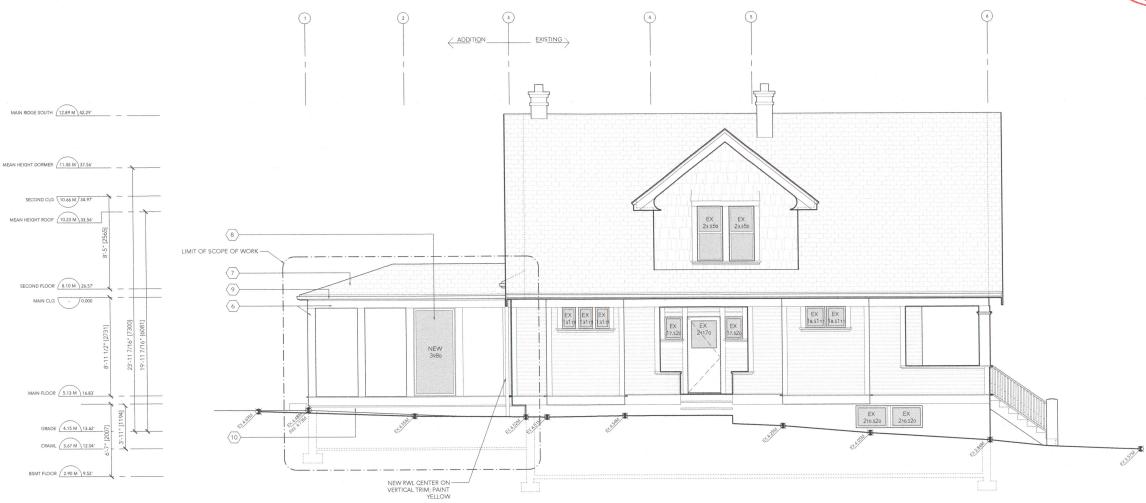
- MATERIALS LEGEND

 1. EX DROP SIDING
 2. EX CEDAR SIDEWALL SINGLE
 3. EX ASPHALT SHINGLE ROOF
 4. EX WINDOWS
 5. MDO PANEL, PAINTED
 6. TRIM & CLAD POSTS/BEAMS, PAINTED
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 8. WOOD WINDOWS & DOORS, PAINTED
 9. ALJUNINUM GUTTER TO MATCH EXISTING
 10. CONCRETE FOUNDATION

RECEIVED JUN 27 2022 CORP. OF TOWNSHIP OF ESQUIMALT FORMENT SERVICE

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All site dimensions to be verified by contractor, trades and/or suppliers. Any discrepancies discovered within contract documents and/or between contract documents and site conditions shall be brought to the attention of the Architect prior to proceeding with work.



JESSE RATCLIFFE ARCHITECTURE 3736 PRINCE EDWARD STREET VANCOUVER BC V5V 3Y2

DATE: 2022-04-27

SCALE: AS NOTED DRAWN:

REVISION:

1 WEST ELEVATION SCALE: ½"=1"-0"

EAST ELEVATION ALLOWABLE GLAZED OPENINGS

LIMITING DISTANCE EXPOSING BUILDING FACE

2.58 M (8.47') 82.53 SM (888.3 SF)

10.62 SM (114.32 SF)

ALLOWABLE GLAZED OPENINGS (INTERPOLATED) (12.87%)

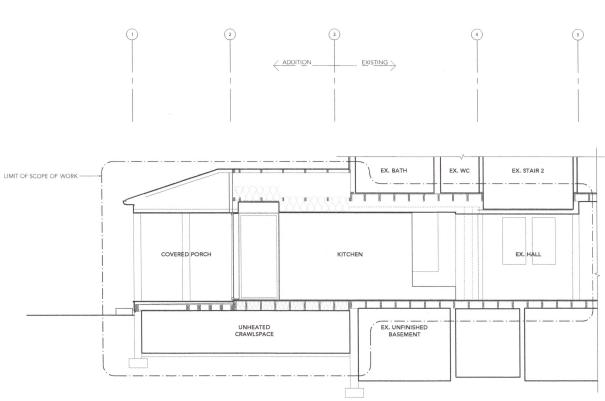
PROPOSED GLAZED OPENINGS

6.10 SM (65.7 SF)



RENOVATION 924 SELKIRK AVENUE ESQUIMALT BC

WEST ELEVATION



JESSE RATCLIFFE ARCHITECTURE

DATE: 2022-04-27 SCALE: AS NOTED DRAWN: JR

2 ADDITION/EXISTION PARTIAL SECTION
SCALE: ¼"=1"-0"

ADDITION CROSS-SECTION
SCALE: \(\frac{1}{4}^n = 1' \cdot 0"\)

KITCHEN

В

A

MAIN RIDGE SOUTH 12.89 M 42.29

MEAN HEIGHT DORMER (11.45 M) 37.56

SECOND CLG 10.66 M 34.97 MEAN HEIGHT ROOF 10.23 M 33.56

SECOND FLOOR (8.10 M) 26.57'

MAIN CLG - 0.000

MAIN FLOOR (5.13 M) 16.83"

BSMT FLOOR 2.90 M 9.52'

GRADE 4.15 M 13.62' CRAWL 3.67 M 12.04'

RENOVATION 924 SELKIRK AVENUE ESQUIMALT BC