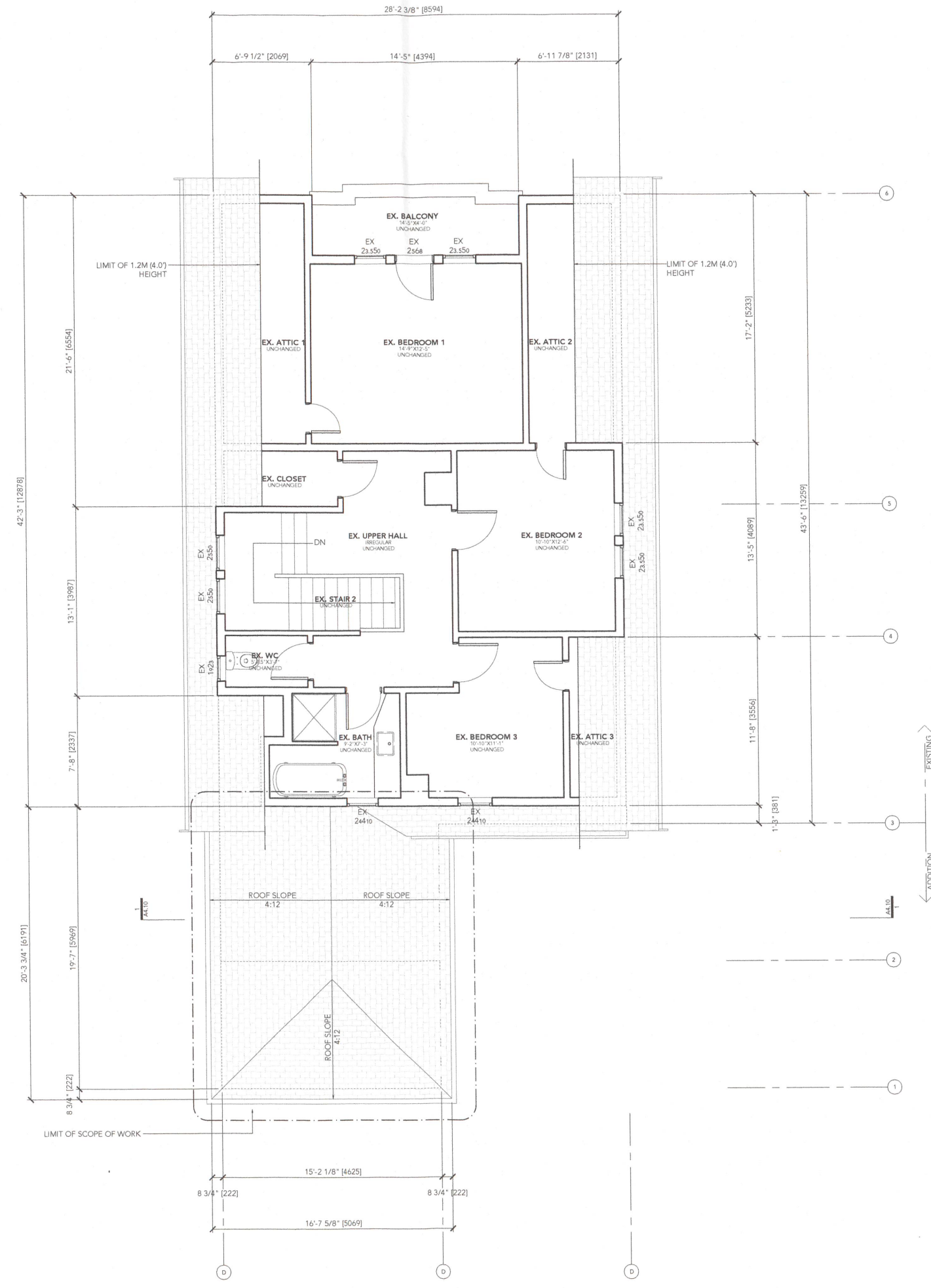


ISSUE:
 A AHJ COORD 14-02-22
 B COORD 24-02-22
 C DP APP 27-04-22

Copyright reserved. This drawing is the exclusive property of JESSE RATCLIFFE ARCHITECTURE. This drawing and/or design shall not be used, in part or in whole, without permission.

Written dimensions take precedence over scaled dimensions. Do not scale drawings.

All site dimensions to be verified by contractor, trades and/or suppliers. Any discrepancies discovered within contract documents and/or between contract documents and site conditions shall be brought to the attention of the Architect prior to proceeding with work.



JESSE RATCLIFFE ARCHITECTURE
 3736 PRINCE EDWARD STREET
 VANCOUVER BC V5V 3Y2
 T: 604.569.5420
 E: jesse@jesseratcliffe.com
 DATE: 2022-04-27
 SCALE: AS NOTED
 DRAWN: JR
 REVISION:

1 UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

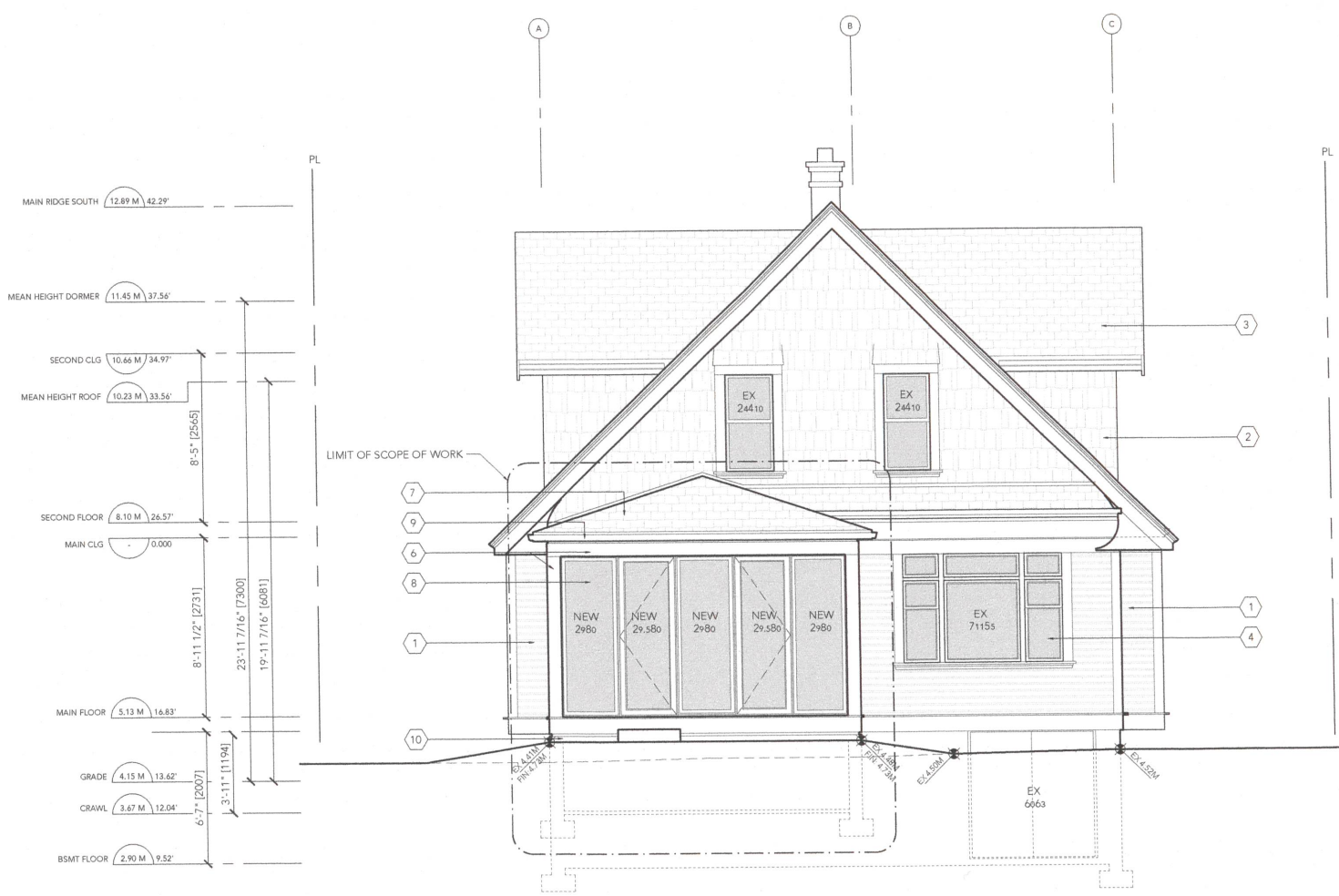
RENOVATION
 924 SELKIRK AVENUE
 ESQUIMALT BC
A 2.20
 UPPER FLOOR PLAN

- TYPICAL ELEVATION NOTES**
1. ALL EXTERIOR MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED/TAGGED OTHERWISE.
 2. ALL NEW EXTERIOR DOORS & WINDOW ARE TO MEET REQUIREMENTS OF CURRENT EDITION OF BCBC INCL. ALL AMMENDMENTS & REQUIREMENTS FOR USI VALUES.

- MATERIALS LEGEND**
1. EX DROP SIDING
 2. EX CEDAR SIDEWALL SINGLE
 3. EX ASPHALT SHINGLE ROOF
 4. EX WINDOWS
 5. MDO PANEL, PAINTED
 6. TRIM & CLAD POSTS/BEAMS, PAINTED
 7. ASPHALT SHINGLE ROOF TO MATCH EX
 8. WOOD WINDOWS & DOORS, PAINTED
 9. ALUMINUM GUTTER TO MATCH EXISTING
 10. CONCRETE FOUNDATION



Copyright reserved. This drawing is the exclusive property of JESSE RATCLIFFE ARCHITECTURE. This drawing and/or design shall not be used, in part or in whole, without permission.
 Written dimensions take precedence over scaled dimensions. Do not scale drawings.
 All site dimensions to be verified by contractor, trades and/or suppliers. Any discrepancies discovered within contract documents and/or between contract documents and site conditions shall be brought to the attention of the Architect prior to proceeding with work.



1 SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
 SCALE: 1/4"=1'-0"

JESSE RATCLIFFE ARCHITECTURE
 3736 PRINCE EDWARD STREET
 VANCOUVER BC V5V 3Y2
 T: 604.569.5420
 E: jesse@jesseratcliffe.com

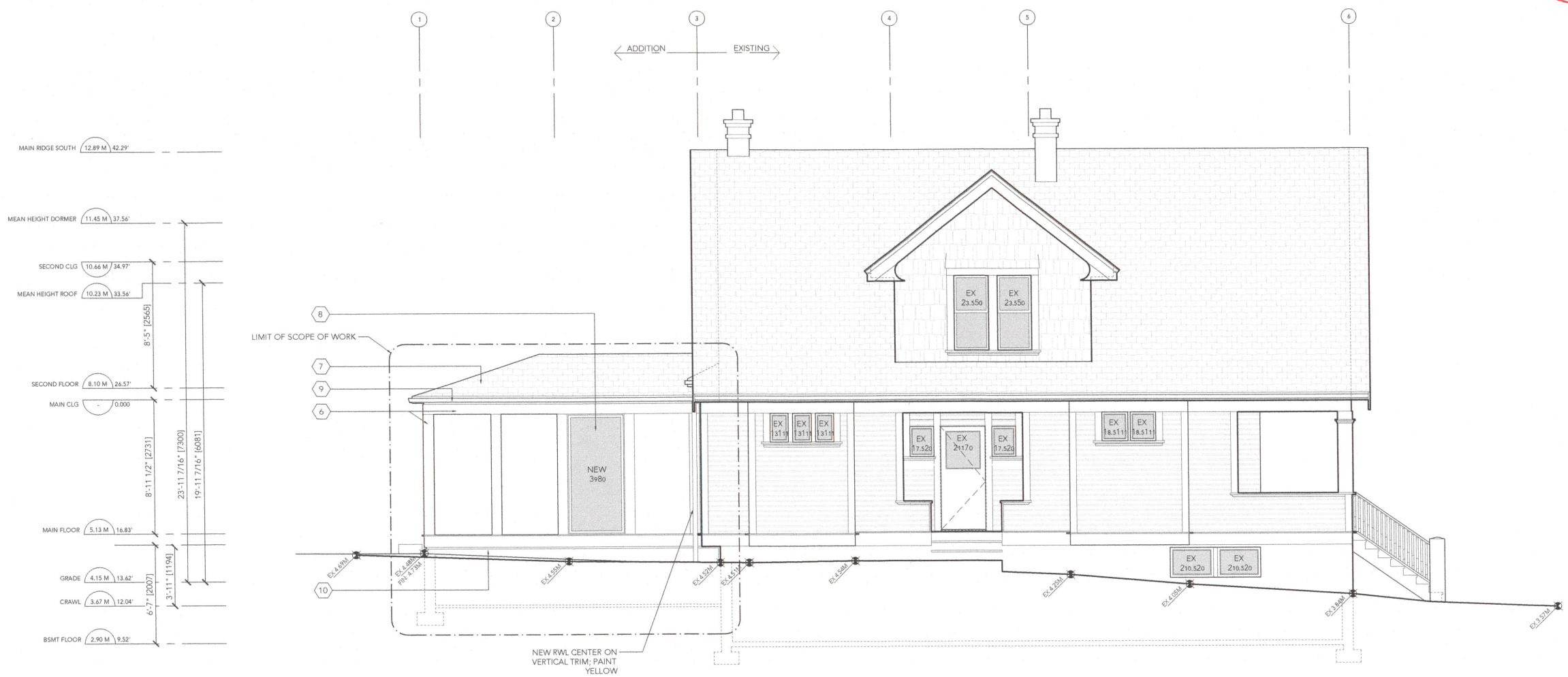
DATE: 2022-04-27
 SCALE: AS NOTED
 DRAWN: JR
 REVISION:



Copyright reserved. This drawing is the exclusive property of JESSE RATCLIFFE ARCHITECTURE. This drawing and/or design shall not be used, in part or in whole, without permission.
 Written dimensions take precedence over scaled dimensions. Do not scale drawings.
 All site dimensions to be verified by contractor, trades and/or suppliers. Any discrepancies discovered within contract documents and/or between contract documents and site conditions shall be brought to the attention of the Architect prior to proceeding with work.

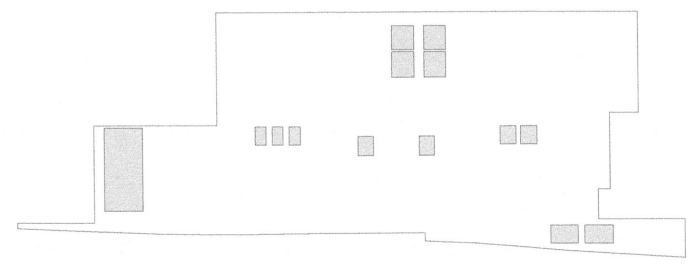
- TYPICAL ELEVATION NOTES**
1. ALL EXTERIOR MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED/TAGGED OTHERWISE.
 2. ALL NEW EXTERIOR DOORS & WINDOW ARE TO MEET REQUIREMENTS OF CURRENT EDITION OF BCBC INCL. ALL AMMENDMENTS & REQUIREMENTS FOR USI VALUES.

- MATERIALS LEGEND**
1. EX DROP SIDING
 2. EX CEDAR SIDEWALL SINGLE
 3. EX ASPHALT SHINGLE ROOF
 4. EX WINDOWS
 5. MDO PANEL, PAINTED
 6. TRIM & CLAD POSTS/BEAMS, PAINTED
 7. ASPHALT SHINGLE ROOF TO MATCH EX
 8. WOOD WINDOWS & DOORS, PAINTED
 9. ALUMINUM GUTTER TO MATCH EXISTING
 10. CONCRETE FOUNDATION



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

EAST ELEVATION ALLOWABLE GLAZED OPENINGS	
LIMITING DISTANCE	2.58 M (8.47)
EXPOSING BUILDING FACE	82.53 SM (888.3 SF)
ALLOWABLE GLAZED OPENINGS (INTERPOLATED) (12.87%)	10.62 SM (114.32 SF)
PROPOSED GLAZED OPENINGS	6.10 SM (65.7 SF)



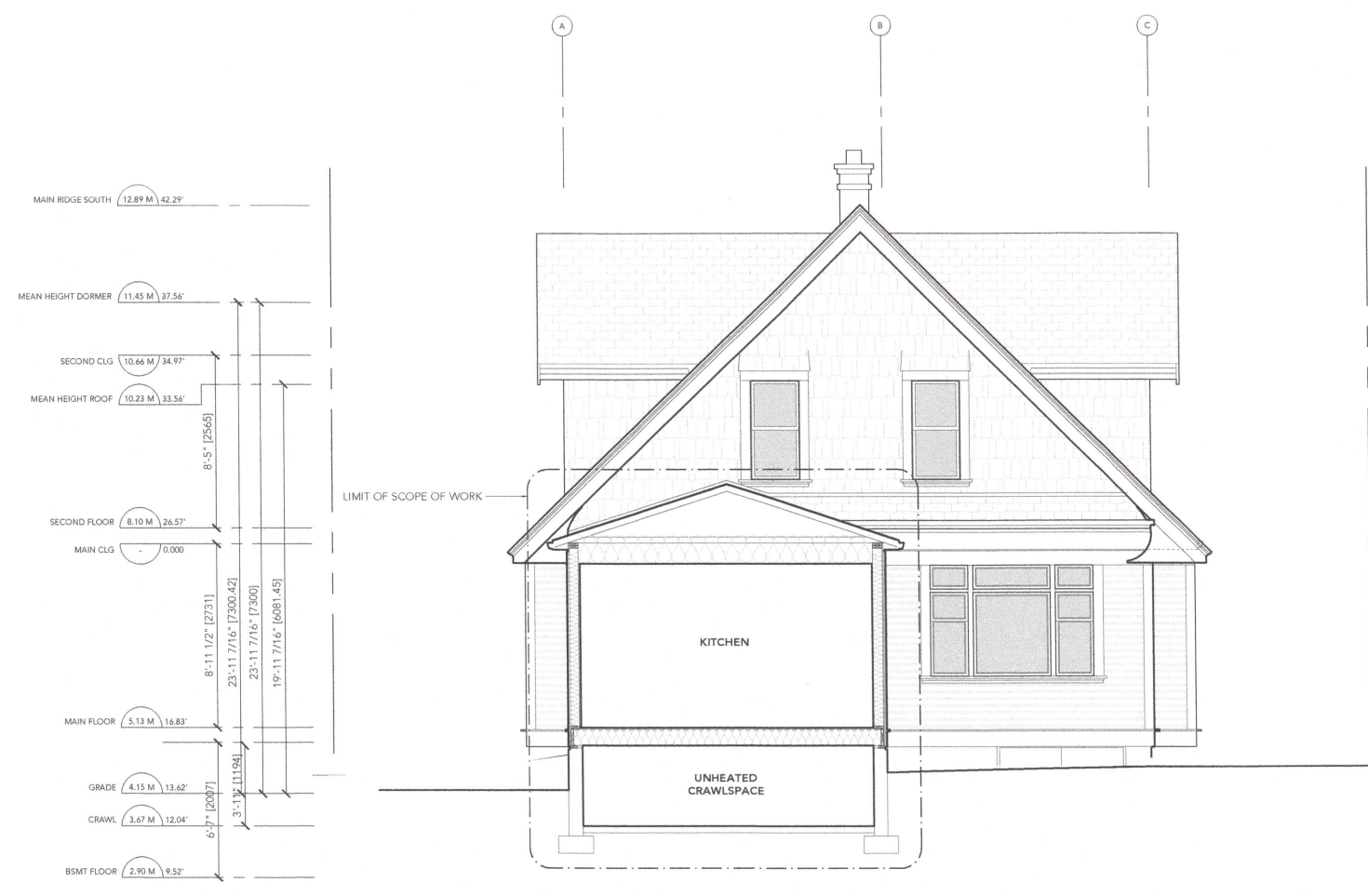
JESSE RATCLIFFE ARCHITECTURE
 3736 PRINCE EDWARD STREET
 VANCOUVER BC V5V 3Y2
 T: 604.519.5420
 E: jesse@jesseratcliffe.com

DATE: 2022-04-27
 SCALE: AS NOTED
 DRAWN: JR
 REVISION:

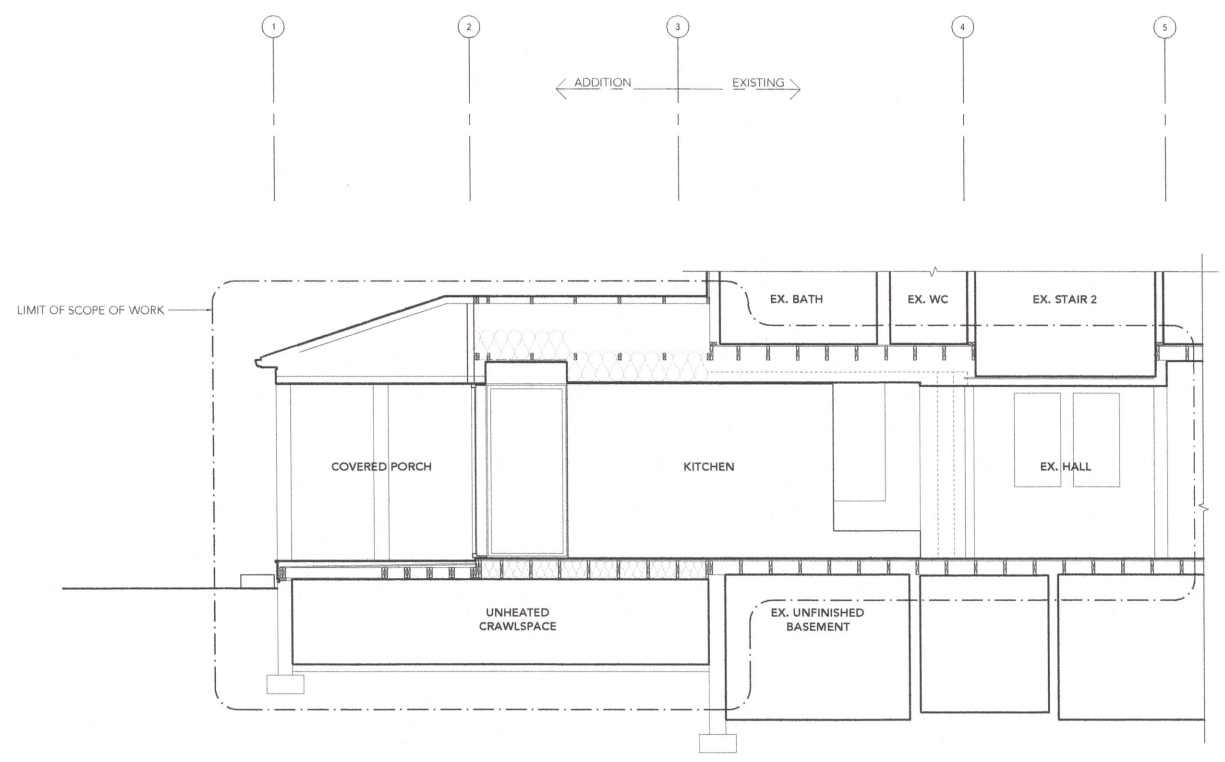
RENOVATION
 924 SELKIRK AVENUE
 ESQUIMALT BC
A 5.30
 WEST ELEVATION



Copyright reserved. This drawing is the exclusive property of JESSE RATCLIFFE ARCHITECTURE. This drawing and/or design shall not be used, in part or in whole, without permission.
 Written dimensions take precedence over scaled dimensions. Do not scale drawings.
 All site dimensions to be verified by contractor, trades and/or suppliers. Any discrepancies discovered within contract documents and/or between contract documents and site conditions shall be brought to the attention of the Architect prior to proceeding with work.



1 ADDITION CROSS-SECTION
 SCALE: 1/4"=1'-0"



2 ADDITION/EXISTION PARTIAL SECTION
 SCALE: 1/4"=1'-0"

JESSE RATCLIFFE ARCHITECTURE
 3736 PRINCE EDWARD STREET
 VANCOUVER BC V5V 3Y2
 T: 604.569.5420
 E: jesse@jesseratcliffe.com

DATE: 2022-04-27
 SCALE: AS NOTED
 DRAWN: JR
 REVISION: