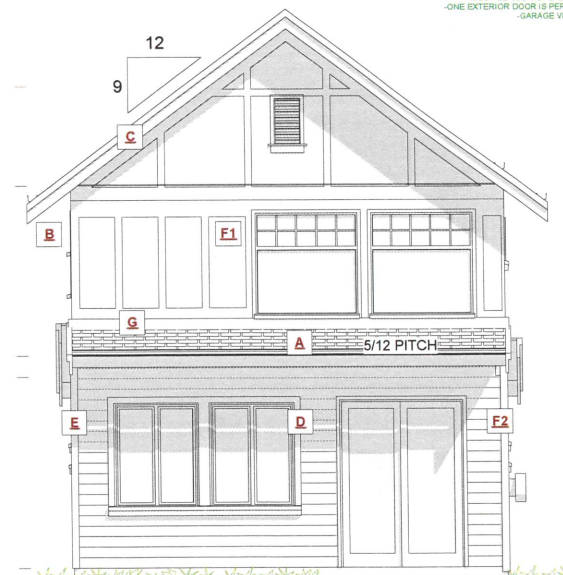


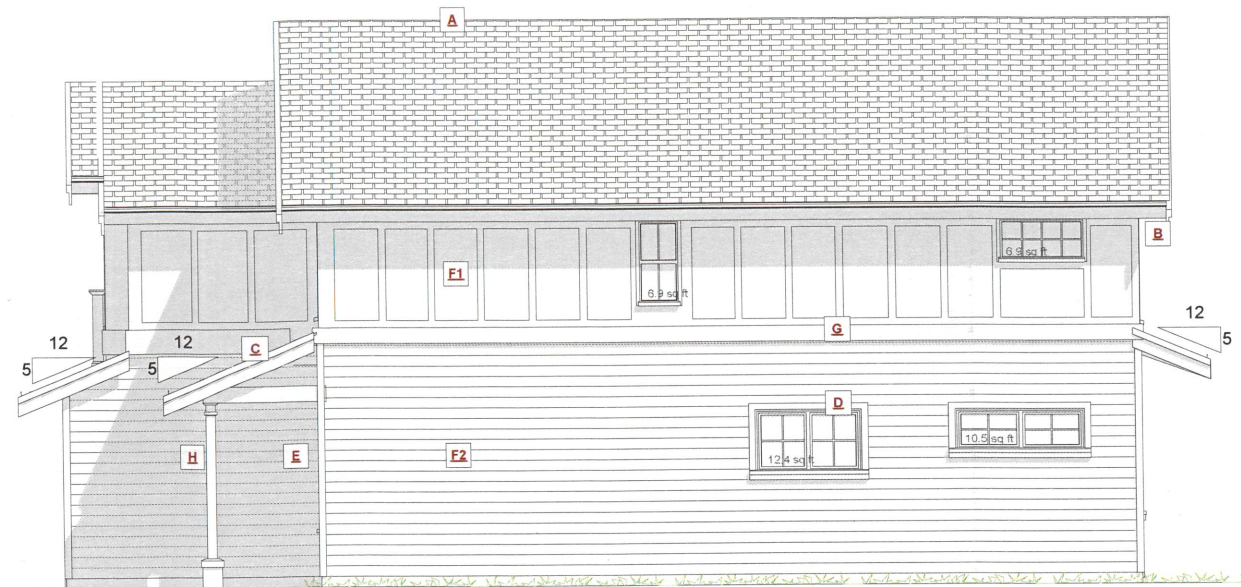
**E FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"

EXTERIOR FINISHES SCHEDULE			
<b>A</b> ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS	<b>F1</b> WALL FINISH:	HARDBOARD AND BATTEN AS PER ELEV. - COLOUR AS PER OWNERS SPEC
<b>B</b> GUTTER & SOFFIT:	ALUMINUM GUTTER AND NON-VENTED SOFFIT	<b>F2</b> WALL FINISH:	HARDBOARD PLANK LAPPED TO 8" EXP. - COLOUR AS PER BUILDERS SPEC
<b>C</b> BARGE BOARD:	2x10 WITH 1x4 DOUBLE BARGE BOARD. PAINTED TRIM COLOUR	<b>G</b> BELLY BAND:	2x10 PAINTED BELLY BAND WITH FLASHING. PAINTED TRIM COLOUR
<b>D</b> WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	<b>H</b> POSTS:	6x6 POSTS - PAINTED/STAINED AS PER BUILDERS SPEC - BUILT OUT AS NOTED ON PLANS
<b>E</b> CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/ STAINED	<b>I</b> TIMBER FEATURE:	FRONT ENTRY TIMBER FEATURE. CLAD SUPPORT AND ROOF FASCIA

"ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS"  
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION  
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.8. ALL OTHERS MUST BE LOWER  
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

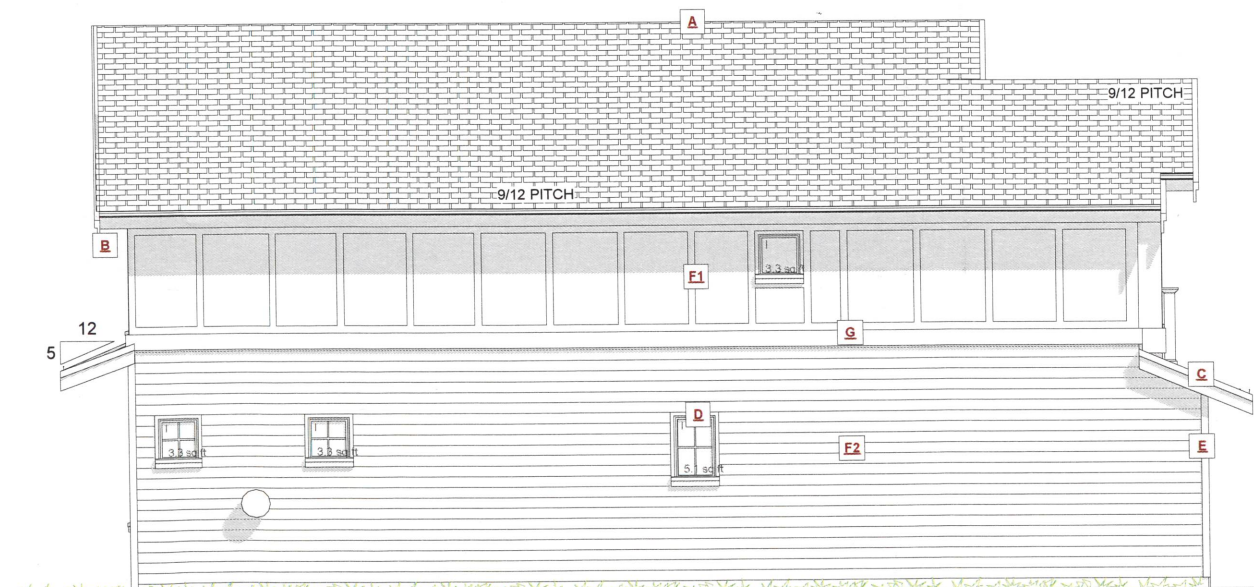


**E REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"



**E RIGHT ELEVATION**  
SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 66.42m<sup>2</sup>  
LIMITING DISTANCE: 3.05m  
AREA OF GLAZED OPENINGS: 3.40m<sup>2</sup>  
% GLAZED OPENINGS: 5.11%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 17.57%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 11.67m<sup>2</sup>



**E LEFT ELEVATION**  
SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 84.32m<sup>2</sup>  
LIMITING DISTANCE: 1.66m  
AREA OF GLAZED OPENINGS: 1.38m<sup>2</sup>  
% GLAZED OPENINGS: 1.63%  
45 min FIRE-RESISTANCE RATING: not required  
TYPE OF CLADDING: no limits  
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.42%  
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 7.09m<sup>2</sup>



LOT E

CUSTOMER: TEKLOCH HOMES

ADDRESS: 5-918 OLD ESQUIMALT RD. ESQUIMALT BC

DRAWING NAME: ELEVATIONS

DRAWING SCALE: 1/4"=1'-0"

ISSUE DATE: JUN 9, 2022

DRAWN BY: VE/INS

CHECKED BY: KL

**JAVA DESIGNS**  
WHERE LINES ON PAPER BECOME WALLS ON SITE  
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

SHEET NUMBER

A3

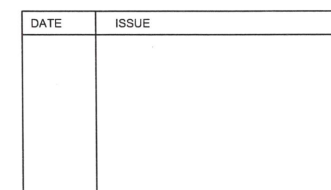
**NAFS REQUIREMENTS:**

Performance Grade of 30  
Water Test Pressure of 260 Pa





1. Tree placement and selection to be approved by landscape designer prior to planting.
2. All existing plants to be retained are to be protected during installation and construction.
3. Unless noted otherwise on planting plan, minimum soil depths are to be: 12" in lawn; 18" in groundcover and shrub areas. Each rootball to have one cubic yard of soil distributed to depth of 24" around the tree.
4. Ensure positive drainage away from the building where planting soil is to be run against the building face.
5. All new trees to be staked securely.
6. Lawn to be approved seed mix or approved sod.
7. Soil mix in lawn areas to comply with Canadian Landscape Standard.
8. All planting beds to be bermed up minimum 4" above adjacent lawn or hard surface areas, except around existing trees. Existing trees are not to have grades adjusted around them.
9. All plants to come from SOD free (Sudden Oak Death or Phytophthora ramorum) certified nursery.
10. Any substitutions must be approved by landscape designer prior to ordering.
11. Automatic irrigation system to be designed and installed by qualified professional. To IIABC standards and cover all planted areas.
12. Boulevard by Other.



This plan and design are, and at all times remain, the exclusive property of KMZ Landscapes and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. The designer shall be informed of any variation from the dimensions and conditions on the drawing.

**kamz** landscapes  
kate.markhamz@gmail.com  
(778) 587-3249

Project :  Subdivision at  
916 - 920 Old Esquimalt Rd  
Esquimalt BC

Drawing Title : **Planting Plan**

DRAWN BY: KMZ	CHECKED BY: KMZ
SCALE: 1/8"=1'-0"	SHEET:
DATE: June 5, 2022	

L-01