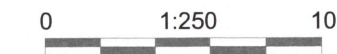


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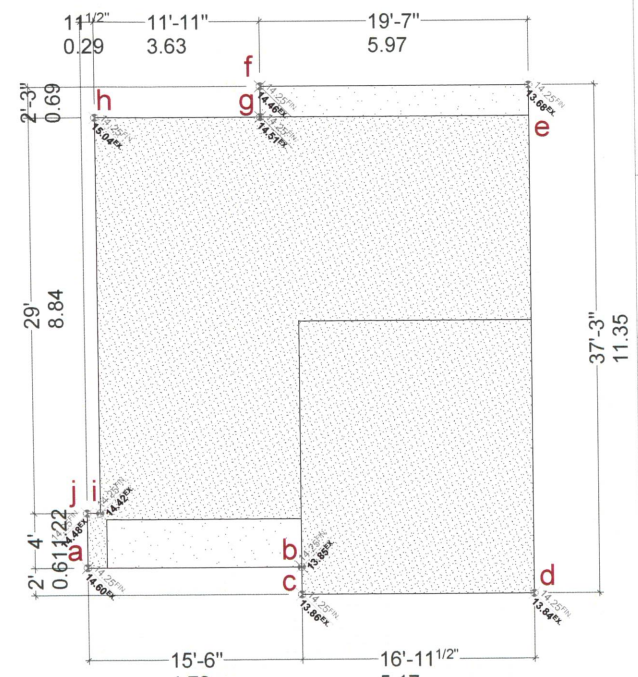
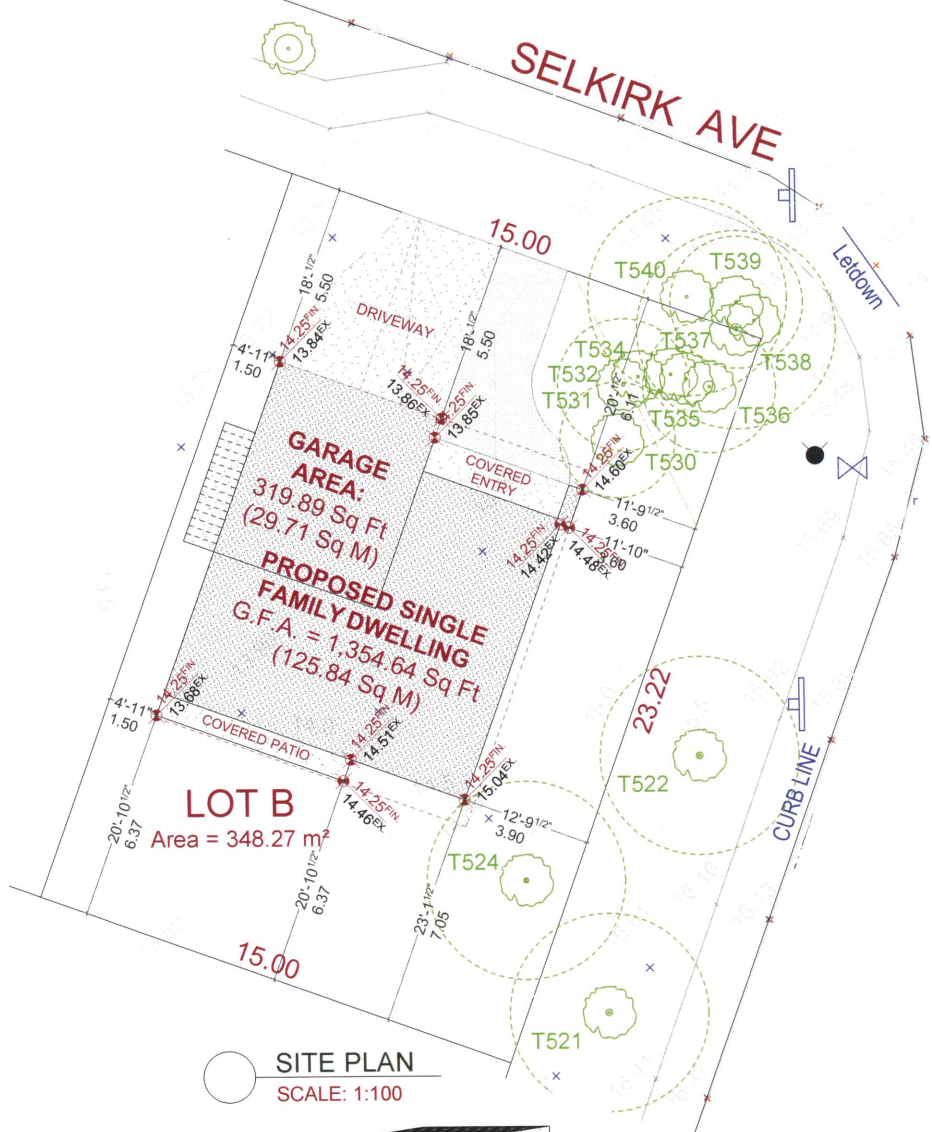


All distances are in metres.  
The intended plot size of this plan is 432mm in width by  
by 280mm in height (B size) when plotted at a scale of 1:250

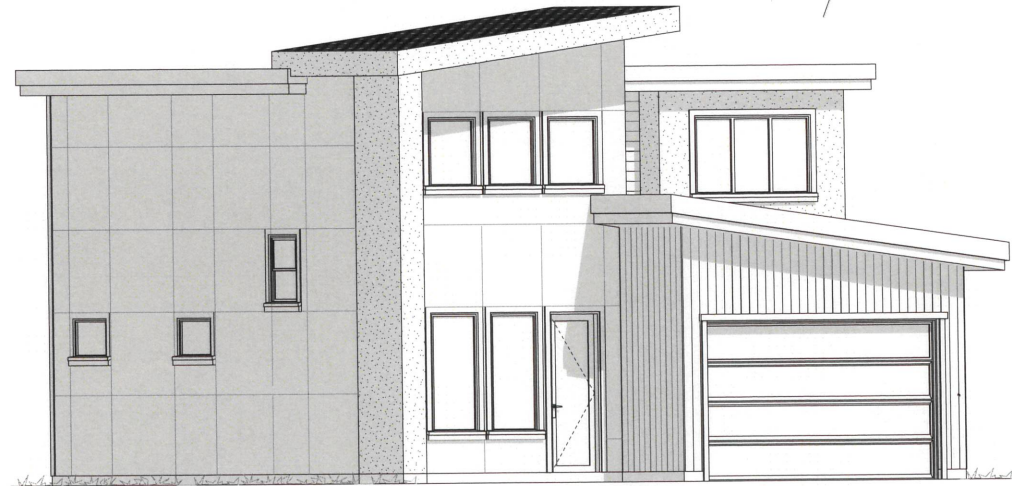
Tag / Dbs / Cont / Type
T527 500 TPC
T511 140 TRC
T514 30 TPC
T540 700 TRC
366 350 TPC NO TAG-TOP CUT OFF
292 150 TRC NO TAG
T544 100 TPD
T545 200 TRD
T544 900 TRD
T541 500 TPD
T541 30 TPD
T53 20 TRD
T53 352 TRD
T533 52 TPD
T533 52 TRD
T534 100 TPD
T529 50 TRD
T520 300 TRD
T521 200 TPD
T527 200 TRD
T547 1900 TRD
T515 600 TRD
T515 200 TRD LEAN S
T517 170 TRD
T512 600 TRD
T519 70 TRD
T522 600 TRD
T524 150 TRD
T525 900 TRD
T526 500 TRD
T527 130 TPD
T530 100 TRD
T531 90 TPD
T532 50 TRD
T542 600 TRD



PROJECT DATA TABLE - SINGLE FAMILY DWELLING		
Lot Size	348.27m <sup>2</sup> (3,748.75 ft <sup>2</sup> )	
Zoning	CD-118	
Lot coverage (total)	Proposed	Allowed
	29.91% 104.17m <sup>2</sup>	30.00% 104.48m <sup>2</sup>
Front Setback	5.50m	5.50m
Rear Setback	6.37m	6.30m
Exterior Side Setback (West)	3.60m	3.60m
Interior Side Setback (East)	1.50m	1.50m
Combined side yard setbacks (minimum)	5.10m	5.10m
Average grade	14.25m Geo.	
Average building height	7.24m	7.30m
Upper floor area	66.30 m <sup>2</sup> (713.64 ft <sup>2</sup> )	
Main floor area	52.93 m <sup>2</sup> (569.69 ft <sup>2</sup> )	
Garage area	29.71 m <sup>2</sup> (319.89 ft <sup>2</sup> )	
Garage area exemption	45 m <sup>2</sup> (484.38 ft <sup>2</sup> )	
Total gross floor area	119.23 m <sup>2</sup> (1,283.33 ft <sup>2</sup> )	
Floor space ratio	0.3424 119.23 m <sup>2</sup> (1,283.33 ft <sup>2</sup> )	0.36 125.38 m <sup>2</sup> (1,349.58 ft <sup>2</sup> )
Basement area	51.58 m <sup>2</sup> (555.19 ft <sup>2</sup> )	



Grade Points	Avg. Of Points	Distance Between	Totals
a / b	14.60 + 13.85 / 2 = 14.23	4.72	67.17
b / c	13.85 + 13.86 / 2 = 13.86	0.61	8.46
c / d	13.86 + 13.84 / 2 = 13.85	5.17	71.60
d / e	13.84 + 13.68 / 2 = 13.76	11.35	156.18
e / f	13.68 + 14.46 / 2 = 14.07	5.97	84.00
f / g	14.46 + 14.51 / 2 = 14.49	3.63	52.00
g / h	14.51 + 15.04 / 2 = 14.78	0.69	10.20
h / i	15.04 + 14.42 / 2 = 14.73	8.84	130.21
i / j	14.42 + 14.48 / 2 = 14.45	0.29	4.19
j / a	14.48 + 14.60 / 2 = 14.54	1.22	17.74
Total:			602.34
Perimeter:			42.49
AVG. GRADE =			14.18
ALLOWED HEIGHT (7.30m) (14.18 + 7.30m)			21.48m



ANGLED PERSPECTIVE  
NOT TO SCALE

LEGEND

Elevations are geodetic based on Integrated survey

Note: Only trees with Trunk greater than 0.20m are identified.  
Consult Arborist to verify tree species

Grade shots are taken at the point marked X  
Contours are descriptive, and only accurate to +/- 0.5m interval

monument 84H0203 in Esquimalt at elevation 15.460m.

- - denotes Iron Pin Found
  - - denotes Lead plug Found
  - ▲ - denotes Monument Found
  - TRD - denotes Deciduous Tree Type
  - TRC - denotes Coniferous Tree Type
  - - denotes Sanitary manhole
  - ⋈ - denotes Water Valve
  - ⊞ - denotes Catchbasin
  - ⊞ - denotes sign
  - - denotes power pole
  - - denotes Fire hydrant
  - XXXX - Retaining Wall Elevation Labels
- (T=Top, B=Bottom)

NAFS REQUIREMENTS:

Performance Grade of 30  
Water Test Pressure of 260 Pa

<b>GENERAL NOTES</b> ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE. ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE -SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR	<b>SITE PLAN</b> ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE. CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER. <b>CONCRETE AND FOUNDATIONS</b> ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.	<b>IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.</b> GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPa FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2800 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438. ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED. ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.	<b>LUMBER, FRAMING AND BEAMS</b> BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C. ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER. ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.	<b>TRUSSES</b> TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING. <b>ROOFING</b> ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP. <b>PLUMBING &amp; ELECTRICAL</b> ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.	<b>FLASHING</b> ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING. ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING. DOORS - ROUGH OPENING SIZES FRAME OPENING 1 1/4" WIDER THAN DOOR FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82 5/8" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81 5/8". <b>MISC</b> CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19	NEITHER JAVA DESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING: -INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE -CONFORMITY OF PLANS TO SITE -ERRORS AND OMISSIONS -ANY HOUSE BUILT FROM THESE PLANS
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CUSTOMER:  
**SOUTH ISLAND AGGREGATES LTD.**  
ADDRESS:  
**LOT B - 901 SELKIRK AVE. ESQUIMALT BC**

DRAWING NAME:  
**SITE PLAN, GRADE PLAN,  
ANGLED PERSPECTIVE & DATA BOX**  
DRAWING SCALE:  
**SEE DRAWINGS**

ISSUE DATE:  
**JAN 06, 2022**  
DRAWN BY:  
**KYLE LEGGETT**

**JAVA DESIGNS**  
WHERE LINES ON PAPER BECOME WALLS ON SITE  
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

SHEET NUMBER  
**A1**



LOT B 901 SELKIRK OVERALL PLANTING PLAN



DESCHAMPSIA CESPITOSA



MAHONIA AQUIFOLIUM



PRUNUS LUSITANICA 'LOLITA'



RIBES SANGUINEUM



POLYSTICHUM MUNITUM



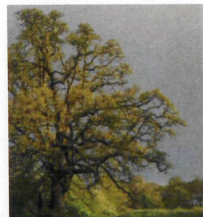
TELLIMA GRANDIFLORA



FESTUCA ROEMERII



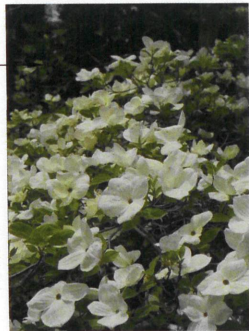
SEDUM SPATHULIFOLIUM



QUERCUS GARRYANA



CRATEAGUS DOUGLASII



CORNUS 'EDDIE'S WHITE WONDER'



CERSATIUM ARVENSE



GAULTHERIA SHALLON



HOLODISCUS DISCOLOR



PHILADELPHUS LEWISII



MAHONIA NERVOSA



OXALIS OREGANA



ARCOSTAPHYLOS UVA-URSI



PLANT SCHEDULE					
ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SEASON OF INTEREST
TREES					
CO	1	15cm	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD	SPRING FLOWERS
CD	2	15cm	CRATEAGUS DOUGLASI	PACIFIC HAWTHORN	SPRING FLOWERS
QG	1	15cm	QUERCUS GARRYANA	GARRY OAK	SPRING TO SUMMER
SHRUBS					
HD	1	#7	HOLODISCUS DISCOLOR	OCEANSPRAY	SPRING FLOWERS
MA	7	#5	MAHONIA AQUIFOLIUM	TALL OREGON GRAPE	SPRING FLOWERS
PH	3	#5	PHILADELPHUS LEWISII	MOCK ORANGE	SPRING FLOWERS
PL	14	4'	PRUNUS LUSITANICA 'LOLITA'	LOLITA PORTUGUESE LAUREL	YEAR ROUND FOLIAGE
RS	3	#7	RIBES SANGUINEUM	FLOWERING RED CURRANT	SPRING FLOWERS
GRASSES, FERNS, PERENNIALS, AND BULBS					
DC	22	#1	DESCHAMPSIA CESPITOSA	TUFTED FEATHER GRASS	SPRING AND SUMMER
FR	22	#1	FESTUCA ROMERI	ROMER'S FESCUE	SPRING AND SUMMER
PM	16	#1	POLYSTICHUM MUNITUM	SWORD FERN	YEAR ROUND FOLIAGE
GROUNDCOVERS					
AU	55	4"	ARCTOSTAPHYLOS UVA-URSI (12" SPACING)	KINNIKINNICK	SUMMER FLOWERS
CE	60	4"	CERASTIUM ARVENSE	FIELD CHICKWEED	SUMMER FLOWERS
GS	41	#1	GAULTHERIA SHALLON	SALAL	SPRING FLOWERS
MN	20	#1	MAHONIA NERVOSA	CREeping OREGON GRAPE	SPRING FLOWERS
OO	15	4"	OXALIS OREGANA	REDWOOD SORREL	SPRING TO SUMMER
SS	24	4"	SEDUM SPATHULIFOLIUM	STONECROP	YEAR ROUND FOLIAGE
TG	15	4"	TELLIMA GRANDIFLORA	FRINGE CUPS	SPRING FLOWERS

PLANTING AND IRRIGATION NOTES

- New plantings are shown on Greenspace Designs Planting Plan dated OCTOBER 8, 2021.
- Any plant substitutions shall be made in consultation with the landscape architect.
- The Landscape and Irrigation Contractor shall determine the location of all underground services prior to the commencement of landscape work, and shall be responsible for the repair of all damage caused by landscape work to the Owner's satisfaction.
- All topsoil and plants shall conform to BCNTA / BCSLA specifications.
- Topsoil depths shall be as follows:
  - trees 2m x 2m x 2m soil per tree
  - shrubs 600 mm depth
  - ground covers 150 mm depth
- All grass areas shall be seed.
- All planted beds shall be covered with a 55 mm layer of leaf mulch.
- All trees shall be secured with two 75 mm diameter x 1.8 m long round poles set 1m into ground.
- Plants determined to be dead or dying at the end of one year from the date of installation shall be replaced by the Contractor at the Contractor's expense.
- All planting beds shall be irrigated with an automatic underground system.
- Must be installed 12" below finished grade for all lateral lines and 18" below finished grade for irrigation main lines.
- All irrigation materials and installation methods shall conform to IABC standards.
- Backflow preventer requirements for irrigation lines shall conform to the City of Esquimalt municipality requirements.
- The Irrigation contractor shall provide a drawing of the irrigation system for the owner.
- The Irrigation Contractor shall test the irrigation system and ensure that it is fully operational prior to acceptance by the owner.
- The Irrigation Contractor shall supply all manuals and instruct the owner on irrigation system operation.



PROJECT TITLE ::  
PROPOSED LANDSCAPE PLAN for  
RADIUS PROPERTY GROUP  
LOT B 901 SELKIRK AVE., ESQUIMALT BC

PAGE TITLE ::  
OVERALL PLANTING PLAN, PAGE TWO of TWO

DATE ::  
OCTOBER 8, 2021

SCALE ::  
1:100

