

Date: 6/18/20  
Time: 4:57:58 PM

### General Note

General Contractor and or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Dimensions provided shall take preference over scaling. Any discrepancies are to be reported to the Building Designer immediately. Prior to any alteration of plans or details on-site, Contractor(s), Tradesperson(s), or Homeowner(s) must contact Building Designer to confirm Building Code and Municipal bylaw requirements are met, and to maintain accuracy and completeness of the plans. Building Designer is not liable for plan modification or discrepancies not reported.

Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to commission and verify all engineering requirements with municipal building departments prior to starting work.

Truss Manufacturer to verify roof design where engineered roof trusses are shown, and to advise Building Designer x if revisions are necessary

Owner/Contractor to not commence excavation prior to verifying truss manufacturer's heel heights; heights should not exceed those noted on Cross-Section(s).

BCLS and/or Contractor to verify placement and siting of all structures on the lot. VDG is not responsible for any encroachments of any kind with regard to siting or placement of structures on lot[s].

All references to the "British Columbia Building Code" (BCBC) are to its current edition and/or published revision(s) thereto, as approved by ministerial order by the Province of British Columbia. In the event that the proposed new or existing structure does not conform to the requirements of the BCBC, an Engineer(s) may be necessary and such services are for the owner's account.

All work shall comply with the current edition of the BCBC, the rules and customs of best trade practices, and to be executed by well equipped and adequately supervised skilled tradespersons. All materials to be of best quality, complying with the applicable sections of the current CSA, CGSB and BCBC standards. All materials shall be used strictly according to manufacturers printed directions and specifications; no dilution permitted except where specified.

Notes appearing on the plans, and/or Engineer(s) and Manufacturers' specifications that exceed the requirements stated in these "General Notes", take precedence.

### Structural Requirements

Parameters based on criteria stated in Part 9 of the 2018 BCBC.  
Design live loads as follows:

Design main floor load	- 41.8 p.s.f. -	2.00 kPa
Design bedroom floor load	- 41.8 p.s.f. -	2.00 kPa
Design decks and balconies	- 62.7 p.s.f. -	3.00 kPa
Design roof load	- 62.7 p.s.f. -	3.00 kPa

For heavier snow loading, drawings must be revised.  
All interior and exterior wall bracing to resist lateral loads to comply with 8C8C 9.23.13, and to be designed by structural engineer unless noted elsewhere. Structural Engineering and Truss Manufacturer drawings to take precedence over structural design stated within.

## Concrete

All foundations and footings to be carried down to undisturbed soil, rock, or compacted granular fill in accordance with CBC 9.15.3.2.2). All concrete used for footings and foundations is to have a min of 15 MPa @ 28 days; and concrete used for interior floor slabs is to have a min of 20 MPa @ 28 days.  
An air entrainment of 5-8% is required for exterior steps, carport and garage floors, and to have a min of 32 MPa @ 28 days.

### Rough Carpentry

Contractor shall be responsible for the proper setting out of all work and ensure no eccentric loads occur. All construction and materials to comply with the current issue and amendments of CWC and BCBC. Pre-Manufactured wall panels to comply with BCBC and CSA requirements.

All structural framing members are sized for standard grade No. 1&2 Spruce-Pine-Fir (in accordance with NLGA standard grading rules for Canadian Lumber) except if specifically noted otherwise.

Framing contractor is to provide backing for all plumbing accessories, shelving, curtain rods, cabinets, etc.

All concealed spaces, including vertical duct chases, to be fire blocked in compliance with 8CBC 9 10.16. Fire block materials to comply with 8CBC 9 10.16.3

When applicable, provide an attic space hatch(s) of 500mm x 640mm (20"x26") minimum, placed in the laundry room, mud room or walk-in closet, if alternate location(s) not specified on the plans.

When applicable, provide a crawl space access of 500mm x 700mm; (20"x28") minimum. The access opening(s) shall be fitted with a door or hatch if the crawl space is unheated.

## Mechanical

Resequence to use existing heating and ventilation systems. All systems to comply with 8C8C 9.32.3, 9.36.3, 9.32.3.3, and 9.32.3.4.(4). All duct sizes, fans and ventilation requirements to be verified by a licensed mechanical tradesperson(s) prior to installation. Licensed mechanical tradesperson(s) to install systems to manufacturers specs. and to provide required ventilation checklist(s).

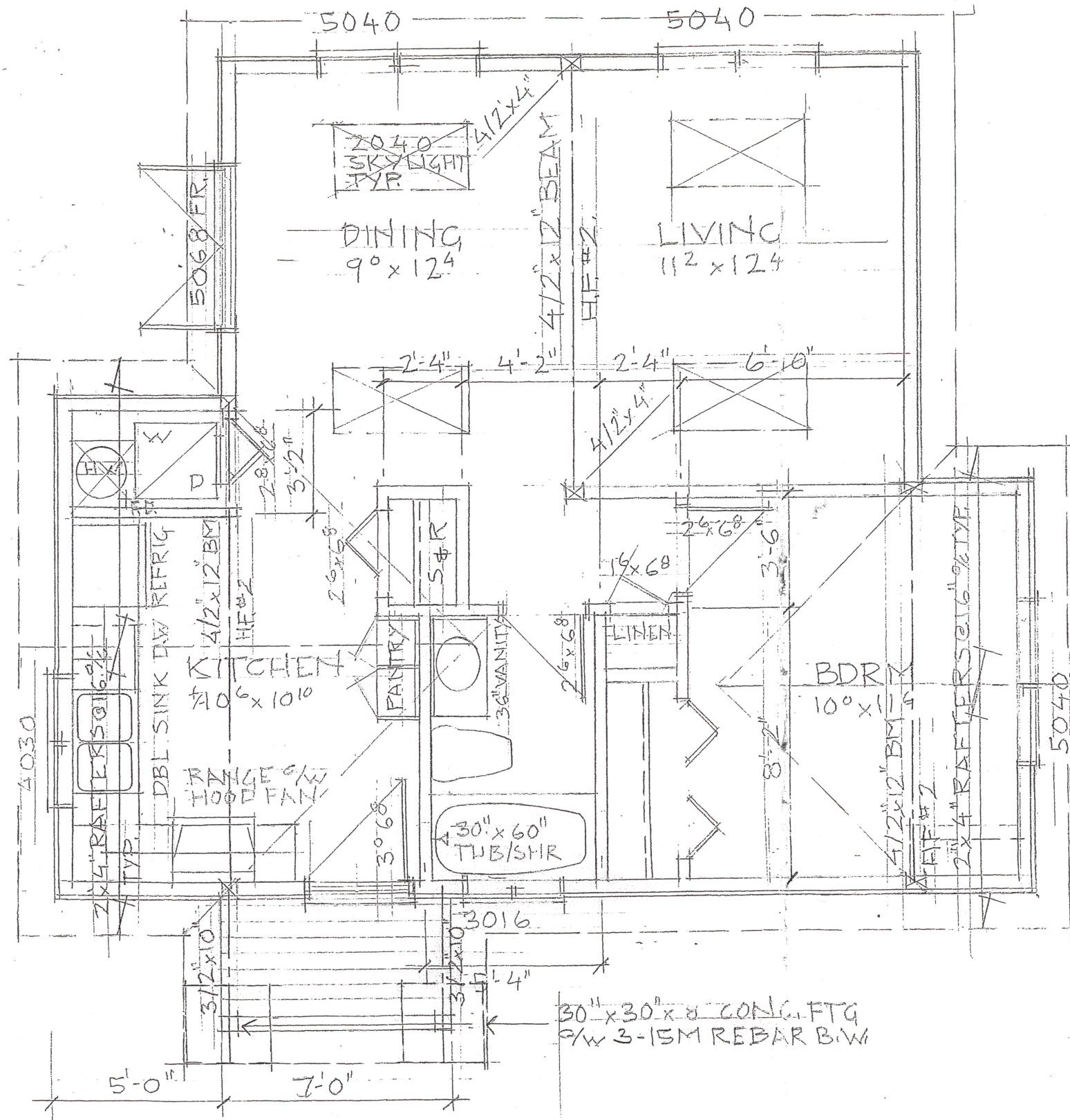
All Fans and ducts are to meet the minimum requirements of the BCBC and manufacturer.

Duct shall be noncombustible, corrosion resistant and cleanable, equipped with a grease filter at air intake.

Fan 1 Bathroom Fan. See BCBC Table 9.32.3.6, Table 9.32.3.8.(3)  
23 litres per second intermittent or 9 Litre per second continuous  
@ 50pa External static pressure  
Intermittent control to be wall mounted on/off switch

Copyright

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## MAIN FLOOR PLAN

$$1/4'' = 1'-0''$$

RECEIVED

JAN 10 2022

CORP. OF TOWNSHIP  
OF ESQUIMALT

## LIST OF DRAWINGS

A1	Floor Plans
A2	Elevations

ISSUED/REVISED
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01	06/18/2020	Issued for Construction
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DATE	June 18, 2020	DRWG NO.
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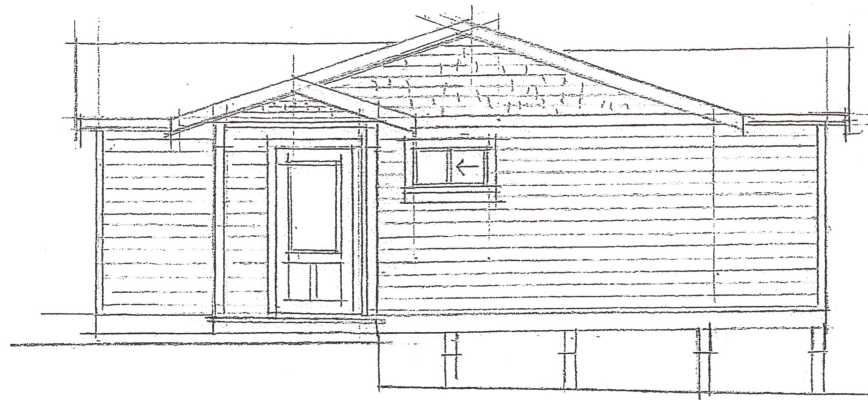
DRAWN BY W.S.P	REVIEWED BY
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SCALE	1/4"=1'-0"	SHT. NO.	A1 OF A2
PROJECT			

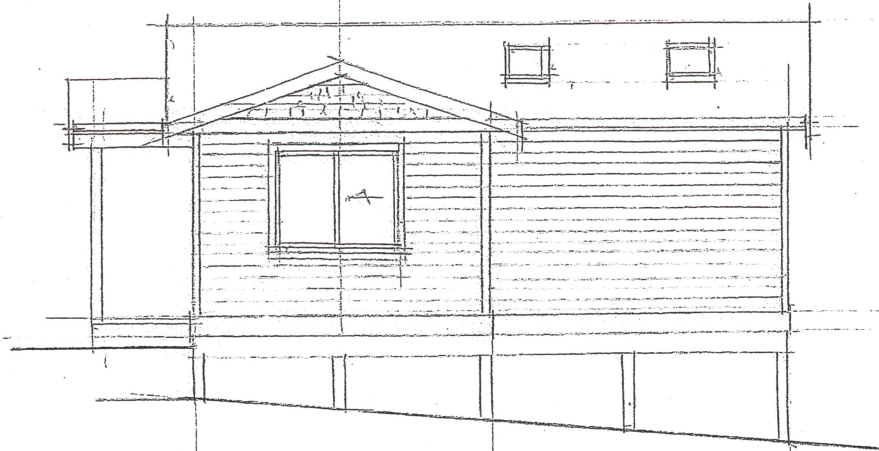
PROJECT

PROPOSED RENOVATION  
EXISTING GARDEN SUITE  
VICTORIA, B.C.

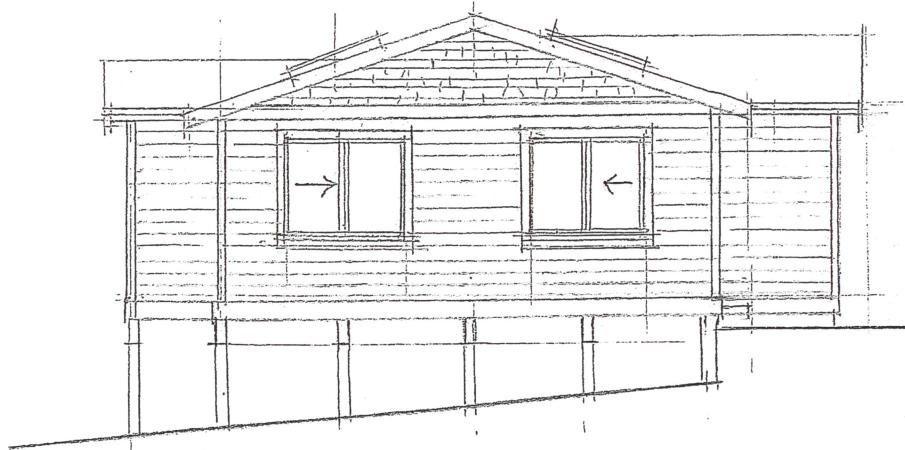




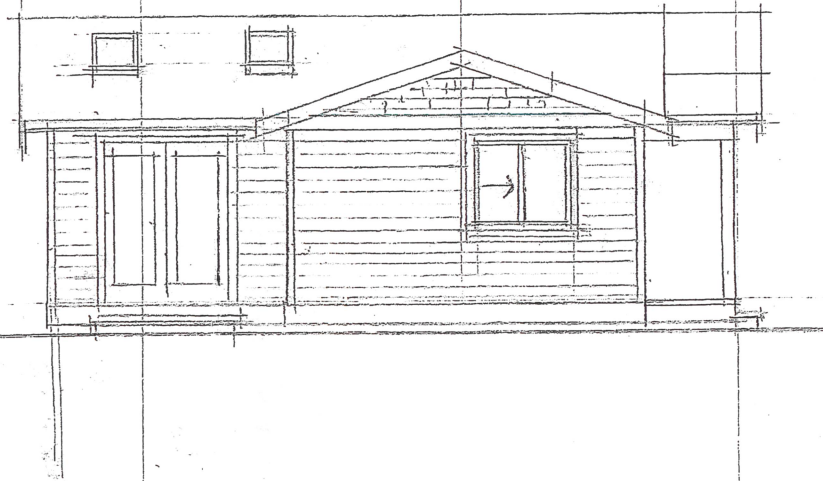
## NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



# EAST ELEVATION



LIST OF DRAWINGS		
A1	Floor Plans	
A2	Elevations	
ISSUED/REVISED		
01	06/18/2020	Issued for Construction
DATE	June 18, 2020	DRAWG NO.
DRAWN BY	W.S.P	REVIEWED BY
SCALE	1/8"=1'-0"	SHT. NO. A2 OF A2
PROJECT		
PROPOSED RENOVATION EXISTING GARDEN SUITE VICTORIA, B.C.		