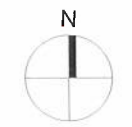


NOTE: SCREENING (NOT LESS THAN 2m IN HEIGHT) TO BE PROVIDED ALONG NORTH, WEST & SOUTH PROPERTY LINES, AS ADJOINING PROPERTIES ARE RESIDENTIAL USE. WOOD FENCE TO BE MAINTAINED BY BUILDING OWNER. COORDINATION REQUIRED BETWEEN ADJOINING 622 ADMIRALS NEIGHBOUR TO ENSURE 2m HEIGHT REQUIREMENT IS MET.

PARKING CALCULATIONS - ZONE C3		
LOT AREA:	763.2m ²	
BUILDING AREA:	157.9m ²	
SITE COVERAGE:	20.7%	
USE:	FLOOR AREA:	PARKING REQUIREMENTS:
RESTAURANT	157.9m ²	AS PER PARKING BYLAW, 1982, MO 2011 1 stall per 14m ² = 12 stalls required



1
A-1 SCREENING ELEVATION
1:75

PROJECT:
PROPOSED TAKE-OUT RESTAURANT
TENANT IMPROVEMENT

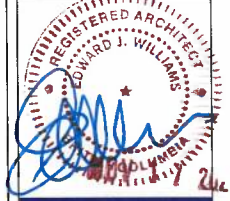
PROJECT ADDRESS:
624 ADMIRALS RD,
ESQUIMALT, BC

CLIENT:
COREY PACE



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REVISION NO. DATE:

SAC PROJECT NO.
ADM-624-21

DRAWN BY:
CW

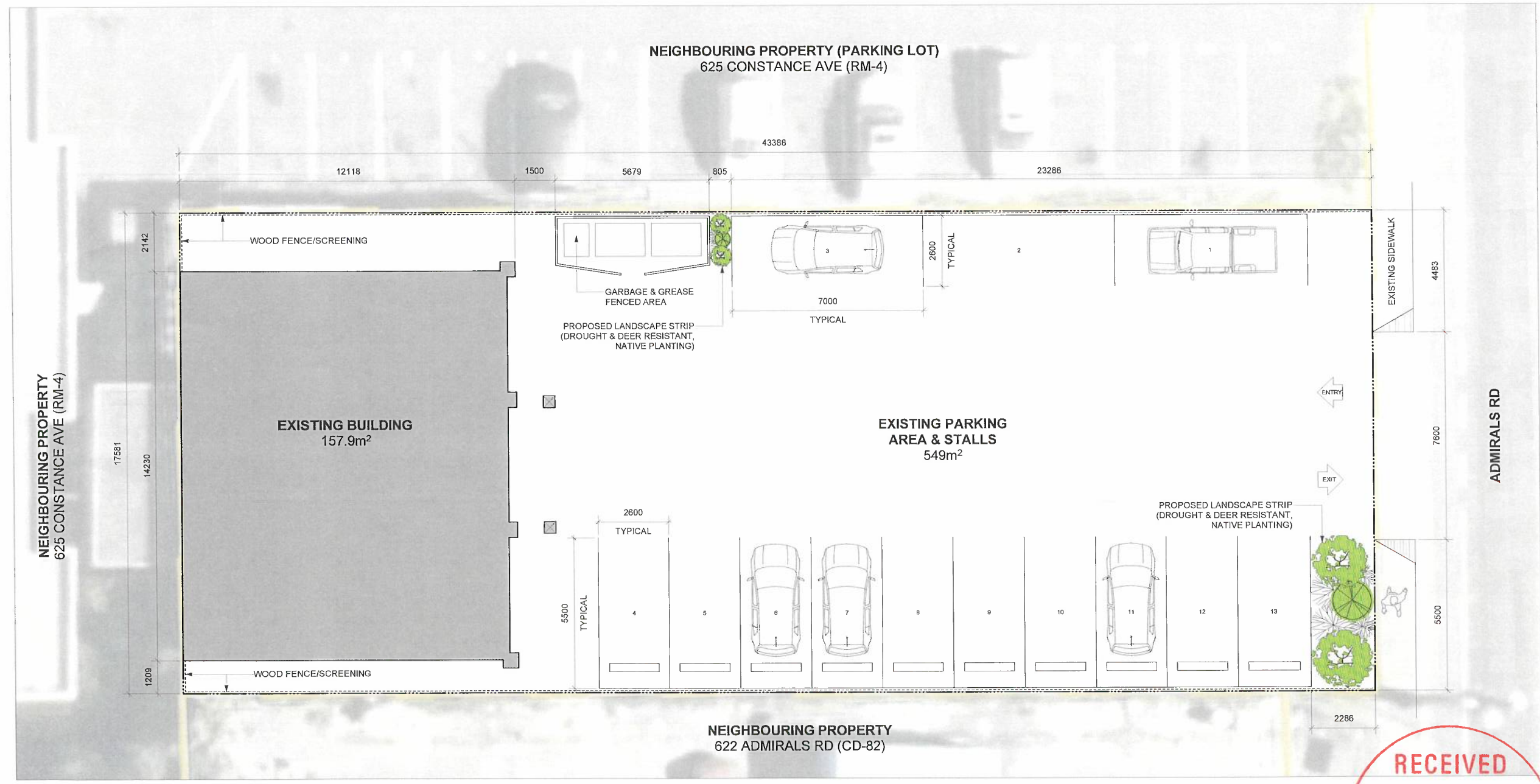
DATE:
NOVEMBER 17, 2021

SCALE:
AS SHOWN

DRAWING TITLE:
SITE PLAN

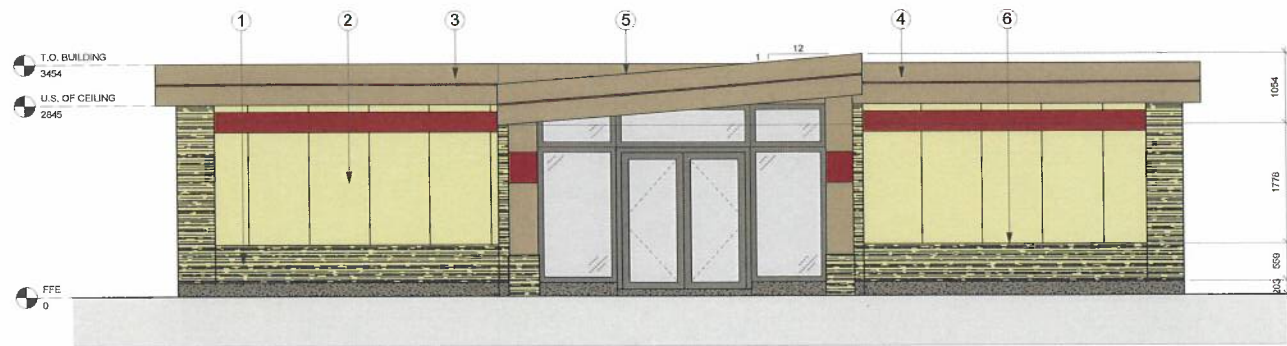
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A-1

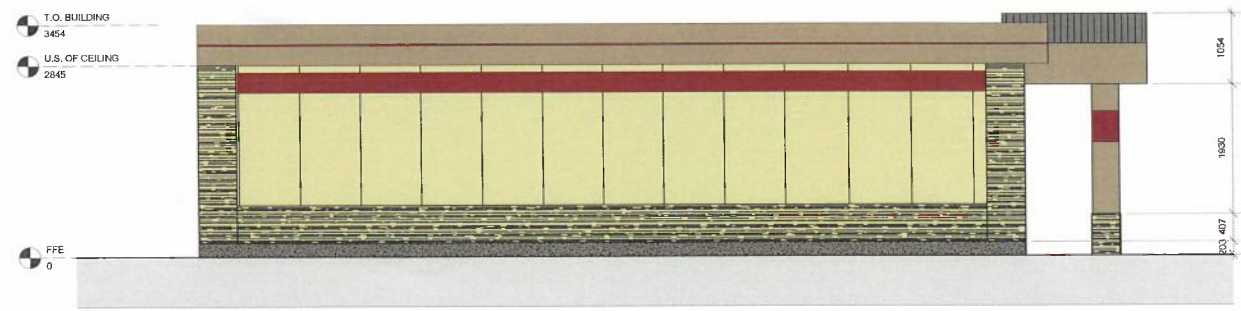


2
A-1 SITE PLAN
1:75

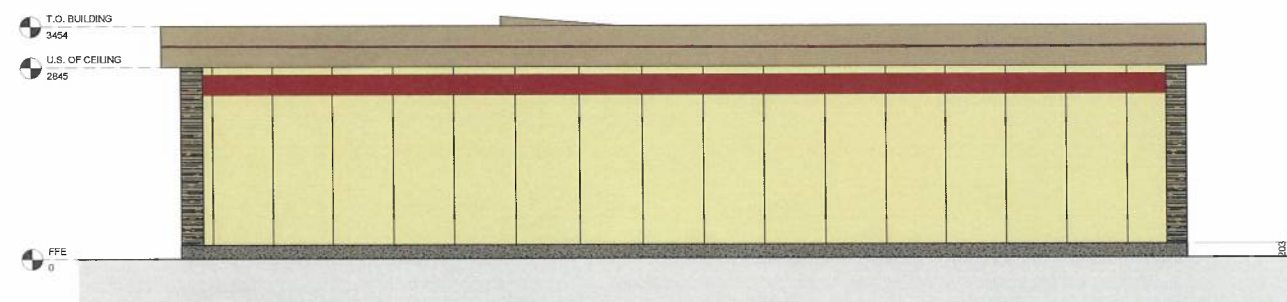




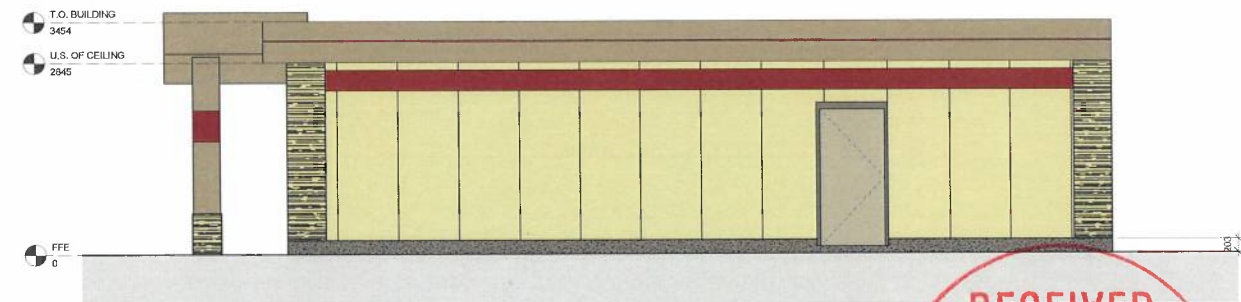
1 PROPOSED EAST ELEVATION
A-4 1:50



2 PROPOSED SOUTH ELEVATION
A-4 1:50



3 PROPOSED WEST ELEVATION
A-4 1:50



4 PROPOSED NORTH ELEVATION
A-4 1:50



EXISTING FRANCHISE



EXISTING FRANCHISE



PROPOSED MATERIALS & COLOURS [ALL TO BE CONFIRMED BY OWNER & MATCH EXISTING FRANCHISE LOCATIONS]

<p>① CLADDING STONE VENEER TEXTURE: LEDGESTONE</p>	<p>② CLADDING WALL PANEL (Z-CLIP) TO MATCH COLOUR BELOW</p>	<p>③ CLADDING WALL PANEL CLADDING (Z-CLIP) TO MATCH COLOUR BELOW</p>	<p>④ CLADDING WALL PANEL CLADDING (Z-CLIP) TO MATCH COLOUR BELOW</p>	<p>⑤ ROOF MATERIAL VICWEST "SUPERVIC" EXPOSED FASTENER METAL ROOFING *OR EQUIVALENT</p>	<p>⑥ FLASHING PRE-FINISHED METAL FLASHING TO MATCH COLOUR BELOW *OR EQUIVALENT</p>
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PROJECT:
PROPOSED TAKE-OUT RESTAURANT
TENANT IMPROVEMENT
PROJECT ADDRESS:

624 ADMIRALS RD,
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SAC PROJECT NO:
ADM-624-21

DRAWN BY:
CW

DATE:
NOVEMBER 17, 2021

SCALE:
AS SHOWN

DRAWING TITLE:
PROPOSED ELEVATIONS

DRAWING NUMBER:

A-4