

BC LAND SURVEYORS SITE PLAN OF PROPOSED SUBDIVISION

Civic: 916 & 920 Old Esquimalt Road

Legal: Lots C & D, Section 11,
Esquimalt District, Plan 21636

Parcel Identifiers: 003-446-093, 003-446-395
In the Municipality of Esquimalt

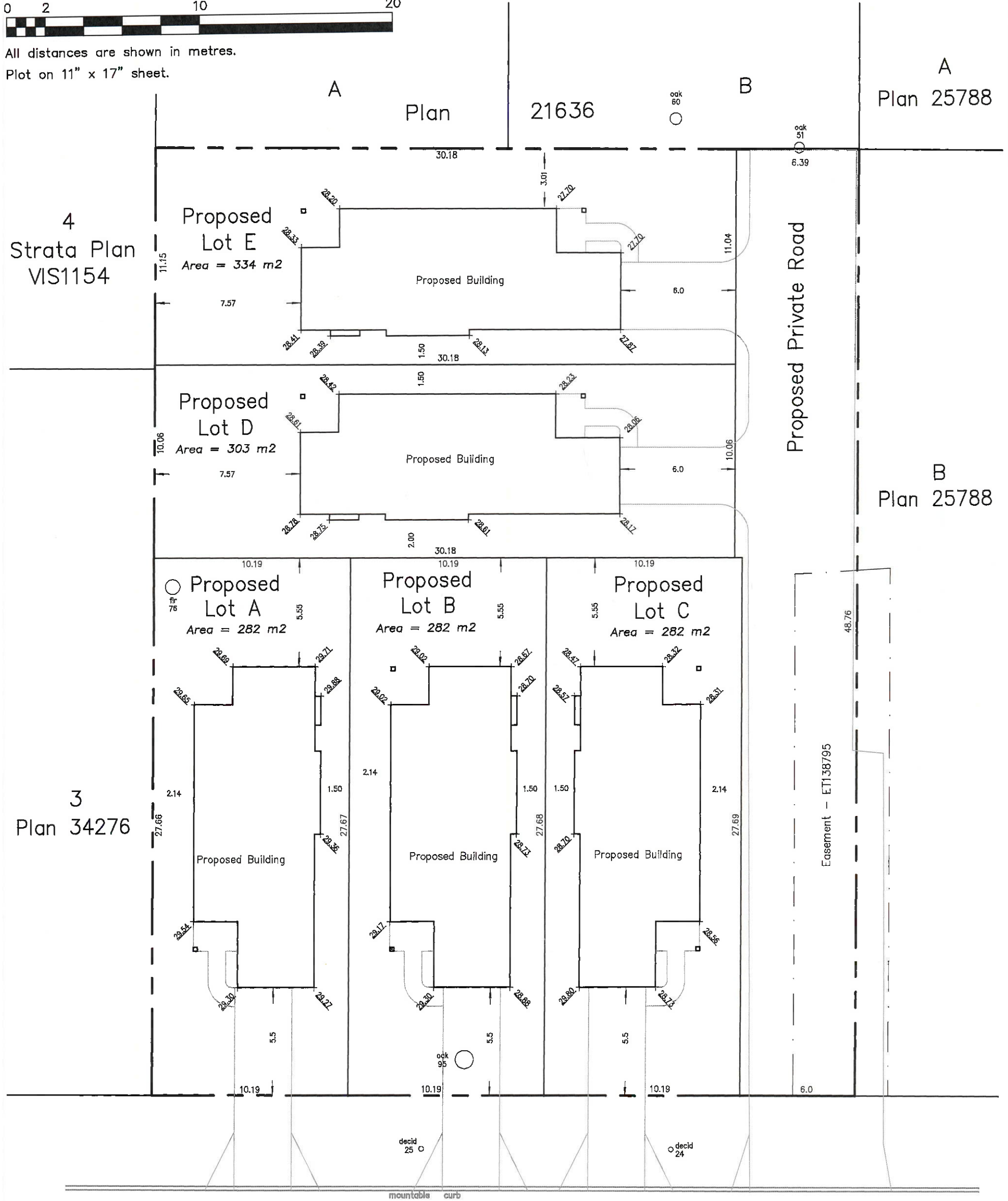
SCALE 1 : 2 0 0



All distances are shown in metres.
Plot on 11" x 17" sheet.

LEGEND
Elevations are to geodetic datum.
+ - denotes - existing elevation
Tree diameters are in centimetres.
Site Area = 1785 m²

The following non-financial charge is shown on the current title for Lot C and may affect the property.
ET138795 - Easement



3
Plan 34276

Proposed Lot A
Area = 282 m²

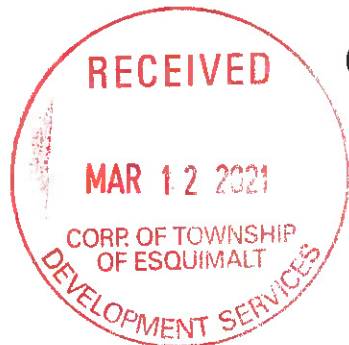
Proposed Lot B
Area = 282 m²

Proposed Lot C
Area = 282 m²

Proposed Lot E
Area = 334 m²

Proposed Lot D
Area = 303 m²

Old Esquimalt Road



CERTIFIED CORRECT
This 10th day of February, 2021.

Scott Pearse
7YJFZM
Digitally signed by Scott Pearse 7YJFZM
DN: cn=CA, cn=Scott Pearse 7YJFZM, o=BC Land Surveyor, ou=Verify ID at www.juricert.com/LXUP.cfm?id=7YJFZM
Date: 2021.02.10 12:14:51 -08'00'

Scott T. Pearse, BCLS

Date	February 10, 2021
Drawing	2511 SUB05.dwg
File	12511 - 18
POWELL & ASSOCIATES B C Land Surveyors 250-2950 Douglas Street Victoria, BC V8T 4N4 phone (250) 382-8855	