

SKETCH PLAN OF STRATA LOT C,
SUBURBAN LOT 48,
ESQUIMALT DISTRICT,
STRATA PLAN EPS5951

| SITE DATA | RS-3 | RS-3 |
|---------------------|------------|-------------|
| ITEMS | PERMITTED | PROPOSED |
| LOT AREA | 530.00 sqm | 767.14 sqm |
| HEIGHT TOP FLAT | 7.30 m | 6.86 m |
| HEIGHT MID SLOPE | 7.30 m | 6.62 m |
| LOT COVERAGE | 30 % | 24.44 % |
| SETBACKS | | |
| - WEST | 7.50 m | 8.61 m |
| - EAST | 1.50 m | 1.51 m |
| - NORTH | 3.60 m | 3.61 m |
| - SOUTH | 7.80 m | 8.10 m |
| PROPOSED FLOOR AREA | | |
| - UPPER | | 122.16 sqm |
| - MAIN (88 sqm Min) | 88.00 MIN | 127.20 sqm |
| - GARAGE (MAIN) | | 42.78 sqm |
| - LOWER | | 141.94 sqm |
| GARAGE EXEMPTION | | -42.78 sqm |
| STAIRS EXEMPTION | | -11.39 sqm |
| LOWER EXEMPTION | | -111.50 sqm |
| TOTAL FLOOR AREA | 268.50 MAX | 268.41 sqm |
| F.A.R | 0.35 | 0.35 |

GEODETTIC DATUM FOR HEIGHT CALCULATION SET AT 9m AS PER SUBDIVISION COVENANT

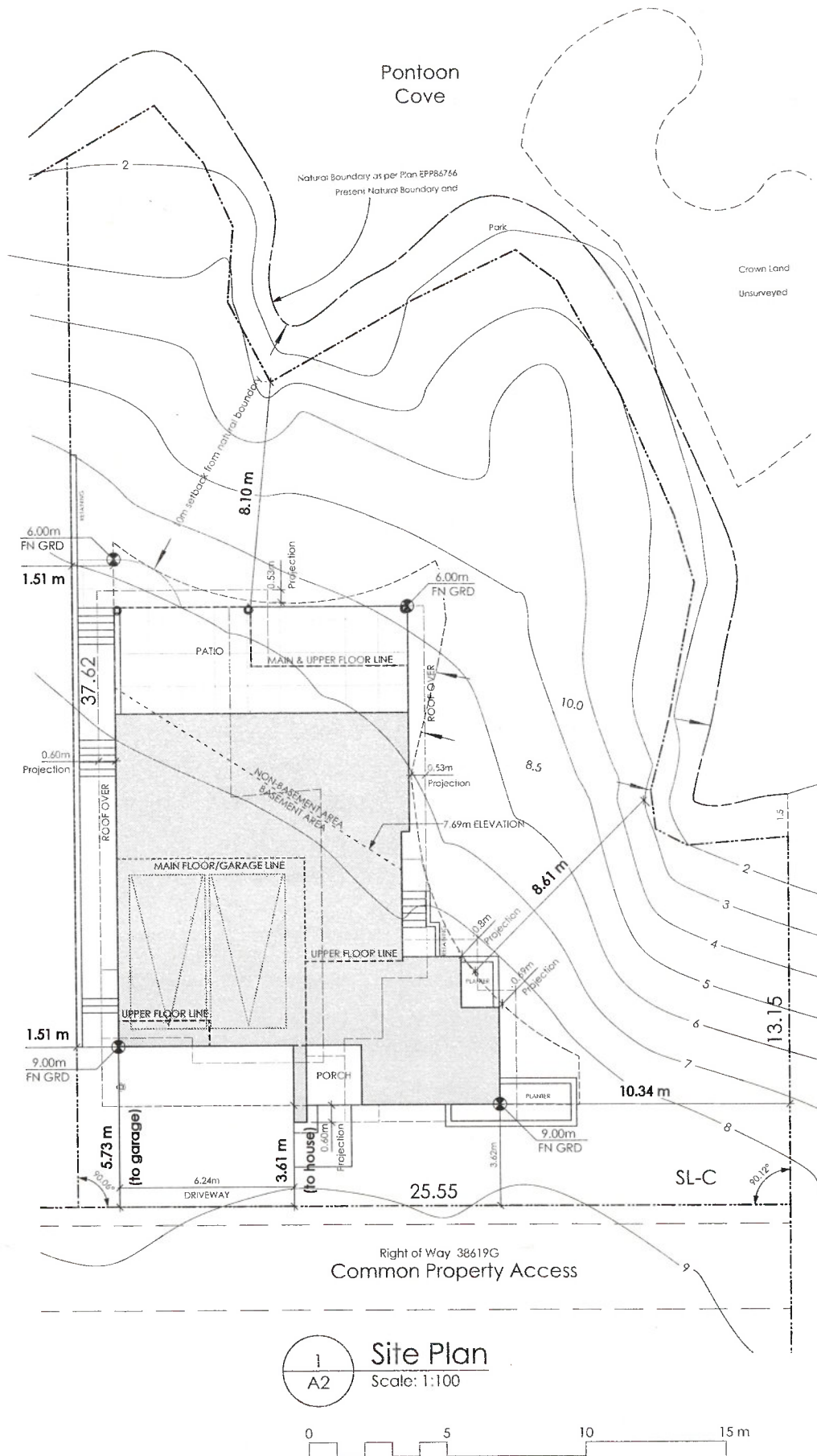
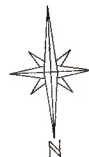
RETAINING WALLS SHALL NOT EXCEED 1.2m IN HEIGHT FROM NATURAL GRADE AND ARE TO BE CERTIFIED BY AN ENGINEER AND MEET BCBC REQUIREMENTS FOR EARTHQUAKE DESIGN (REFER TO STRUCTURAL DRAWINGS) (VERIFY EXTENT OF RETAINING ON SITE)

U.F.E = 12.59m
M.F.E = 9.20m
G.F.E = 9.00m
L.F.E = 6.12m (see notes)
GRADE DATUM = 9.00m

NOTES:
- DOUBLE BOTTOM PLATE AT LOWER FLOOR TO ALLOW FOR 1 1/2" CONCRETE TOPPING W/ HYDRONIC FLOOR HEATING

- TOP OF PLATE (T.O.P.), WINDOW HEIGHT DIMENSIONS AND FLOOR ELEVATIONS ARE FROM TOP OF CONCRETE TOPPING AND/OR TOP OF SHEATHING.

- STRUCTURE AND STRUCTURAL ELEMENTS TO BE DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL PLANS TAKE PRECEDENCE OVER NOTATIONS ON THESE PLANS.



| LIST OF DRAWINGS | |
|------------------|----------------------------------|
| A1 | General Notes & RSI Calculations |
| A2 | Site Plan |
| A3 | North & West Elevations |
| A4 | South & East Elevations |
| A5 | Foundation Floor Plan |
| A6 | Lower Floor Plan |
| A7 | Main Floor Plan |
| A8 | Upper Floor Plan |
| A9 | Roof Plan |
| A10 | Cross-Section & Assemblies |
| D1 | Construction Details |
| D2 | Rainscreen Details |

| ISSUED/REVISED | |
|----------------|---|
| 1 | Oct 14, 2020 Issued for Client Approval |
| 2 | Oct 27, 2020 Issued for BP Application |

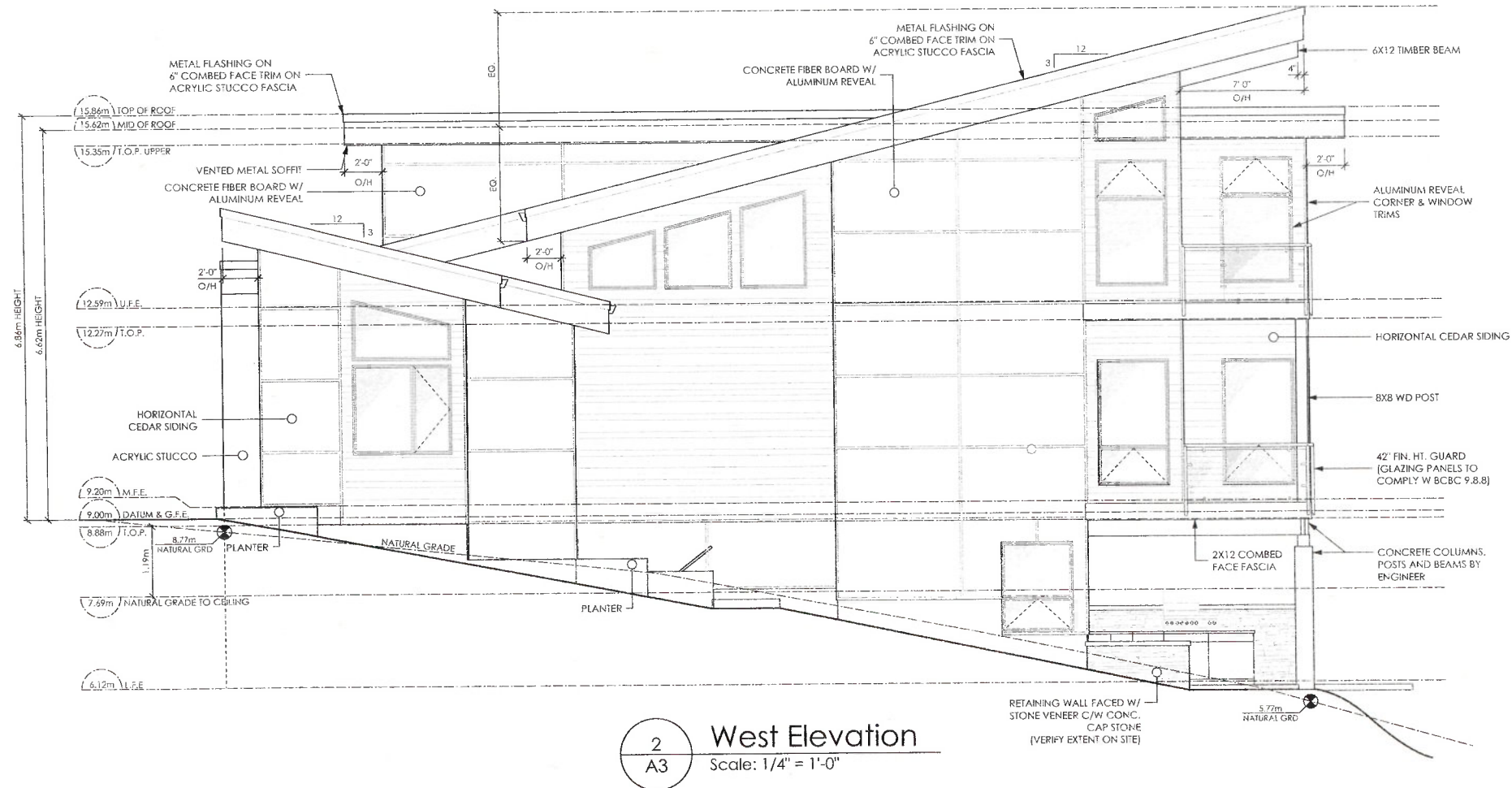
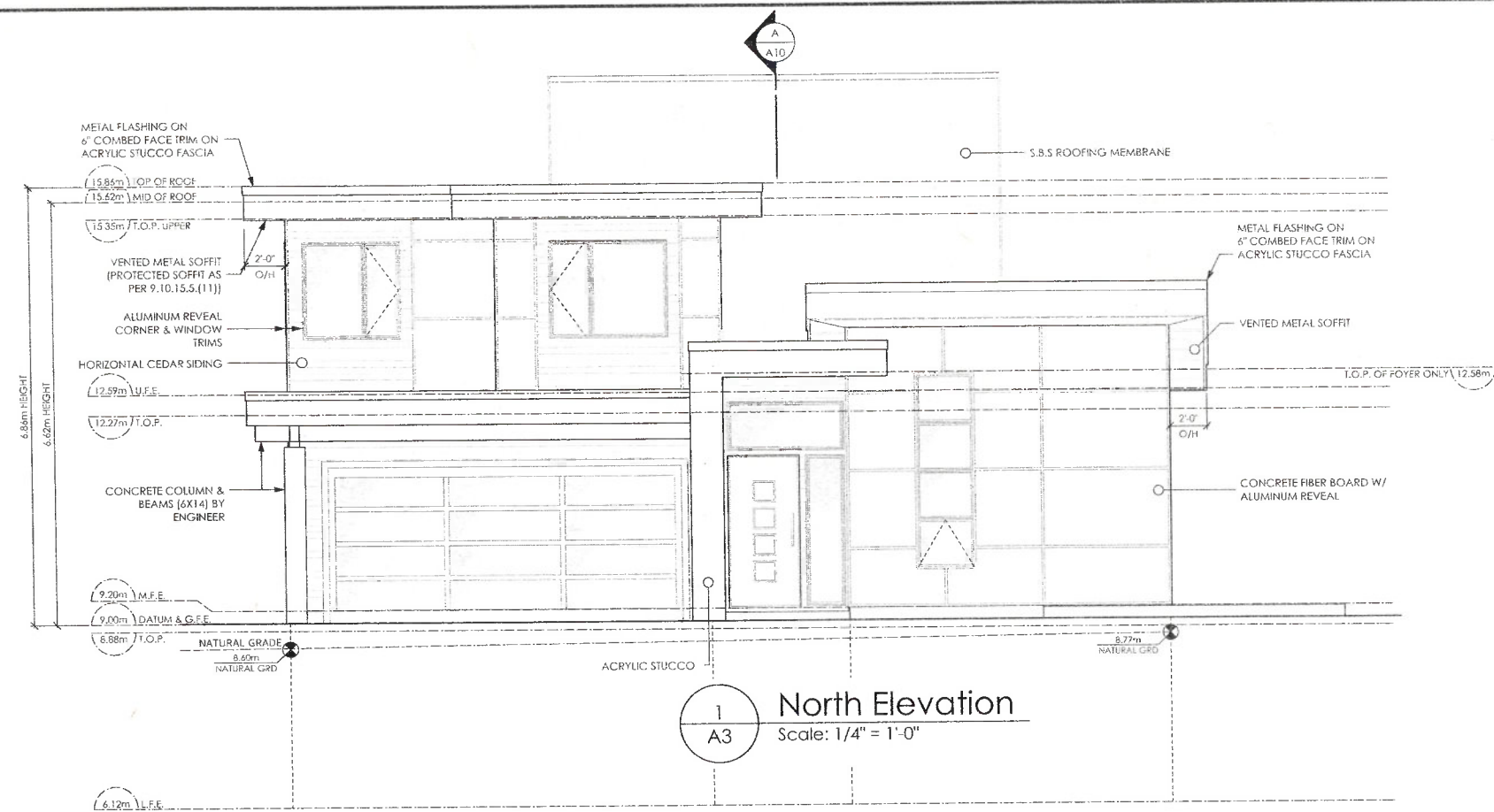
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| | | | |
|----------|--------------|-------------|------------|
| DATE | Oct 27, 2020 | DWG NO. | 8352-SLC 1 |
| DRAWN BY | N.C.T | REVIEWED BY | M.D.K |
| SCALE | As Shown | SHEET NO. | A2 OF A10 |

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VDG PERMITS THE PURCHASER OF THIS PLAN TO EXECUTE WORK PREPARED FOR THIS PROJECT ONLY

PROPOSED RESIDENCE FOR:
Dusty Delain & Laylee Rohani
SL-C, 455 Sturdee Street,
Esquimalt



NOTES:
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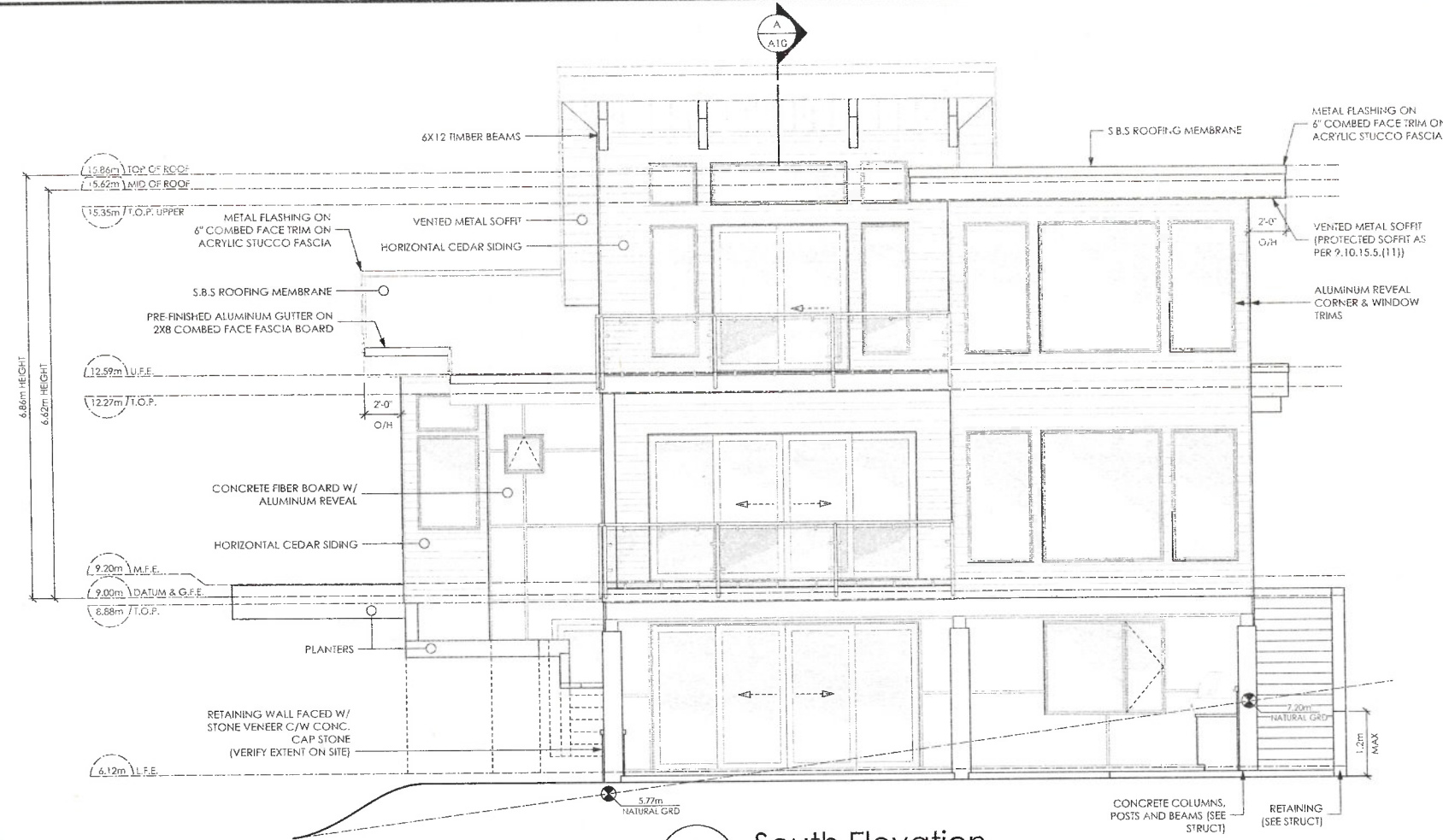
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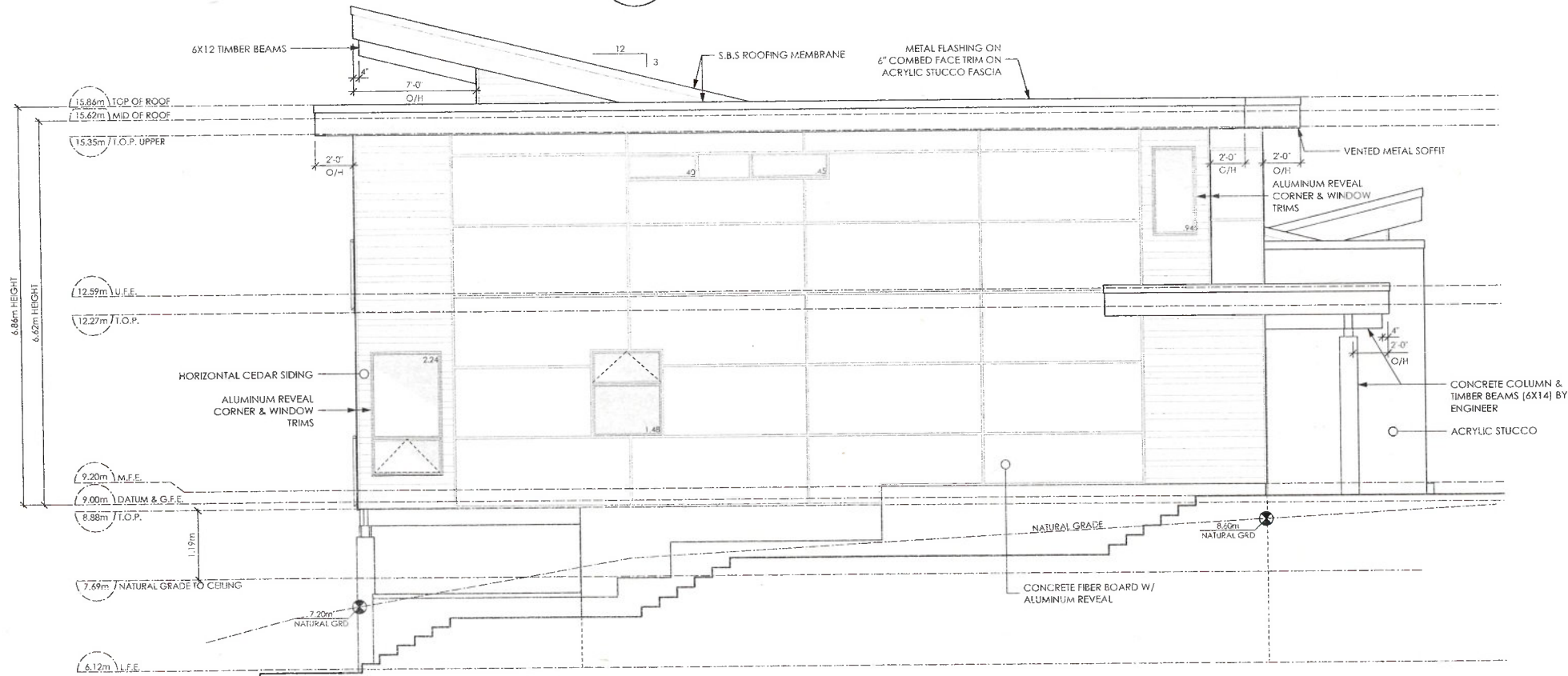
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1
A4 South Elevation
Scale: 1/4" = 1'-0"



2
A4 East Elevation
Scale: 1/4" = 1'-0"

| | |
|------------------------|-----------------------|
| Limiting Distance | 1.51 m |
| Exposed Building Face | 101.08 m ² |
| Allowable Openings | 7.00 % |
| Allowable Opening Area | 7.08 m ² |
| Proposed Openings | 5.51 m ² |

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