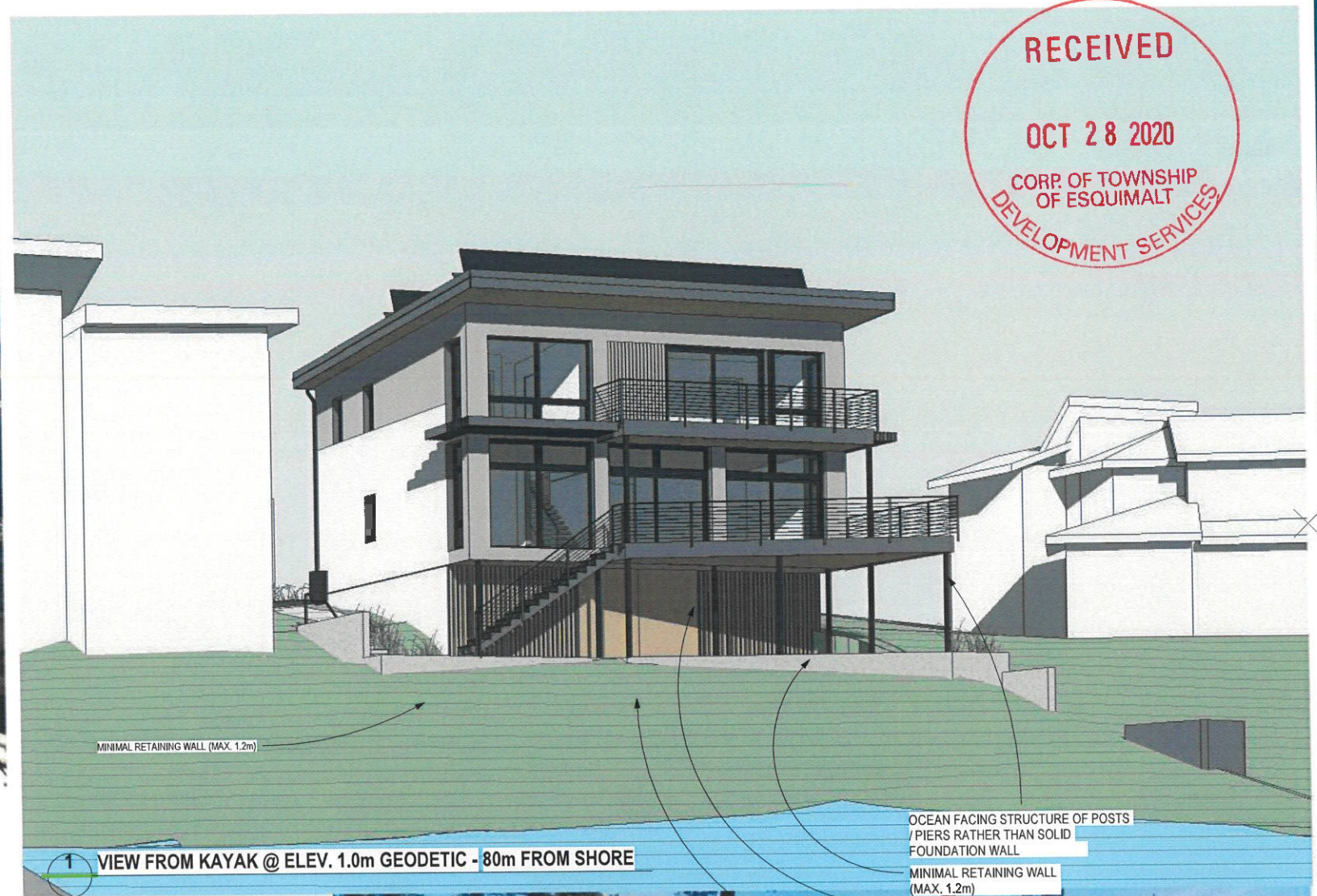


PRESERVATION OF EXISTING WILD LANDSCAPE, REMOVAL OF INVASIVE SPECIES, RE-WILDING WITH NATIVE AND DROUGHT RESISTANT PLANTING.

WE PLAN TO RETAIN NATURAL TOPOGRAPHY NEAR WATER INCLUDING NATURAL SLOPES, STEEP ROCK FACES AND ALL THE COVES, NICHES, LEDGES THAT ALREADY PROVIDE HABITAT FOR WILDLIFE



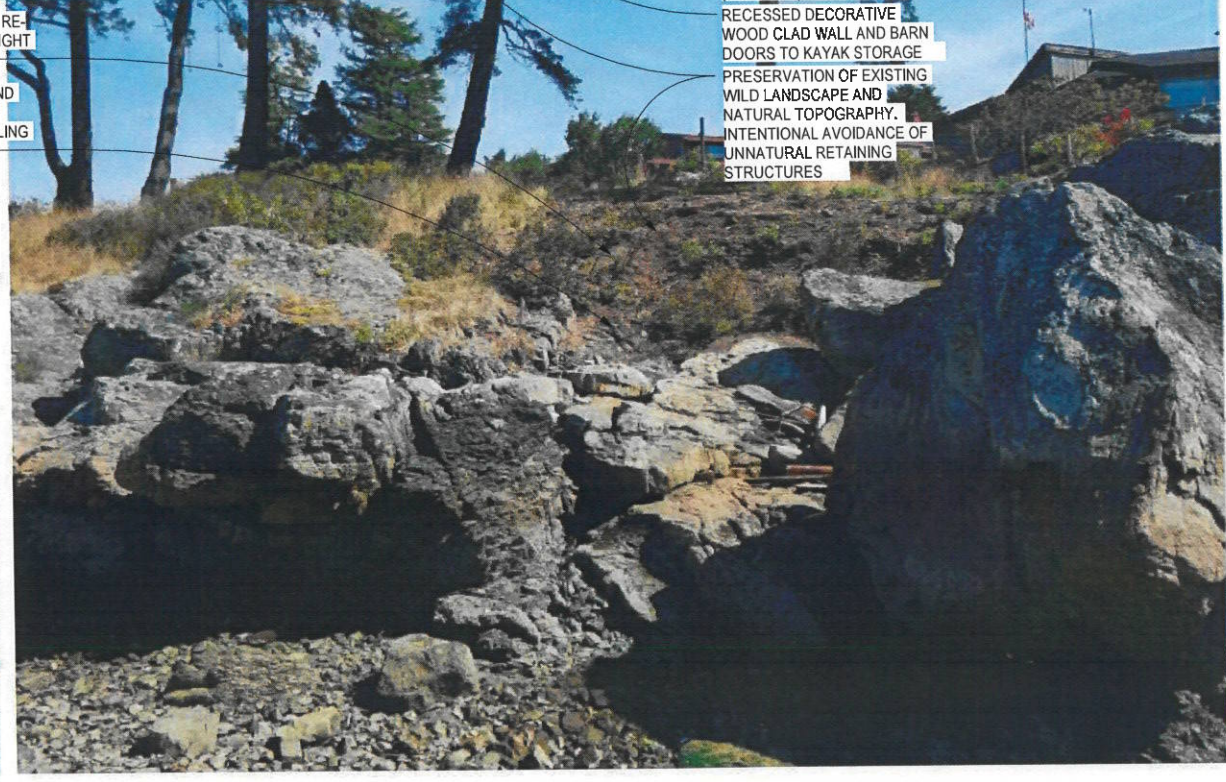
1 VIEW FROM KAYAK @ ELEV. 1.0m GEODETIC - 80m FROM SHORE

REMOVAL OF INVASIVE SPECIES, RE-WILDING WITH NATIVE AND DROUGHT RESISTANT PLANTING
CEDAR SOFFIT BELOW HOUSE AND DECK - WARM AND WEST COAST INSPIRED FINISH WILL BE APPEALING FROM THE WATER

OCEAN FACING STRUCTURE OF POSTS / PIERS RATHER THAN SOLID FOUNDATION WALL
MINIMAL RETAINING WALL (MAX. 1.2m)
RECESSED DECORATIVE WOOD CLAD WALL AND BARN DOORS TO KAYAK STORAGE
PRESERVATION OF EXISTING WILD LANDSCAPE AND NATURAL TOPOGRAPHY.
INTENTIONAL AVOIDANCE OF UNNATURAL RETAINING STRUCTURES



2 VIEW FROM KAYAK @ ELEV. 1.6m GEODETIC - JUST OFF SHORE



RECEIVED
OCT 28 2020
CORP OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

General Notes:
Contractor and all sub-trades shall verify dimensions on site. Do not scale these drawings. Any discrepancies to be reported immediately to the architect.
Contractor shall be responsible for all conditions on the job. All work completed on site is to conform to current applicable bylaws and codes (British Columbia Building Code, Vancouver Building Bylaw).
This set of drawings and the design as shown remain the property of the architect.

NOT FOR CONSTRUCTION

no.	issue / revision	date

ONE SEED
ARCHITECTURE + INTERIORS
611 - 525 Seymour Street, Vancouver, BC, V6B 0H7
or 604.566.9806 oneseed.ca

TARLING
ECO HOUSE
Strata Lot B Suburban Lot
48, 455 Sturdee Street
VIEW STUDY FROM OCEAN

Project Phase: I.F.D.V.P.	Project Number: 200214
Drawn: AHP	Designed: AHP
Date: OCT. 27, 2020	Checked: AHP
Scale full size (22"x34")	

A036



1 SOUTH ELEVATION (OCEAN FRONT)
1/4" = 1'-0"



Exterior Finish Legend

- 01 ROOFING - LOW PITCH TORCH-ON
- 02 ROOFING - GREEN
- 03 SOFFIT - WOOD
- 04 WOOD EXPOSED
- 05 FASCIA
- 06 CLADDING TYPE 1
- 07 CLADDING TYPE 2
- 08 CLADDING TYPE 3
- 09 CLADDING - PROTECTION BOARD
- 10 MISC. METAL POWDER COATED
- 11 FLASHING - COLOUR TO MATCH WINDOWS
- 12 FLASHING - COLOUR TO MATCH ROOFING
- 13 FLASHING - COLOUR TO MATCH CLADDING TYPE '06'
- 14 FLASHING - COLOUR TO MATCH CLADDING TYPE '07'
- 15 FLASHING - COLOUR TO MATCH CLADDING TYPE '08'
- 16 GUTTERS, SCUPPERS AND RAILS
- 17 GUARDRAIL - CABLE RAILING
- 18 CONCRETE EXPOSED
- 19 DECKING - COMPOSITE
- 20 PAVERS
- 21 DECORATIVE HARDWARE

Elevation Legend

DIMENSIONING:
- EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO THE OUTSIDE EDGE OF THE FRAME (FRAME HEEL), UNLESS NOTED OTHERWISE. 'SILL' OR 'HEADER' LABELS REFER TO WHICH SIDE OF THE FRAME DIMENSIONS ARE MEASURED TO. SEE SCHEDULE A901 FOR FRAME DIMENSIONS. ADD MIN. 3/8" TO EACH SIDE OF FRAME FOR ROUGH OPENING.
- SEE SECTION DETAILS FOR REFERENCE POINT IN DIMENSIONING FOR OTHER ITEMS (EX. MATERIAL TRANSITIONS)
- NOTE IF DIMENSIONS ARE TAKEN FROM TOFF OR TOJ

Development Variance Permit Note

THE REQUESTED VARIANCE IS FOR AN INCREASE IN BUILDING HEIGHT AT THE RIDGE OF THE UPPER ROOF ONLY. OTHER ASPECTS OF DESIGN ARE SUBJECT TO CHANGE.

PLEASE NOTE, FOR A LOW SLOPED ROOF (PITCH LESS THAN 3:12), HEIGHT IS MEASURED FROM THE 9.0m GEODETIC ELEVATION (TSUNAMI HAZARD ZONE DVP 00094) TO THE HIGHEST POINT OF THE LOW SLOPED ROOF (ZONING BYLAW 2050 15.(1)).

REV 1 - REQUESTED VARIANCE FOR AN INCREASE IN LOT COVERAGE.

BYLAW SECTION & REQUIREMENT	PERMITTED	PROPOSED	DIFFERENCE
BUILDING HEIGHT Zoning Bylaw Section RS-3 36.5.(a)	7.3m	7.6m (+0.3m tolerance)	0.33 metres
LOT COVERAGE Zoning Bylaw Section RS-3 36.8.(a)	30% (2218.4 SF)	31.6% (2339.7 SF)	1.6% (121.3 SF)

General Notes:

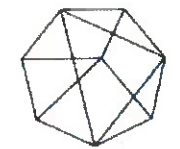
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TARLING
ECO HOUSE
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SOUTH ELEVATION
(OCEAN FRONT)

Project Phase: 1.F.D.V.P.
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Scale full size (22"x34")
As indicated

Project Number: 200214
Designed: AHP / HG
Checked: AHP

A403

